

# Strategic Planning Board

## Agenda

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<b>Date:</b>	<b>Wednesday, 28th May, 2025</b>
<b>Time:</b>	<b>10.30 am</b>
<b>Venue:</b>	<b>Council Chamber, Municipal Buildings, Earle Street, Crewe CW1 2BJ</b>

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**Please note that members of the public are requested to check the Council's website the week the Strategic Planning Board meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published**

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The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and at the top of each report.

It should be noted that Part 1 items of Cheshire East Council decision making meetings are audio recorded and the recordings will be uploaded to the Council's website

### **PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT**

**1. Apologies for Absence**

To receive any apologies for absence.

**2. Declarations of Interest/Pre Determination**

To provide an opportunity for Members and Officers to declare any disclosable pecuniary interests, other registerable interests, and non-registerable interests in any item on the agenda and for Members to declare if they have a pre-determination in respect of any item on the agenda.

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For requests for further information

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3. **Minutes of the Previous Meeting** (Pages 5 - 10)

To approve the minutes on 26 March 2025 as a correct record.

4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Strategic Planning Board
- The relevant Town/Parish Council

A period of 3 minutes is allocated for each of the planning applications for the following individuals/groups:

- Members who are not members of the Strategic Planning Board and are not the Ward Member
- Objectors
- Supporters
- Applicants

5. **24/0999M - Erection of a 74 no. bed care home (Use Class C2) with associated parking and landscaping at The Towers and Progress Mill, Parsonage Street, Macclesfield** (Pages 11 - 38)

To consider the above application.

6. **24/4223/FUL - Full planning permission for the erection of a retirement living development (category 2 type accommodation) (use class C3); green infrastructure; landscaping; access and associated infrastructure on Land Off Peter De Stapleigh Way, Stapeley** (Pages 39 - 72)

To consider the above application.

7. **24/4242/FUL - Full planning permission for the erection of a residential development (use class C3); public open space; green infrastructure; landscaping; entrance feature wall, access and associated infrastructure on Land Off Peter De Stapleigh Way, Stapeley** (Pages 73 - 126)

To consider the above application.

8. **24/4287/FUL - Residential development (use Class C3) including the creation of a new vehicular access off the A534 roundabout, landscaping, public open space, ecological enhancement area, internal access roads, garages, car parking and associated infrastructure. Land South of Old Mill Road, Sandbach** (Pages 127 - 206)

To consider the above application.

9. **24/5075/FUL - Development of a Battery Energy Storage System (BESS) with associated infrastructure, access, drainage and landscaping. Land West of Woodford Road, Poynton (Pages 207 - 262)**

To consider the above application.

10. **Local Listed Building Consent Orders for Crewe Railway Cottages, Crewe (Pages 263 - 442)**

To consider the above application.

**Membership:** Councillors S Edgar (Vice-Chair), M Edwards, S Gardiner, M Houston, T Jackson, G Marshall, H Moss, B Puddicombe (Chair), H Seddon, L Smetham and D Edwardes

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**CHESHIRE EAST COUNCIL**

Minutes of a meeting of the **Strategic Planning Board**  
held on Wednesday, 26th March, 2025 in the Council Chamber, Municipal  
Buildings, Earle Street, Crewe CW1 2BJ

**PRESENT**

Councillor B Puddicombe (Chair)  
Councillor S Gardiner (Vice-Chair)

Councillors S Edgar, M Edwards, M Gorman, G Marshall, H Seddon, H Moss,  
M Muldoon and A Gage

**OFFICERS IN ATTENDANCE**

David Malcolm, Head of Planning  
Adrian Crowther, Senior Planning Officer  
Andrew Poynton, Senior Lawyer  
Andrew Goligher, Development Officer, Infrastructure  
Jennifer Ashley, Democratic Services Officer

**45 APOLOGIES FOR ABSENCE**

Apologies for absence were received from Councillors Rachel Bailey,  
Thelma Jackson and Lesley Smetham.

Councillors Hannah Moss, Mike Muldoon and Allan Gage attended as  
substitutes.

**46 DECLARATIONS OF INTEREST/PRE DETERMINATION**

In the interest of openness, the following declaration was made:

Item 5 – Application 22/4863N – Councillor Gardiner knew the registered  
public speakers through his membership of the Crewe & Nantwich  
Conservative Club ,however he had not had any discussions regarding the  
application. In addition, Councillor Gardiner was a friend of Cllr Morris, and  
they too had not had any discussions regarding the application.

**47 MINUTES OF THE PREVIOUS MEETING**

RESOLVED:

That the minutes of the meeting held on 29 January 2025 be approved as  
a correct record.

48 **PUBLIC SPEAKING**

RESOLVED:

That the public speaking procedure be noted.

- 49 **22/4863N - BOMBARDIER, BOMBARDIER TRANSPORTATION WEST STREET, CREWE, CHESHIRE EAST, CW1 3JB: THE DEMOLITION OF EXISTING INDUSTRIAL BUILDINGS AND STRUCTURES (INCLUDING THE BOUNDARY WALL ALONG WEST STREET) AND CONSTRUCTION OF 263 DWELLINGS COMPRISING 24 APARTMENTS AND 239 HOUSES, TOGETHER WITH OTHER ASSOCIATED WORKS, INCLUDING THE PROVISION OF PUBLIC OPEN SPACE, LAYING OUT OF ROADS AND FOOTWAYS (WITH TWO NEW ACCESSSES FROM WEST STREET), AND HARD AND SOFT LANDSCAPING. RESUBMISSION OF APPLICATION 18/0079N .**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application:

Cllr Roger Morris – Ward Councillor

David Simcox and Claire Mclellan – Supporters

Applicant / Agent - Joe Turner (Managing Director at Countryside Partnerships / Vistry Group)  
Edward Whalley, Land and Planning Director;  
Daniel Wood, Project Director

RESOLVED:

For the reasons set out in the report, the application be APPROVED, as RECOMMENDED, subject to a S106 Agreement to secure:

- Contribution towards Special Educational needs of £136,500.00 within 3 months of the date of decision
- Contribution towards EV charging on site or in the local area to be made available for 3 years from date of decision, but if not spent to go to Primary Education £25,000
- To maintain the open space in accordance with the Management Scheme approved by the Council at all times to the satisfaction of the Council.
- To amend the Management Scheme only with the Council's written consent
- To keep the open space open, unbuilt upon and available for public recreational use in perpetuity.

and the following conditions:

1. Approved Plans
2. Implementation of landscaping (no edible trees / planting permitted)
3. Tree Protection Measures
4. The hours of construction of the development (and associated deliveries to the site) shall be restricted to: Monday – Friday 08:00 to 18:00 hrs Saturday 09:00 to 14:00 hrs Sundays and Public Holidays
5. Implementation of the noise mitigation measures
6. Implementation of Travel Plan
7. Electric Vehicle Infrastructure
8. Implementation of Construction and Environmental Management Plan
9. Separate drainage systems
10. Implementation of design/management of surface water drainage
11. No allocation of parking spaces for the apartment blocks
12. The replacement of the garden soils as detailed in the approved remedial strategy shall be carried out at the agreed plots presented within the approved remediation strategy. Verification should be issued to plot owners.
13. An assessment and any necessary remediation of the area of Public Open Space as detailed in the approved remedial strategy shall be carried out. Verification should be confirmed to the LPA.
14. Once verification reports for every agreed plot and the Public Open Space have been approved in writing, the LPA shall confirm in writing that the 14 plots shown [shaded red] may be occupied / sold or transferred and that Condition 1 and Condition 2 are discharged.
15. The developer shall arrange access to all remaining properties in accordance with specific timings/details sequenced by letters, site visits and phone calls. If plot owners refuse access, then any plots will remain on the Local Authority's list of potentially contaminated sites (kept under the Authority's obligations with respect to Part 2A of the Environmental Protection Act 1990) and the relevant information for this plot kept on the land charges register.
16. Unexpected contamination found shall be reported – standard condition.
17. Bin storage / management plan.
18. Informative relating to removal of Permitted Development Rights.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chair of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.

In addition it was agreed for Officers to discuss directly with the applicant and residents regarding additional working hours to assist with completion of the site.

50 **24/5074/FUL - HATHERTON LODGE HUNTERSON ROAD, HATHERTON, NANTWICH, CHESHIRE EAST, CW5 7RA: CONSTRUCTION AND OPERATION OF A SOLAR FARM TOGETHER WITH ALL ASSOCIATED WORKS, EQUIPMENT AND NECESSARY INFRASTRUCTURE**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application.

Councillor Clowes, Ward Councillor  
Chris Knibbs, Chair Hatherton and Walgherton Parish Council

**RESOLVED:**

For the reasons set out in the report, the application be APPROVED, as RECOMMENDED, subject to the following conditions;

1. Standard 3 year start date
2. Approved plans
3. Detailed landscaping to be approved
4. Submission of a landscape management plan
5. Approval of visibility splays
6. Survey of highway before and after development to be agreed
7. CEMP – Highways re parking, loading/unloading, HGV routing/timing etc
8. Construction compound site reinstatement after construction complete
9. Habitat Management and Monitoring Plan (30 years)
10. Construction Environmental Management Plan (CEMP: Biodiversity)
11. Update Badger Survey
12. Ecological Enhancement Plan
13. Breeding birds
14. Sensitive Lighting Plan
15. Public Rights of Way scheme of management
16. Archaeological mitigation programme
17. Decommission of site after 40 years

**Informatives:**

- NPPF
- Biodiversity Gain Informative
- Environmental Health Informatives
- PROW Informatives
- Highways informative re TTRO to reduce the speed limit on Crewe Rd either side of Hunterson Rd

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chair of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision

The meeting commenced at 10.00 am and concluded at 12.30 pm

Councillor B Puddicombe (Chair)



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Application No: 24/0999M  
Application Type: Full Planning  
Location: The Towers And Progress Mill Parsonage Street, Macclesfield, Cheshire East,  
Proposal: Erection of a 74 no. bed care home (Use Class C2) with associated parking and landscaping  
Applicant: Torsion Care Ltd,

Expiry Date: 04 July 2024

### Summary

This proposal would bring a prominent vacant brownfield site into viable use on one of the key gateways into Macclesfield Town Centre, which is one of the principal towns and growth areas of the Borough where national and local plan policies support sustainable development. Planning permission was previously granted for a retail food store on the site, which remains extant.

The proposal is for a 74 bed care home which would provide residential care for older persons in need as well as specialist dementia patient care. The principle of the proposed development is found to be in accordance with the Development Plan and would deliver 1-bedroom spaces in an appropriate highly sustainable location. The delivery of 74 bed care units would help relieve an identified unmet need including the provision of specialist dementia care and would also add to the Council's housing land supply.

The proposed design (as amended) would be contemporary in terms of its appearance and the use of materials but would loosely reflect the 'Mill like' character that the area is known for. It would provide an attractive form of development in an important area of Macclesfield and would respond positively to the Park Green and High Street Conservation Areas as well as other adjoining designated heritage assets having regard to the vacant unkempt nature of the site and previous buildings / uses. There would be economic benefits through the delivery of new jobs and investment in the area.

There is concern that the submitted tree information does not sufficiently evaluate cumulative impact on the character of area and would result in some pressure to prune retained trees. However, it must be acknowledged that the footprint of the proposed building has less impact and encroachment than a previously approved scheme for a retail food store on the site. It has also been established previously that the existing specimens were of no great amenity value. As such, the benefits of the scheme outweigh this concern.

The scheme is found to be acceptable in terms of its impact on the local highway network and the parking and pedestrian facilities would be sufficient to accommodate the proposed development.

The impact of the proposal on environmental considerations relating to flooding, drainage, land contamination (subject to further investigations), air quality and biodiversity and nature conservation would be acceptable subject to conditions. The impact on neighbouring residential amenity would be acceptable owing to separation distances and having regard to the context of the area. Impacts on local health care would be mitigated through commuted sums and subject to update, impacts on open space provision also.

On this basis, the proposal is for sustainable development which would bring environmental, economic and social benefits. The proposal is therefore considered to be acceptable in the context of the relevant policies of the adopted Cheshire East Local Plan Strategy, Site Allocations and Development Plan Policies Document and advice contained within the NPPF. The application is therefore recommended for approval.

### **Summary Recommendation**

**APPROVE subject to conditions and a s106 legal agreement**

## **1. DESCRIPTION OF SITE AND CONTEXT**

1.1. This application relates to the site of the Towers and Progress Mill, situated on Parsonage Street, Macclesfield. The site is bound by Park Street to the east, Park Green to the north and Parsonage Street to the west and through the site. The site occupies a slope, falling approximately 5m from south to north. A derelict concrete block building referred to as 'The Towers' formerly occupied the southern part of the site but has since been demolished. There is an electricity sub-station located along the Parsonage Street boundary. The remainder of the site is formed by a hardstanding area and an area of overgrown vegetation. There are several trees located towards the southern and south eastern parts of the site as well as a number of trees along the Park Green boundary, with several trees located along the northern part of the Park Street boundary. The site falls within Macclesfield Town Centre and Environs Character Area and adjoins the Park Green Conservation Area. The High Street Conservation Area is located on the opposite side of Park Street.

## **2. DESCRIPTION OF PROPSAL**

2.1. This application seeks full planning permission for the erection of a 74-no. bed care home (Use Class C2) with associated parking and landscaping.

## **3. RELEVANT PLANNING HISTORY**

- 3.1. 17/3022M - Erection of Class A1 retail unit, car parking and servicing areas, access, landscaping and associated works including relocation of electricity sub-station and remedial works to Listed Building following demolition of existing buildings – Approved 25-Jan-2018
- 3.2. 17/3024M - Listed building consent for erection of Class A1 retail unit, car parking and servicing areas, access, landscaping and associated works including relocation of electricity sub-station and remedial works to Listed Building following demolition of existing buildings - Approved 25-Jan-2018
- 3.3. 17/1853M - Erection of temporary 2.4m high hoarding around perimeter of site for a period of 18 months – Withdrawn 29-Jan-2018
- 3.4. 14/3650M - Demolition of existing buildings and development of a retail foodstore with subdivisible retail unit and associated car parking – Withdrawn 13-Jan-2015
- 3.5. 13/2559M - Proposed demolition of the existing towers block – Withdrawn / Not determined
- 3.6. 12/0242M - Conservation Area Consent for Removal of Existing 5 Storey Office Block Which Has Been Vacant for Over 10 Years. Building is Unlisted. Existing Boundary Wall to Park Street To Be Retained – Refused 16-Nov-2012

- 3.7. 12/0127M - Mixed Use Development of Assisted Living Residential Apartments (61 no.) and a Cafe, Both With Associated Landscaping and Servicing. Undercroft Parking is Provided for Residents. Existing Office Block to be Demolished – Refused 16-Nov-2012

#### **4. NATIONAL PLANNING POLICY**

- 4.1. The National Planning Policy Framework (NPPF) was first published by the Government in March 2012 and has since been through several revisions. It sets out the planning policies for England and how these should be applied in the determination of planning applications and the preparation of development plans. At the heart of the NPPF is a presumption in favour of sustainable development. The NPPF is a material consideration which should be taken into account for the purposes of decision making.

#### **5. DEVELOPMENT PLAN POLICY**

- 5.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires decisions on planning applications to be made in accordance with the Development Plan unless material considerations indicate otherwise. The Cheshire East Local Plan Strategy (2010 – 2030) was adopted in July 2017. The Site Allocations and Development Policies Documents was adopted in December 2022. The policies of the Development Plan relevant to this application are set out below, including relevant Neighbourhood Plan policies where applicable to the application site.

- 5.2. Relevant policies of the Cheshire East Local Plan Strategy (CELPS) and Cheshire East Site Allocations and Development Plan Policies Document (SADPD)

##### **CELPS:**

MP1 Presumption in Favour of Sustainable Development  
PG1 Overall Development Strategy  
PG2 Settlement Hierarchy  
PG7 Spatial Distribution of Development  
SD1 Sustainable Development in Cheshire East  
SD2 Sustainable Development Principles  
IN1 Infrastructure  
IN2 Developer Contributions  
SC1 Leisure and Recreation  
SC3 Health and Well-being  
SC4 Residential Mix  
SE1 Design  
SE2 Efficient Use of Land  
SE3 Biodiversity and Geodiversity  
SE4 The Landscape  
SE5 Trees, Hedgerows and Woodland  
SE7 The Historic Environment  
SE8 Renewable and Low Carbon Energy  
SE9 Energy Efficient Development  
SE12 Pollution, Land Contamination and Land Instability  
SE13 Flood Risk and Water Management  
CO1 Sustainable Travel and Transport  
CO4 Travel Plans and Transport Assessments  
Appendix C Parking Standards

##### **SADPD:**

PG9 Settlement Boundaries  
GEN1 Design principles

ENV1 Ecological network  
ENV2 Ecological implementation  
ENV5 Landscaping  
ENV6 Trees, hedgerows and woodland implementation  
ENV7 Climate Change  
ENV12 Air quality  
ENV14 Light pollution  
ENV15 New development and existing uses  
ENV16 Surface water management and flood risk  
ENV17 Protecting water resources  
HOU2 Specialist housing provision  
HOU8 Space, accessibility and wheelchair housing standards  
HOU12 Amenity  
HOU13 Residential standards  
HER 1 Heritage assets  
HER 3 Conservation area  
HER8 Archaeology  
INF1 Cycleways, bridleways and footpaths  
INF3 Highways safety and access  
INF9 Utilities  
REC1 Open space protection  
REC2 Indoor sport and recreation implementation  
REC3 Open space implementation

## **6. Relevant supplementary planning documents or guidance**

6.1. Supplementary Planning Documents and Guidance do not form part of the Development Plan but may be a material consideration in decision making. The following documents are considered relevant to this application:

### **6.2. SuDS SPD**

Ecology and Biodiversity Net Gain SPD  
Developer Contributions SPD  
Cheshire East Design Guide SPD  
Housing SPD  
Housing Strategy 2013-2023  
Vulnerable and Older Persons' Housing Strategy 2020-2024

## **7. CONSULTATIONS (External to Planning)**

7.1. **Adult Social Care** - Adult Services requested further information around the care type (nursing, residential or dementia) and pricing strategy in terms of self-funding care. Adult services have commented that there does not appear to have been consideration of alternative provision i.e. extra care housing which is aligned to supporting and optimising independence in a community environment or the provision of more specialist care i.e. End of Life / Advanced Dementia Care. Adult Services also wish to review the demand and capacity data accounting for the current number of care homes already built, vacancies within the care homes and new care home applications already approved given the Council's direction of Home First / independent living.

7.2. **Cheshire Fire & Rescue** – No objection and provide general advice the benefits of installing an internal sprinkler system.

7.3. **Environmental Protection** - No objection subject to conditions / informatives relating to contaminated land, noise mitigation, schemes for piling, dust management plan, floor floating

operations, construction hours, the provision of electric vehicle charging points and ultra low emission boilers.

7.4. **Greenspaces Officer** – consulted, but no comments received at time of report preparation.

7.5. **Historic England (HE)** – Supportive of the principle of redeveloping the site but have some concerns regarding the proposed design and believe this could be improved to better relate to local context.

7.6. **Lead Local Flood Authority (LLFA)** – No objection subject to condition requiring submission of a revised drainage strategy.

7.7. **Macclesfield Town Council (MTC)** - MTC support this application as it is bringing a good and important service to a site they would like to see developed. They ask that officers make sure the character and materials selected reflect the important heritage location adjacent.

7.8. **NHS** – No objection subject to a s106 commuted sum of £52,762 towards Waters Green Medical Centre to increase capacity.

7.9. **Strategic Housing** – No objection but ask that Adult Social Care are consulted.

7.10. **United Utilities (UU)** – The submitted drainage detail does not demonstrate that the drainage hierarchy has been thoroughly investigated. UU therefore request a condition requiring details of a sustainable surface water drainage scheme and a foul water drainage scheme to be submitted and approved.

## 8. REPRESENTATIONS

8.1. Representations have been received from 7 addresses, 3 objecting to the proposal and 4 supporting it. This includes submissions made by Macclesfield Civic Society who support the scheme. The points made are summarised as follows:

- Perfect location for a much-needed facility
- The town centre of a principal town, of any town centre, is not a place for a care home
- It will not contribute to or enhance the quality of it nor will the residents of a care home be able to enjoy what the town centre has to offer
- The addition of retirement housing / care home in this location will add to the vibrancy of the town centre, putting people within close walking distance of all amenities
- Good use of a vacant brownfield site
- Design seems to be appropriate and is of similar scale to nearby mill buildings
- Separation distances to neighbouring residential properties are acceptable
- Don't need more care homes we need shops
- Will cause constant stress and noise pollution to the Mill, plus a 74 bed care home will obstruct windows which leads to having zero privacy, natural light, and view
- In terms of townscape and visual impact the proposal (subject to care in the choice of external materials) has considerable merit
- In terms of social provision in the health and welfare context the proposal is positive

## 9. OFFICER APPRAISAL

### Background

9.1. This is a full application for the erection of a 74-no. bed care home (Use Class C2) with associated parking and landscaping. In 2018, full planning permission was granted for the construction of a Class A1 retail food-store, car parking and servicing areas, access,

landscaping and associated works including the relocation of an existing electricity sub-station. The scheme was never implemented although a concrete office block and a smaller light industrial brick-built building referred to as 'The Towers and Progress Mill' were demolished as part of the consent. These demolished buildings occupied the southern portion of the site.

### **Principle of Development**

- 9.2. Macclesfield is identified as one of the principal towns in Cheshire East where CELPS Policy PG 2 seeks to direct 'significant development' to the towns in order to 'support their revitalisation', recognising their roles as the most important settlements in the borough. Development will maximise the use of existing infrastructure and resources to allow jobs, homes and other facilities to be located close to each other and accessible by public transport.
- 9.3. The site is located within the Principal Town Centre Boundary. It falls outside of the Primary Shopping Area and therefore would not 'unacceptably undermine the predominant character of the primary shopping area where retail uses (use class E(a)) are concentrated' (SADPD Policy RET 7 refers).
- 9.4. In this case, the provision of 74 no. units (albeit in C2 use – residential institution) would be of an acceptable scale relative to the principal town of Macclesfield and would deliver residential accommodation within a highly sustainable location in the Town Centre.
- 9.5. The site is brownfield in nature and therefore its redevelopment to provide residential accommodation for older persons in such a highly sustainable location aligns with the general principles of national and local policy. The principle of the development is found to be acceptable.

### **Housing Land Supply**

- 9.6. The Cheshire East Local Plan Strategy was adopted on the 27th July 2017 and forms part of the statutory development plan. The plan sets out the overall strategy for the pattern, scale and quality of development, and makes sufficient provision for housing (36,000 new dwellings over the plan period, equating to 1,800 dwellings per annum) in order to meet the objectively assessed needs of the area.
- 9.7. As the plan is more than five years old, deliverable housing land supply is measured using the local housing need figure (plus 5% buffer), which is currently 2,603 dwellings per year rather than the LPS figure of 1,800 dwellings per year.
- 9.8. The National Planning Policy Framework (NPPF) identifies the circumstances in which relevant development plan policies should be considered out-of-date. These include:
- Where a local planning authority cannot demonstrate a five year supply of deliverable housing sites (with appropriate buffer) or:
  - Where the Housing Delivery Test Measurement indicates that the delivery of housing was substantially below (less than 75% of) the housing required over the previous three years.
- 9.9. In accordance with the NPPF, the council produces an annual update of housing delivery and housing land supply. The council's most recent Housing Monitoring Update (base date 31 March 2024) was published in April 2025. The published report identifies a deliverable five year housing land supply of 10,011 dwellings which equates to a 3.8 year supply measured against the five year local housing need figure of 13,015 dwellings.

- 9.10. The 2023 Housing Delivery Test Result was published by the Department for Levelling Up, Housing & Communities on the 12 December 2024 and this confirms a Housing Delivery Test Result of 262%. Housing delivery over the past three years (7,392 dwellings) has exceeded the number of homes required (2,820). The publication of the HDT result affirms that the appropriate buffer to be applied to the calculation of housing land supply in Cheshire East is 5%.
- 9.11. In the context of five-year housing land supply, relevant policies concerning the supply of housing should be considered out-of-date and consequently the 'tilted balance' at paragraph 11 of the NPPF is engaged.

### **Need for Care Home**

- 9.12. Policy HOU2 of the SADPD advises that the delivery, retention and refurbishment of supported and specialist housing, which meets an identified need, will be supported. Supported and specialist housing should be designed to satisfy the requirements of the specific use or group it is intended for, whilst being adaptable and responsive to changing needs over the lifetime of the development and meet the requirements of other relevant local plan policies.
- 9.13. The applicant's Planning Statement submitted in support of this application advises that based on 2025 need, 'an additional 399 wet room care home beds will be needed within the area (5-mile radius from the site location)'. There is an identified 399-bed shortfall in the Macclesfield area.
- 9.14. The Council's strategy is 'Home First' which is proving very effective in optimising independence for as long as possible, reducing the need for care home placements across the borough as more people are supported to remain independent in their own home. The strategy builds on primarily supporting people at home, able to offer appropriate levels of care and support in a range of environments.
- 9.15. Following the receipt of comments from Adult Services, the applicant has responded to confirm that the care type that will be offered would be residential and specialist dementia care. Given that the proposal would include specialist dementia care including care for advanced dementia / end of life residents, then it is considered that 'homes first' approach is not reasonable for such specialist provision. In terms of minimum market standard dedicated dementia care beds, based on 2026 need, there is a shortfall of 580 beds within Cheshire East. Having regard to this need and the mix of residential and specialist provision, the proposal is found to be acceptable as it would deliver 74 bed care units which would help relieve some of this identified unmet need including the provision of specialist dementia care. Accordingly, the proposal would comply with Policy HOU 2.

### **Design**

- 9.16. The NPPF paragraph 135 and local plan Policy SE 1 emphasises the importance of securing high quality design appropriate to its context.
- 9.17. Policy SD 2 of the CELPS expects all development to "Contribute positively to an area's character and identity, creating or reinforcing local distinctiveness in terms of:
- a. Height, scale, form and grouping;
  - b. Choice of materials;
  - c. External design features;
  - d. Massing of development - the balance between built form and green/public spaces;
  - e. Green infrastructure; and



f. Relationship to neighbouring properties, street scene and the wider neighbourhood;”

9.18. Policy GEN1 of the SADPD relates to Design principles. Criterion 1 requires that development proposals should create high quality, beautiful and sustainable buildings and places avoiding the imposition of standardised and/or generic designs. Whilst criterion 9 details that developments should be accessible and inclusive for all.

9.19. This site is prominent within the Park Green area of Macclesfield, which is a sensitive part of the town centre in heritage terms. The site is located within the Park Green Conservation Area, with several listed buildings nearby - Upper and Lower Paradise Mill and the former College of Further Education (now Wetherspoons) immediately adjacent, 1 Park Street directly opposite the site across Park Street and the war memorial at Park Green. The proposed development would be located within their settings.

9.20. The site is presently vacant, with the former Tower's building having been demolished. On the periphery, along the Park Street and Park Green frontages is an established landscape edge with semi and mature trees to the Park Green frontage. An existing brick wall marks the edge of the highway along Park Street. Parsonage Street has an attractive stone set surface for much of its length.

9.21. The site's topography falls from south to north, effectively dropping the equivalent of a residential storey across the length of the site. The site's planning history includes permission for a supermarket. That application entailed significant negotiation to secure a bespoke design solution for this challenging town centre site.

9.22. One of the key challenges of this site is integrating a large floorplate building given the dimensions and shape of the site, the challenging topography and the heritage context. Larger buildings are characteristic of this area and of Macclesfield more widely, but on this site, where it has prominent frontages, a significant challenge is creating an appropriate design response to the prevailing character and securing appropriate levels of activity and interaction with the wider townscape.

9.23. The proposed design has been subject to discussions with the Local Planning Authority following concerns expressed by officers and the Council's Conservation and Design Officer. These discussions have resulted in an amended design which would be generally contemporary in terms of its appearance and would utilise a mix of materials using facing brick and sections of cladding which would help to deliver a good quality design for this site whilst allowing the end user to satisfy their own operational requirements.

9.24. The proposed building would be roughly linear in terms of its footprint running north to south and closely aligned and running roughly parallel with Park Street, which runs alongside the eastern boundary of the site. The linear form would have a 'Mill like' form, which the area is characterised by.

9.25. In terms of height and scale, the proposed building would be part three storey and part four storey by utilising the existing slope of the site. The building would be set down into the slope at the southern end where it would be three storeys and then it would turn to four storeys as the site slopes down towards the northern end at Park Green. This would provide a variation in height. Because the building would be linear in terms of its form, it would present itself as a long structure facing Park Street (to the east) and Parsonage Street (to the west). To help break up the massing, the amended scheme has incorporated several design features to provide a perception of depth and interest. This includes a several sections of cladding, a central step up and step out of the building midway along the frontages and other more recessive elements which would project out from the elevations. There would also be contrasting brick detailing in the form of recessed brick work which would provide a textured

perforated appearance which would add some architectural quality at key points along the main elevations.

- 9.26. At the northern end of the site, where the building would address Park Green, the proposal has been amended to incorporate a sweeping brick wall, that ties into the existing wall along Park Green and Park Street. This would include integral seating areas and planting. There would also be some increased hedge planting behind this to screen the service area of the proposed building and provide some greening up. The formation of this landscape feature would provide resting opportunities for all accessibility requirements, whilst focusing views towards the improved landscaped area fronting onto Park Green. This could be used by members of the public / patrons.
- 9.27. With regard to fenestration, the window treatments would be repetitive like a Mill and would feature reveals to again provide some depth to the elevations. There would also be some large features of glazing at key points of the elevations e.g. at entrance points to provide some visual interest.
- 9.28. The western elevation of the proposed building would run alongside Parsonage Street and would serve to provide vehicular access to a surface level car park occupying part of the rear southern portion with the rest given over to gardens and open space for use by the residents of the proposed development.
- 9.29. The scale of the development would reflect the adjacent built environment. The topography of the land slopes downwards from the southern end to the northern end at Park Green. The proposal would utilise this level difference by partly burying the building to the south of the site bounding Churchill Way. As a result, the proposals would appear a lot less dominant than the previous built form comprising of the large unsightly concrete tower block which stood to the south of the site.
- 9.30. The proposed design would be acceptable in terms of its appearance subject to condition securing the use of high quality materials. It would provide an attractive form of development in an important area of Macclesfield Town Centre and would respond positively to the Park Green and High Street Conservation Areas. The design is therefore found to be acceptable and in accordance with Policies SE 1 and SD 2 of the CELPS.

### **Heritage Assets**

- 9.31. The proposed development has the potential to affect a number of designated heritage assets, including the Park Green and High Street Conservation Area, an area of archaeological potential and 3 Grade II listed buildings adjoining the western boundary of the site. To that end, the applicant has undertaken a Heritage Impact Assessment. Archaeology will be considered separately below.
- 9.32. With respect to the impact on the adjoining conservation areas, the previous Towers building was an unsightly concrete tower block which detracted from the adjoining conservation areas as well as the setting of the adjacent listed buildings. Its height, massing, architectural style and positioning out of the historic building line all served to undermine and dominate key views in and out of the conservation areas. However, the building was removed several years ago and so more recently the site has been absent from development resulting in a moderate impact on the adjoining heritage assets.
- 9.33. Bringing the site forward for development will have a positive impact on the character of the area and the individual heritage assets within it and as considered above, the proposed design will not undermine the appearance of the area subject to the use of high quality materials. Whilst the loss of the existing planting / green edge is regretful in terms of its current

contribution to Park Green, reinforcement of the intention to replace this loss would be welcomed and secured by a landscaping condition.

9.34. In terms of the impact on the setting of the adjoining listed buildings, the 3 grade II listed buildings which border the western boundary of the site have already benefitted from the removal of previous buildings on the site. The receipt of the amended scheme, which has improved the overall design quality of the scheme, would respect the settings of the designated heritage assets.

9.35. Further, the proposed redevelopment would bring an otherwise prominent vacant site which is currently unsightly into a viable use, and this is a significant benefit in favour of the scheme. The comments made by Historic England are noted, but officers consider that these have been adequately addressed by the revised plans.

9.36. Subject to the use of high quality facing materials and hard and soft landscaping details, details of window treatments and architectural detail (cladding and recessed brick detailing) the proposal would protect and enhance the setting of the adjoining designated heritage assets in accordance with Cheshire East Local Plan Policy SE 7 and SADPD policies HER 1 and HER 3.

### **Residential Amenity**

9.37. With regards to neighbouring amenity, Policy HOU12 advises development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed development due to:

1. loss of privacy;
2. loss of sunlight and daylight;
3. the overbearing and dominating effect of new buildings;
4. environmental disturbance or pollution; or
5. traffic generation, access and parking.

9.38. Policy HOU13 sets standards for spacing between windows of 20 metres between front elevations, 24 metres between rear elevations or 14 metres between habitable to non-habitable rooms for three storeys. For differences in land levels and additional storeys, it suggests an additional 2.5m for levels exceed 2 metres. This proposal would be four storeys and would therefore require a separation of 22.5 metres front to front, 26.5 metres rear to rear and 16.5 metres between habitable to non habitable room windows.

9.39. The nearest residential properties are located on the opposite side of Park Street to the east and there are some that back onto the western boundary of the site where Progress Mill stands. The nearest of the neighbouring residential properties will be at their closest point approximately 24 metres from the proposed building. Whilst the levels of the site do change from north to south, this levels change is not in the direction of the nearest neighbours and so the site does not occupy higher ground requiring increased separation standards. Having regard to the separation, character and appearance of the site and its surroundings the development is considered to provide a commensurate degree of space, light and privacy for adjoining neighbours. The proposal would generally accord with the above standards.

9.40. With regard to the amenity afforded to the future occupiers of the development, the Council's Environmental Protection Unit (EPU) has assessed the application together with the submitted noise assessment and is satisfied that subject to conditions, the scheme would not prejudice residential amenity by reason of noise (road traffic noise).

- 9.41. Relationships with all other surrounding properties are considered to be acceptable and no significant amenity issues are therefore raised. The proposal is therefore considered to comply with policies HOU12 and HOU13 of the SADPD.

### **Land Contamination**

- 9.42. The application area has a history of industrial use and therefore there is the potential for contamination of the site. The reports submitted in support of the application recommend that further investigations are carried out to determine the presence and extent of any contamination on site. There is evidence that there are some asbestos materials on site which will need to be dealt with appropriately. As such, and in accordance with the NPPF, the Council's Environmental Protection Unit (EPU) recommends that such updated reports and investigations can be secured by condition. Subject to this, the considerations in respect of land contamination are acceptable.

### **Air Quality**

- 9.43. Policy SE12 of the CELPS states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality.
- 9.44. The application is supported by a report which considers whether the development will result in increased exposure to airborne pollutants, particularly as a result of additional traffic and changes to traffic flows. The assessment uses ADMS Roads to model NO<sub>2</sub>, PM<sub>10</sub> and PM<sub>2.5</sub> impacts from additional traffic associated with this development and the cumulative impact of committed development within the area.
- 9.45. The assessment concludes that the impact of the future development on the chosen receptors will be negligible with regards to all the modelled pollutants. However, Macclesfield has three Air Quality Management Areas, and as such the cumulative impact of developments in the area is likely to make the situation worse, unless managed. It is therefore considered appropriate that mitigation should be sought in the form of direct measures to reduce the adverse air quality impact.
- 9.46. The Council's EPU has advised that development of this scale and duration would be expected to have an adequate demolition, construction and trackout dust control plan implemented to protect sensitive receptors from impacts during this stage of the proposal and this is mentioned within the assessment as a form of mitigation. The developer has submitted a travel plan, and details showing the locations of electric vehicle charging points to be installed which are deemed to be acceptable.
- 9.47. The impact upon air quality could be mitigated with the imposition of conditions requiring the provision of electric vehicle charging points, a dust management plan and low emission boilers. Subject to this, the scheme is found to be in compliance with CELPS Policy SE 12.

### **Trees and Landscaping**

- 9.48. Trees within the site are currently not protected by a Tree Preservation Order. The site lies within the Park Green (Macclesfield) Conservation Area. Trees over 75mm diameter measured at 1.5 metres from ground level are therefore afforded protection under s211 of the Town and Country Planning Act 1990.
- 9.49. The submitted Tree Survey has identified 48 individual trees and two groups within the application site. Five low (C ) category trees and one group of trees are proposed for removal to accommodate the proposal, which is deemed to have a minor local impact. The loss of these trees will be mitigated by the planting of 16 new trees shown on the submitted

landscape proposal . The proposed plantings comprise of heavy standard ornamentals and larger canopy species including Scots Pine, Lime and Hornbeam (the latter of which are narrow growing) located predominantly adjacent to Park Street. The selection is relatively standard fare, although the selection of Scots Pine is not considered appropriate to this location and some planting locations may require adjustment to accommodate future growth potential. As such, the condition requiring submission of revised landscaping scheme is recommended securing more appropriate species planting. Notwithstanding this, the proposed planting generally accords with BNG requirements and mitigation requirements of Policy SE5.

9.50. The application is supported by a revised Arboricultural Survey which acknowledges the Park Green (Macclesfield) Conservation Area and notes the trees prominence. There is some concern that it does not sufficiently evaluate the trees cumulative impact on the character of Park Lane, Park Green nor fully articulates the heritage and landscape contribution of the trees in relation to the screening of the site and to the surrounding historic streetscape. However, it must be acknowledged that the footprint of the proposed building has less impact and encroachment on the retained tree specimens than the extant scheme which approved a retail food store on the site. It has also previously been established that that the existing specimens were of no great amenity value.

9.51. Root Protection Areas (RPAs) - The assessment of the RPAs of some of the trees within the site have not fully considered existing site conditions (presence of walls/hard standing etc) which may affect how tree protection measures are considered. This detail could be secured by conditions relating to tree protection. No-dig methodology is proposed for stores abutting Park Green within the RPAs of trees T12-T17. As these trees are outside the site and root morphology restricted, there are no specific concerns regarding the location of these structures.

9.52. Relationship of trees to development - The survey advises that separation between the proposed building and retained tree canopies is 'on the whole favourable with no trees causing or likely to cause restriction on enjoyment'. However, the survey advises that some trees (T12-T17) will require pruning to accommodate the building and that little account has been given to the trees future growth potential, particularly as some are only at early maturity. Illustrative shading arcs have been provided to show the extent of shading from retained trees and the survey acknowledges that there will be part shading from trees to the building along the Park Street frontage and to the terraced garden area from two retained trees. Shading of buildings (and open spaces) and the relationship of trees to buildings is considered in BS5837:2012 and can significantly impact land use and living conditions . There is some concern that shading from trees (and potentially restriction of daylight) may adversely affect future occupiers which may lead to requests to severely prune or fell trees.

9.53. Drainage - Proposed drainage runs have been assessed, with the survey identifying small incursions within the RPA of trees T16 and T17 with tree protection fencing offset by 0.6 metres from the pipe centres to accommodate installation. This minor encroachment is considered acceptable subject to a detailed method statement.

9.54. It is considered that the mitigation proposals to offset the removal of trees to accommodate the development appears to accord with BNG and Policy SE 5. Whilst there is concern that the layout may require the need to prune and regularly manage retained trees, given that they are not of outstanding amenity value, it is considered that this is outweighed by the benefits of bringing forward this vacant brownfield site and also having regard to the impact of the extant scheme for the retail food store.

## **Biodiversity and Nature Conservation**

- 9.55. The Council's Nature Conservation Officer (NCO) has reviewed the Statutory Biodiversity Metric and Biodiversity Impact Assessment submitted by the applicant and has confirmed this application is subject to mandatory biodiversity net gain.
- 9.56. The Statutory Metric predicts a sufficient net gain of 0.40 habitat units (+50.84%) and a gain of 0.29 hedgerow units (+73.14%). It should be noted that the site is within the ecological network restoration areas, which forms part of the Cheshire East Council SADPD. Therefore, the habitats within the metric should be filled in as identified in local strategy. However, a suitable net gain is still predicted within the metric when the habitats strategic significance is amended, and therefore there are no major concerns with this error.
- 9.57. Overall, the proposed development adheres with both the mitigation hierarchy and the biodiversity gain hierarchy. Subsequently, a Habitat Management Plan (HMP) is recommended to ensure the proposed habitat creation is fully implemented, and habitats and hedgerows reach the proposed condition as detailed in the metric. Additionally, if planning consent is granted, an informative must be added to the decision notice relating to the Biodiversity Gain condition, as required under the Environment Act.
- 9.58. Subject to conditions to safeguard breeding birds and conditions / informative securing biodiversity net gain and an ecological enhancement strategy, the proposal is considered to comply with Policy SE3 of the CELPS and policies ENV1, ENV2 of the SADPD.

## **Health**

- 9.59. In order to mitigate the impacts of the development on local healthcare, the NHS has requested a financial contribution. This will be secured as part of a S106 Agreement. The requested contribution would offset the direct impact on health care provision and would be used to improve health infrastructure facilities within Waters Green Medical Centre, Macclesfield and Primary Care Network.
- 9.60. The required contribution is in line with Supplementary Planning Document for Developer Contributions – Health Infrastructure, based on: 1 bed unit x 74 = £52,762
- 9.61. As a result, the contribution is considered to be both reasonable and necessary and would be secured by way of section 106 agreement.

## **Open Space**

- 9.62. Policy SE6 requires major developments (10 or more) to provide open space, which requires 65m<sup>2</sup> per family dwelling consisting of children's play space, amenity green space, food growth and green infrastructure connectivity to be provided on site in the first instance. In some cases, commuted sums may be more appropriate for improvement of other open spaces and green infrastructure connectivity. Given that the proposal is for specialist accommodation i.e. not family dwellings, there would not be the same requirement for open space provision. Should any comments be received from the Council's Greenspaces Officer prior to committee, these will be reported to members by way of an update.

## **Archaeology**

- 9.63. This part of the town was identified as being one of two areas thought to have been settled in the early medieval period, forming part of the medieval Manorial complex. The manorial estate would have attracted trade and Park Green to the east of the development area may

have acted as a market place which could explain why this part of the town had been built up by the end of the post medieval period. This area of Macclesfield continued to be the subject of development throughout the late 18th, 19th and 20th centuries and the first edition Ordnance Survey map of 1873 depicts the proposed development area as being occupied by a number of terraced houses, courts, a coal yard, a public house named the Gardeners Arms and at the northern extent of the site was the Macclesfield Brewery built in 1790 by William Paxton. The proposed development area remained relatively unaltered up until the mid to late 20th century during which period it was cleared and the Towers building was erected within the southern extent of the site.

9.64. It is considered likely that the 19th and 20th century development which occurred within the proposed development area may have resulted in some damage to, and/or destruction of, any earlier medieval and post medieval archaeological deposits. However recent archaeological work (2014) elsewhere in the town have shown that buried archaeological remains dating to the 17th and 18th centuries can still be found, albeit in a poorly preserved state. There is therefore a potential for late 18th century, and/or earlier, deposits to survive on the site. Any such surviving remains would merit preservation by record, i.e. archaeological excavation and recording. In this instance, the car parking and grassed area occupying the northern half of the site, would offer the best opportunity to carry out some limited archaeological evaluation in the form of trial trenching, in order to determine the nature and extent of any surviving remains related to the Macclesfield Brewery, to determine if earlier deposits survive beneath them, and establish the level of any further archaeological investigation that may be required.

9.65. The Cheshire Archaeology Planning Advisory Service (APAS) has therefore recommended that an appropriate programme of archaeological mitigation be undertaken and secured by condition. Subject to this, the proposal is found to be acceptable in this regard and compliant with Policy SE 7 of the Cheshire East Local Plan and HER 8 of the SADPD.

### **Flood Risk and Drainage**

9.66. The site is located within Flood Zone 1 where flooding from rivers and the sea is very unlikely with less than a 0.1 per cent (1 in 1000) chance of flooding occurring each year. A very small section of the site in the far north-western corner falls within an Indicative Flood Zone according to the Local Plan Proposals Map. However, this is not a flood zone recognised by the Environment Agency and given that this area of land is already hard surfaced, it is not considered that the proposals would give rise to issues relating to increased flood risk.

9.67. Whilst the scheme is supported by drainage proposals, Unite Utilities and the LLFA have reviewed these and consider that the scheme should be revised to adopt the hierarchy of drainage solutions. They have recommended that this be secured by condition. Subject to drainage conditions, the proposal would not give rise to flooding or drainage issues.

### **Parking, Highway Safety and Traffic Generation**

9.68. Parsonage Street will provide the vehicular access to the care home and its associated car park. As the proposal is a care home / supported living accommodation, then a C2 use has been assumed. The main entrance to the building will be at the western end of Parsonage Street with a service/ambulance bay proposed midway along Parsonage Street.

9.69. A total of 25 car parking spaces is proposed, including 4 no. electric vehicle charging spaces and 3 no. accessible spaces which is below the recommended CEC standard for C2 use based upon likely staff numbers. However, this is a town centre site which is readily accessible and there is a public car park opposite the site. Day time parking restrictions are in force on the surrounding roads to the site to control on-street parking. Given these factors, the level of parking proposed is accepted as sufficient.

9.70. The traffic impact arising from the proposed is low and does not result in any capacity problems on the local road network and has much less traffic generation than the previously approved food store.

9.71. The proposed care home is a low traffic generation use and is in a good position close to the town centre for residents to be able to access facilities by foot. There are no highway objections to the application.

9.72. The proposal is therefore considered to comply with policies SD 1 and CO 2 of the CELPS, INF3 of the SADPD.

## **CIL COMPLIANCE**

9.73. In order to comply with the Community Infrastructure Levy (CIL) Regulations 2010, it is necessary for planning applications with legal agreements to consider the issue of whether the requirements within the S106 satisfy the following:

- a) Necessary to make the development acceptable in planning terms;
- a) Directly related to the development; and
- c) Fair and reasonably related in scale and kind to the development.

It is considered that the contributions required as part of the application towards the NHS, and subject to comments from the Greenspaces Officer, towards public open space are justified and meet the Council's requirement for policy compliance. As set out above, all elements are necessary, directly relate to the development and are fair and reasonable in relation to the scale and kind of development.

On this basis the scheme is compliant with the CIL Regulations 2010

## **10. PLANNING BALANCE/CONCLUSION**

10.1. This proposal would bring a prominent vacant brownfield site into viable use on one of the key gateways into Macclesfield Town Centre, which is one of the principal towns and growth areas of the Borough where national and local plan policies support sustainable development. Planning permission was previously granted for a retail food store on the site, which remains extant.

10.2. The proposal is for a 74 bed care home which would provide residential care for older persons in need as well as specialist dementia patient care. The principle of the proposed development is found to be in accordance with the Development Plan and would deliver 1-bedroom spaces in an appropriate highly sustainable location. The delivery of 74 bed care units would help relieve an identified unmet need including the provision of specialist dementia care and would also add to the Council's housing land supply.

10.3. The proposed design (as amended) would be contemporary in terms of its appearance and the use of materials but would loosely reflect the Mill like character that the area is known for. It would provide an attractive form of development in an important area of Macclesfield and would respond positively to the Park Green and High Street Conservation Areas as well as other adjoining designated heritage assets having regard to the vacant unkempt nature of the site and previous buildings / uses. There would be economic benefits through the delivery of new jobs and investment in the area.

10.4. There is concern that the submitted tree information does not sufficiently evaluate cumulative impact on the character of area and would result in some pressure to prune retained trees.



However, it must be acknowledged that the footprint of the proposed building has less impact and encroachment than a previously approved scheme for a retail food store on the site. It has also been established previously that the existing specimens were of no great amenity value. As such, the benefits of the scheme outweigh this concern.

10.5. The scheme is found to be acceptable in terms of its impacts on the local highway network and the parking and pedestrian facilities would be sufficient to accommodate the proposed development.

10.6. The impact of the proposal on environmental considerations relating to flooding, drainage, land contamination (subject to further investigations), air quality and biodiversity and nature conservation would be acceptable subject to conditions. The impact on neighbouring residential amenity would be acceptable owing to separation distances and having regard to the context of the area. Impacts on local health care would be mitigated through commuted sums and subject to update, impacts on open space provision also.

10.7. On this basis, the proposal is for sustainable development which would bring environmental, economic and social benefits. The proposal is therefore considered to be acceptable in the context of the relevant policies of the adopted Cheshire East Local Plan Strategy, Site Allocations and Development Plan Policies Document and advice contained within the NPPF. The application is therefore recommended for approval.

## 11. RECOMMENDATION

APPROVE subject to a s106 legal agreement to secure the following:

<b>S106</b>	<b>Amount</b>	<b>Trigger</b>
NHS	£52,762 towards improved health infrastructure facilities at Waters Green Medical Centre, Macclesfield	Pre-commencement
POS	TBC	TBC

and the following conditions / informatives:

1. Commencement of development (3 years)
2. Development in accord with approved and amended plans
3. Materials to be submitted including details of surfacing
4. Details of window reveals to be submitted, approved and implemented with minimum reveal of 100mm
5. Details of fenestration to be submitted including colour (to be dark and not UPVC)
6. Details of recessed brickwork and the external cladding to be submitted, approved and implemented
7. Details of scheme of public realm works to Park Green frontage to be submitted
8. Revised landscaping - submission of details
9. Landscaping (implementation)
10. Submission, approval and implementation of Arboriculture Arboricultural Impact Assessment and Method Statement
11. Submission, approval and implementation of a revised Tree Protection Scheme
12. Accordance with submitted Ecological Assessment
13. Nesting birds survey to be submitted

14. Submission, approval and implementation of a habitat creation method statement and a 30-year habitat management plan (Biodiversity Net Gain – Habitat Management Plan)
15. Submission, approval and implementation of an Ecological Enhancement Plan
16. Details of a sustainable surface water drainage scheme and a foul water drainage scheme to be submitted, approved and implemented
17. Accordance with submitted noise mitigation measures
18. Method statement for piling and floor floating to be submitted
19. Dust Management Plan for minimising dust emissions during demolition / construction to be submitted, approved and implemented
20. Accordance with submitted Electric Vehicle Charging Infrastructure and provided prior to first occupation
21. Any gas fired boilers to be low emission
22. Accordance with submitted Travel Plan
23. Phase I / II ground investigation and risk assessment to be submitted, approved and implemented
24. Verification report in accordance with remediation to be submitted and approved
25. Imported soil to be tested for contamination
26. Unforeseen contamination to be reported to LPA
27. 10% of energy to be secured from decentralised and renewable or low carbon sources
28. Programme of archaeological work in accordance with a written scheme of investigation to be submitted, approved and implemented
29. Parking provided in accordance with submitted details prior to first occupation

### Informatives:

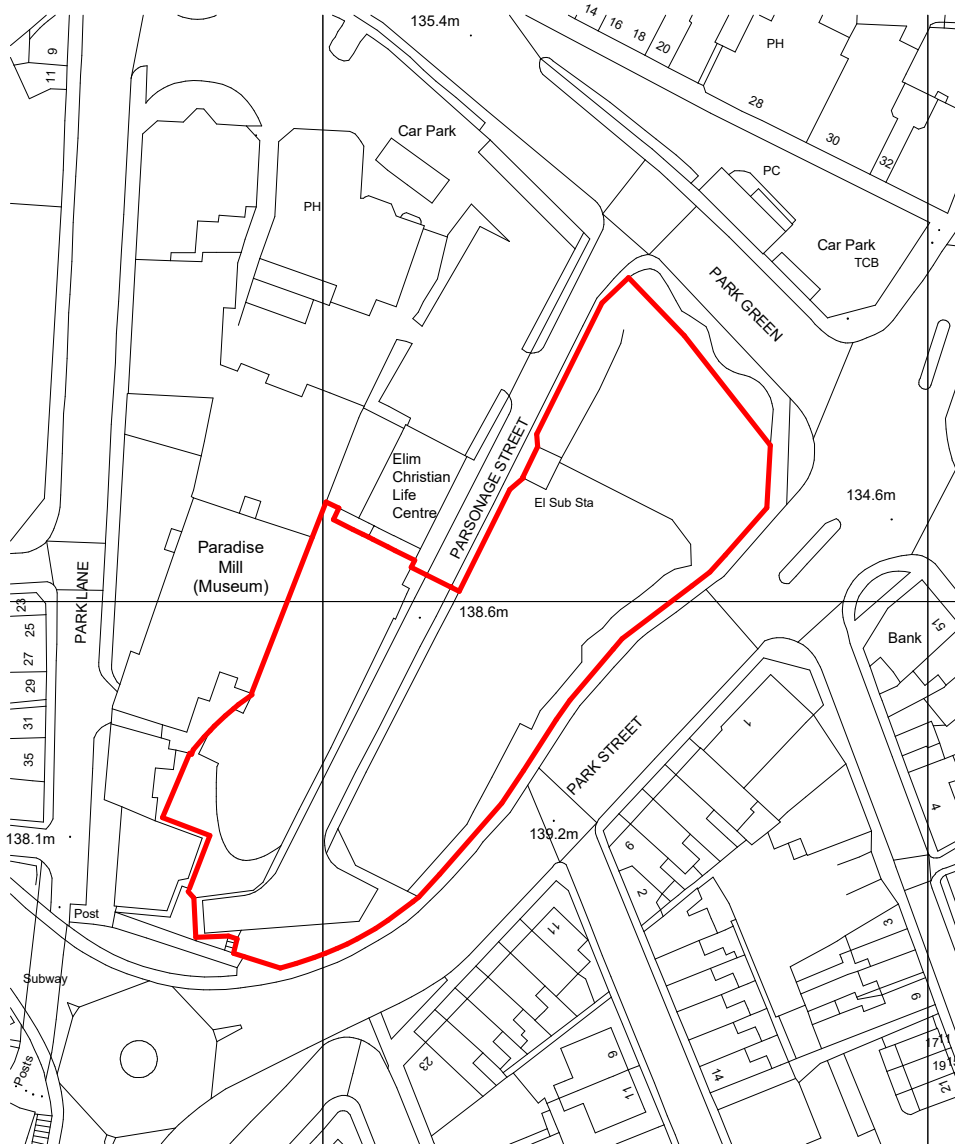
1. NPPF
2. Biodiversity Gain Informative
3. Environmental Health Informatives

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.



24/0999M

The Towers And Progress Mill,  
Parsonage Street,  
Macclesfield,  
Cheshire.



Site Location Plan 1 : 1250

**Please note:**  
 Tile plan information based on Ordnance Survey  
 information, exact boundary position to be  
 confirmed by client / legal representative.

P:\3378 Parsonage Street, Macclesfield\0.00 Drawings\0.01 Project Drawings\3378 Site Model\008.rvt

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Northpoint:

Rev	Date	Amendments	By	Chkd

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Page 30

Project:  
 Proposed Care Home, Parsonage Street, Macclesfield

Client:  
 Torsion Care

Drawing Title:  
 Site Location Plan

Date:	Scale:	Size:	Drawn:	Checked:
June 2023	1 : 1250	A4	Author	Checker

Project Number:	Status:
3378	Planning

Drawing Number:	Revision:
3378-DEN-A-XX-DR-A-0001	





Please note:  
Tile plan information based on  
Ordnance Survey information,  
exact boundary position to be  
confirmed by client / legal  
representative.

Existing access to be  
closed off to match  
existing wall

Outline of  
Unregistered  
Land

Secure  
Communal  
Amenity Space

3D View  
05

Indicative refuse tracking to  
be confirmed by specialist

Short stay  
Bike Storage

74 Bed Care  
Home

3D View  
03

Existing access to be  
closed off to match  
existing wall

PARK STREET

New 1800mm high hedge to tie  
into existing planting/shrubs.

New Public open space  
with seating facilities and  
integrated planting areas.

Existing Sub-Station  
position

Service/Ambulance bay

3D View  
02

3D View  
04

Existing, poor quality,  
boundary wall to be  
removed.

Existing hedging cut back to  
provide public space and  
new benches to Park Green.

New path to be integrated  
into the exiting access.

New 1500mm high wall to  
incorporate seating and  
planting to new public open  
space.

PARK GREEN

3D View  
01

Key

Existing trees retained

Proposed trees

Existing tree removed

Existing planting/shrubs retained

Proposed planting/shrubs

\* EV Parking Bay, 2 charging points  
for 4 spaces.

Tarmac to parking areas and  
footpath along Parsonage Street to  
approved sample

Paving to approved sample

Paving to approved sample

1800mm high black hoop top  
fence to approved sample

Retaining wall to Structural  
Engineers' details. Heights  
indicated on drawing. Material  
to approved sample.

P:\3378 Parsonage Street, Macclesfield\0.00 Drawings\0.01 Project Drawings\3378 Site Model 014.rvt

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Northpoint:

Rev	Date	Amendments	By	Chkd
A	29/02/24	Retaining wall added in line with drainage plan	HSS	ADP
B	26/11/24	Drawing updated to planners' comments	HSS	ADP
C	20/01/25	Drawing updated to Planners' Comments	HSS	ADP
D	17/02/25	Drawing updated to Planners' comments	HSS	ADP
E	26/02/25	Drawing updated to Planners' comments	HSS	ADP

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Project: Proposed Care Home, Parsonage Street, Macclesfield			
Client: Torsion Care			
Dwg Title: Proposed Site Plan			
Date: June 2023	Scale: 1 : 200	Drawn: ST	Checked: ADP
Project No: 3378	Size: A1	Status: Planning	
Drawing Number: 3378-DEN-A-XX-DR-A-1000			Revision: E





2nd Floor 1 : 200



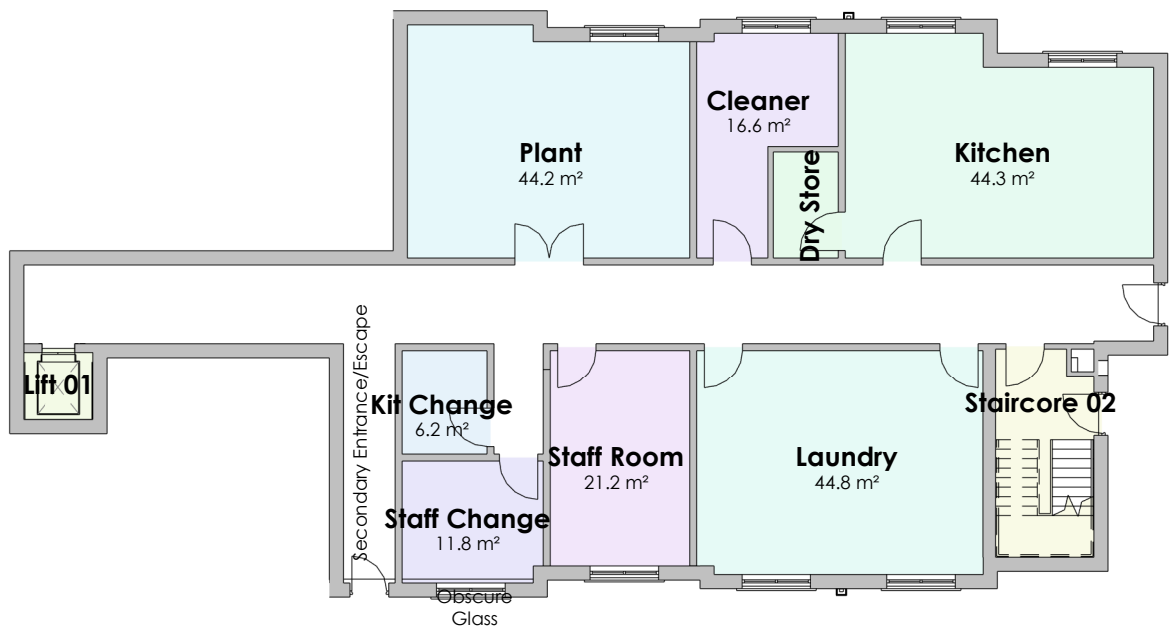
1st Floor 1 : 200



Ground Floor 1 : 200

Gross Internal Area (GIA)		
Level	Area	Ft2
Lower Ground Floor	302.5 m²	3256 ft²
Ground Floor	1164.4 m²	12533 ft²
1st Floor	1145.5 m²	12330 ft²
2nd Floor	1106.1 m²	11906 ft²
	3718.5 m²	40026 ft²

Total Bedrooms
74



Lower Ground Floor 1 : 200

P:\3378 Parsonage Street, Macclesfield\0.00 Drawings\0.01 Project Drawings\3378 Care Home Model 019.rvt				
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Project: Proposed Care Home, Parsonage Street, Macclesfield			
Client: Torsion Care			
Dwg Title: Proposed Plans			
Date: Feb 2023	Scale: 1 : 200	Drawn: HSS	Checked: ADP
Project No: 3378	Size: A1	Status: Planning	
Drawing Number: 3378-DEN-A-XX-DR-A-2001			Revision: A





Proposed Front Elevation - Parsonage Street 1 : 100



Proposed Rear Elevation - Park Street 1 : 100



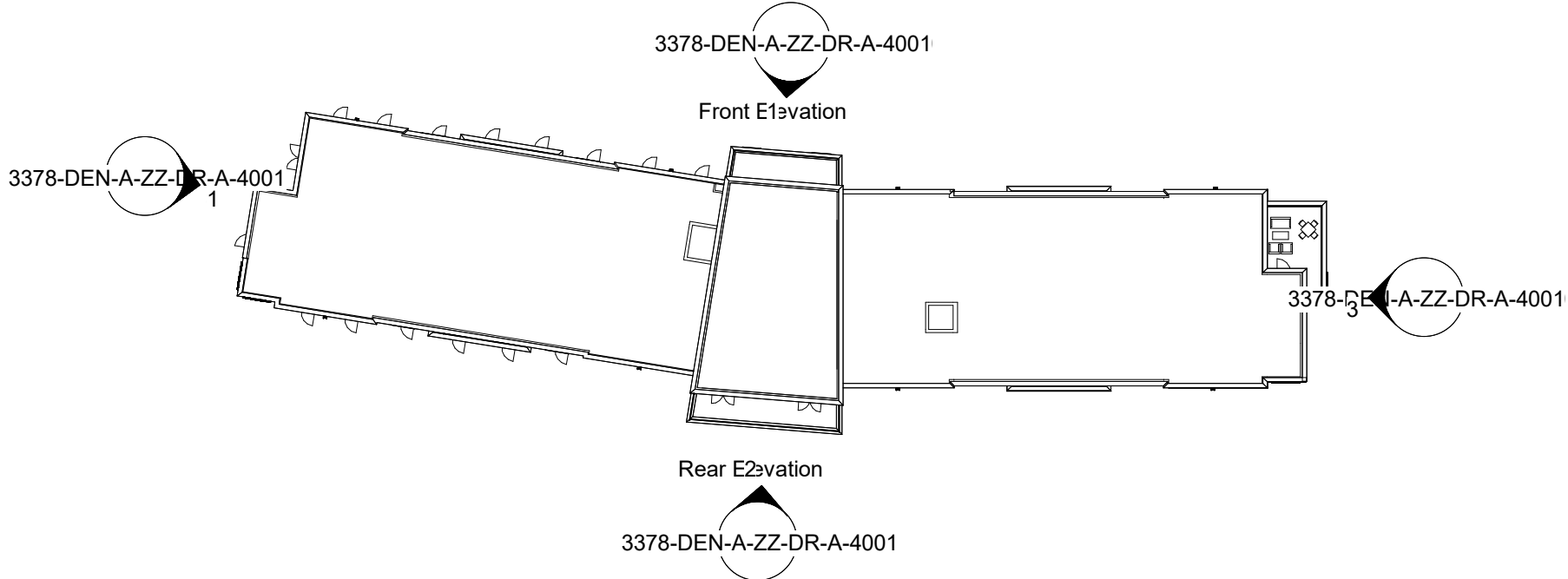
Side Elevation 1 - Park Green 1 : 100



Side Elevation 2 1/100 1 : 100

Materials Schedule

- 1 Reconstituted stone to approved sample
- 2 Brick to approved sample
- 3 Double Glazed Door to approved sample
- 4 Double Glazed Window to approved sample
- 5 Single Fly Membrane roof to approved sample
- 6 Brick Heads/ Reconstituted Stone Cills and Coursing to approved sample
- 7 Black Rainwater Goods
- 8 Balustrade/Handrails to approved
- 9 Vertical Cladding - Dark Grey to approved sample
- 10 Cladding - Dark Grey to approved sample



Elevation Key 1 : 500

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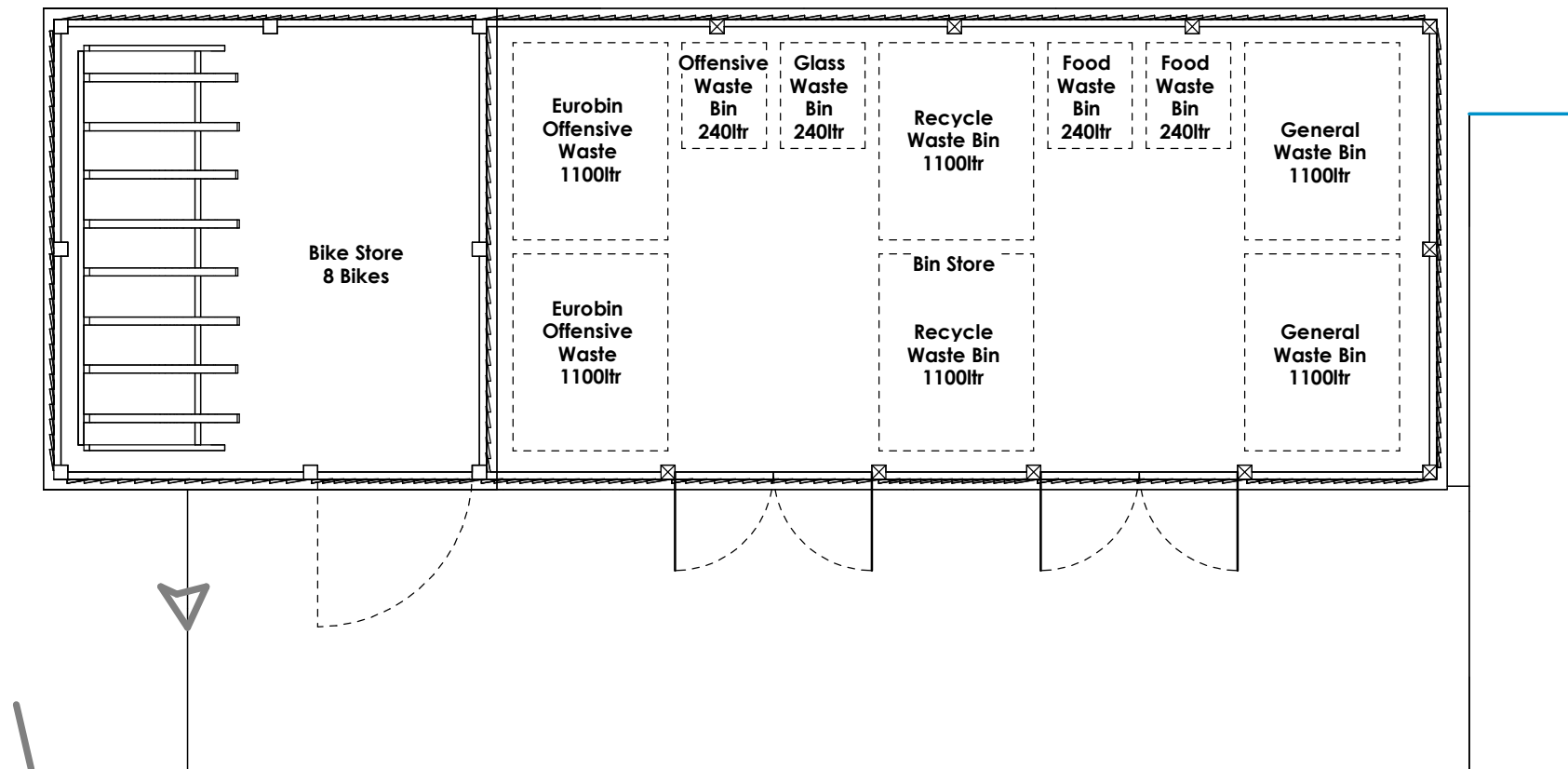
A 30/09/24 Deviations updated to planner comments HSS ADP

B 30/11/24 Drawing updated to Planner comments HSS ADP

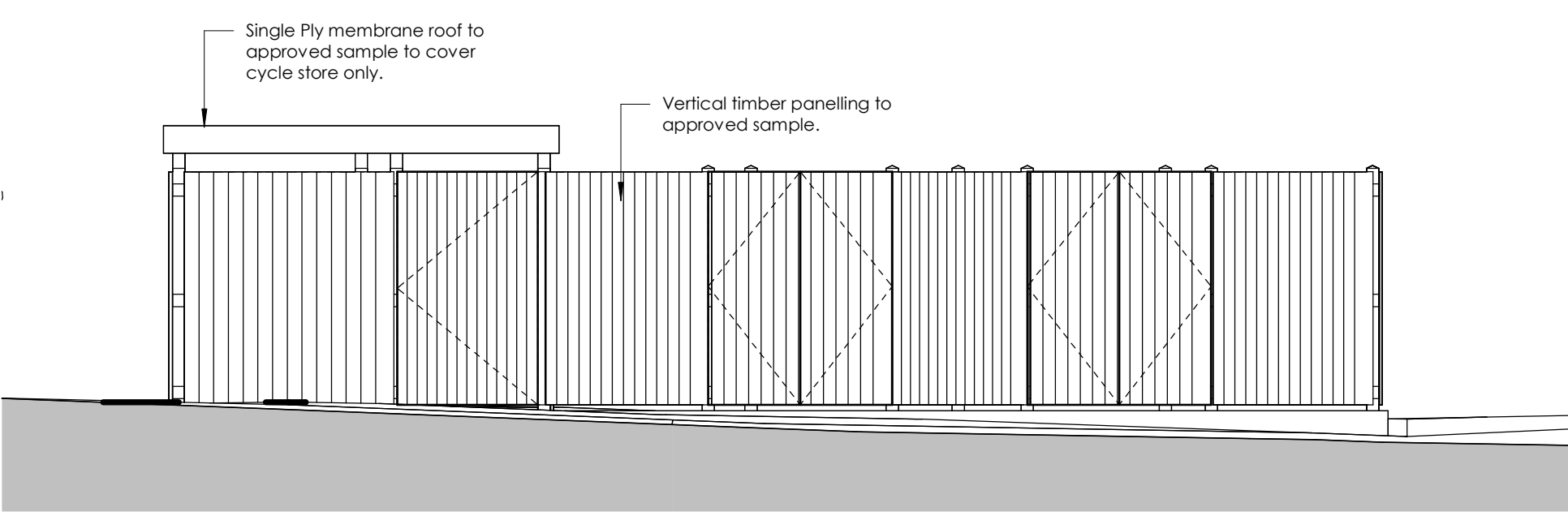
C 30/01/25 Drawing updated to Planner comments HSS ADP

D 17/02/25 Drawing updated to Planner comments HSS ADP

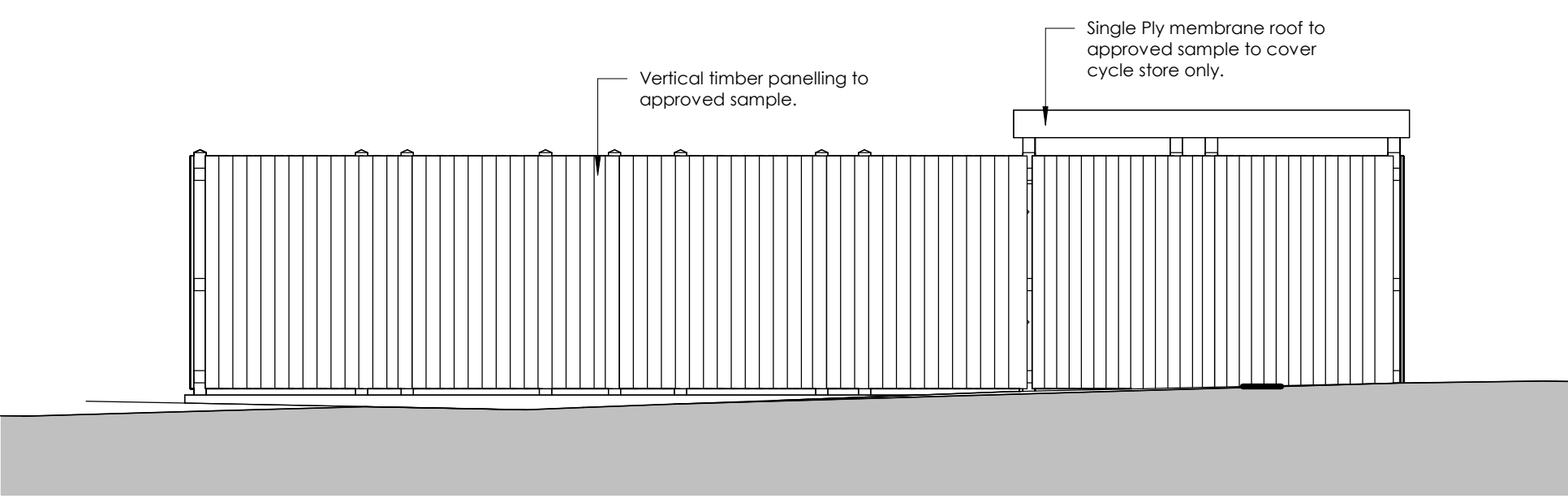




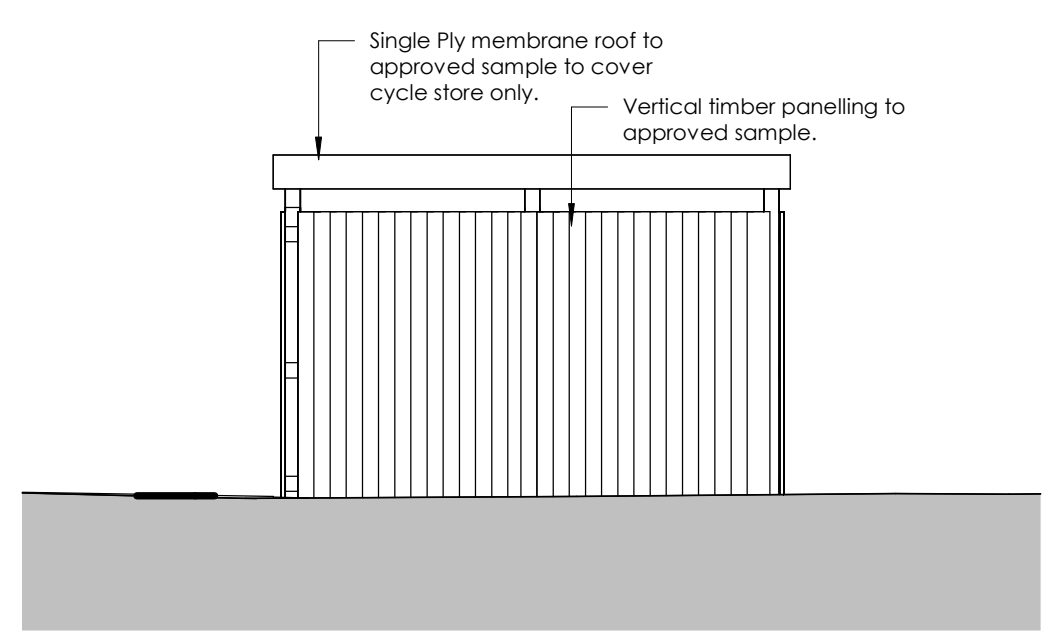
Bin Store Plan 1 : 50



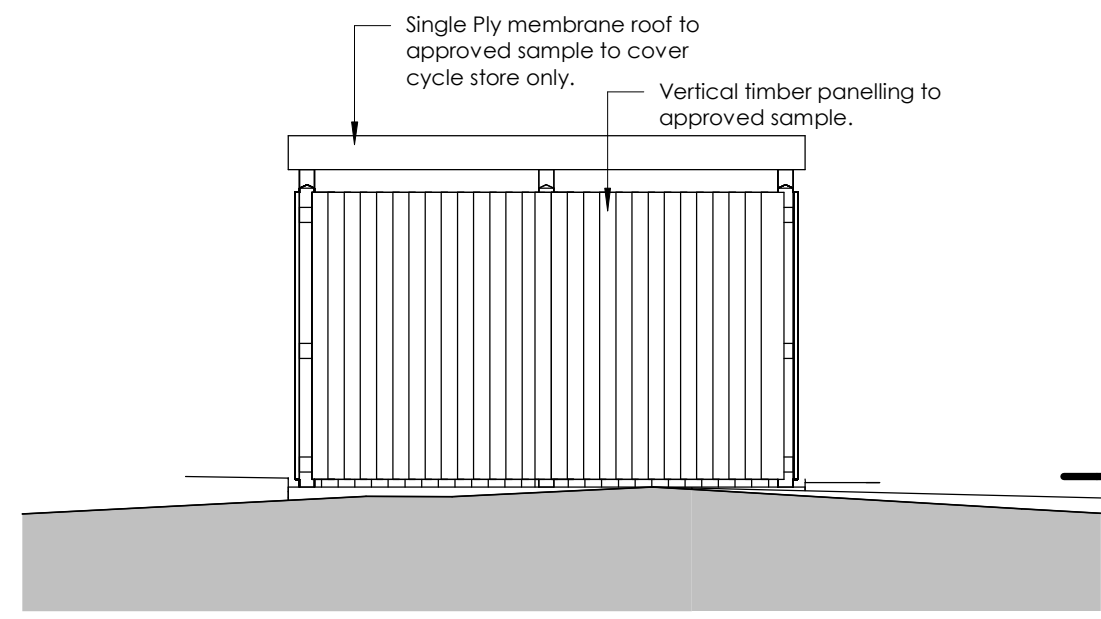
Front Elevation 1 : 50



Rear Elevation 1 : 50



Side Elevation 1 1 : 50



Side Elevation 2 1 : 50

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Client: Torsion Care			
Dwg Title: Proposed Bin Store			
Date: June 2023	Scale: 1 : 50	Drawn: HSS	Checked: ADP
Project No: 3378	Size: A2	Status: Planning	
Drawing Number: 3378-DEN-A-XX-DR-A-6000			Revision: A

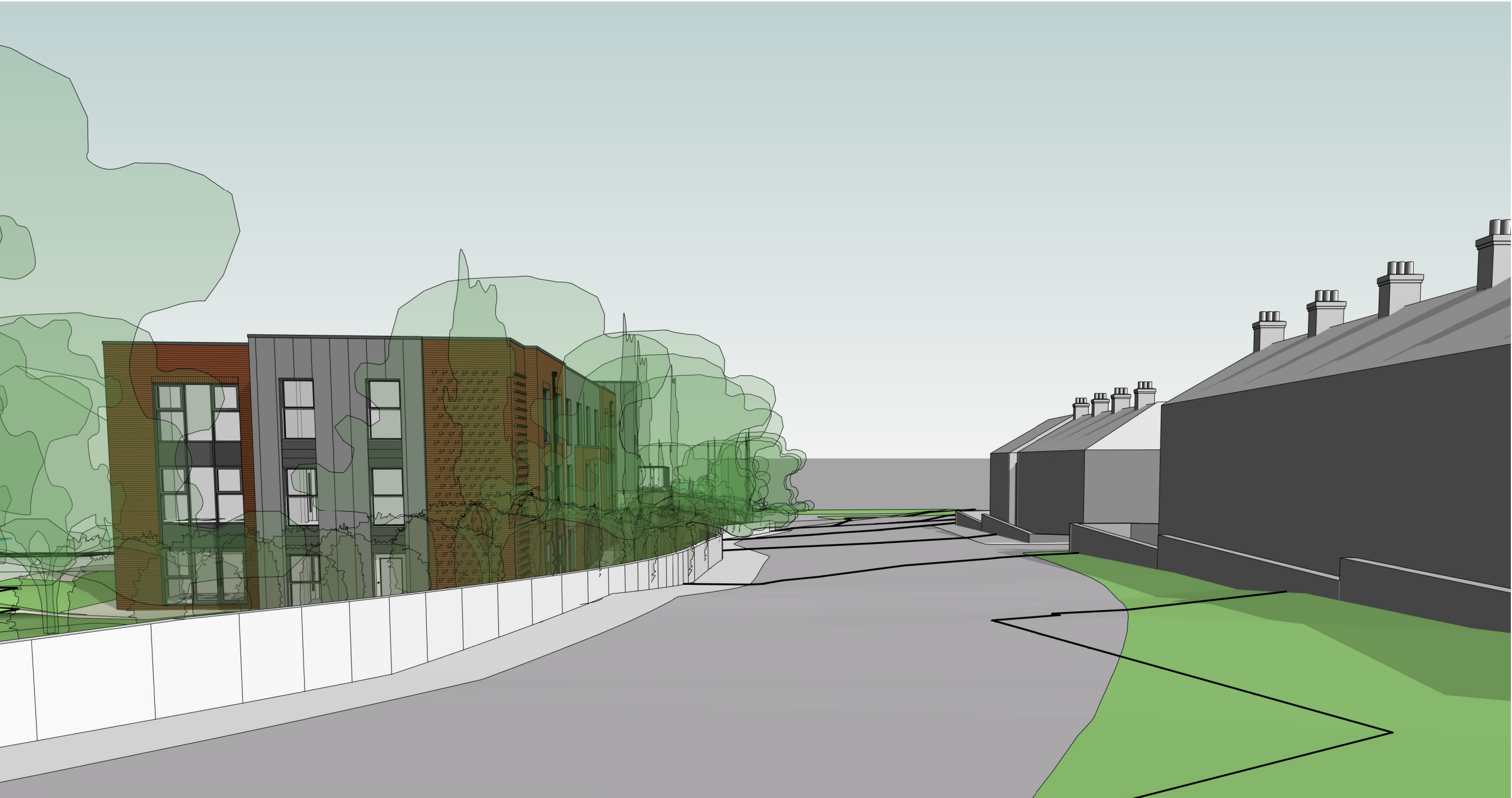




3D View 1 - Park Lane



3D View 2 - Corner of Parsonage St and Parl Green



3D View 3 - Park Street



3D View 4 - Aerial View

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C	20/01/25	Drawing updated to Planners' Comments.	HSS	ADP
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Client: Torsion Care			
Dwg Title: Proposed Indicative Massing Sheet 1			
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Project No: 3378	Size: A1	Status: Planning	
Drawing Number: 3378-DEN-A-XX-VS-A-9000			Revision: E





3D View 5 - Park Street 2



3D View 6 - Lord Street



3D View 7 - Junction of A536 and Park Green



3D View 8 - Corner of Park St and Park Green

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A	26/11/24	Drawing updated to planners' comments.	HSS	ADP
B	20/01/25	Drawing updated to Planners Comments.	HSS	ADP
C	17/02/25	Drawing updated to Planners' comments.	HSS	ADP
D	26/02/25	Drawing updated to Planners' comments.		



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Project: Proposed Care Home, Parsonage Street, Macclesfield			
Client: Torsion Care			
Dwg Title: Proposed Indicative Massing Sheet 2			
Date: June 2023	Scale:	Drawn: HSS	Checked: ADP
Project No: 3378	Size: A1	Status: Planning	
Drawing Number: 3378-DEN-A-XX-VS-A-9001			Revision: D









3D View 9 - Park Lane, Parsonage

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A	17/02/25	Drawing updated to Planners' comments.	HSS	ADP
B	26/02/25	Drawing updated to Planners' comments.		



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Project: Proposed Care Home, Parsonage Street, Macclesfield				
Client: Torsion Care				
Drawing Title: 3D View 9 - Park Lane, Parsonage				
Date:	Scale:	Size:	Drawn:	Checked:
June 2023		A3	HSS	ADP
Project Number: 3378		Status: Planning		
Drawing Number: 3378-DEN-A-XX-VS-A-9005				Revision: B

Application No: 24/4223/FUL

Application Type: Full Planning

Location: Land Off Peter De Stapleigh Way, Stapeley, Cheshire East,

Proposal: Full planning permission for the erection of a retirement living development (category 2 type accommodation) (use class C3); green infrastructure; landscaping; access and associated infrastructure.

Applicant: (none) , Muller Property Group and McCarthy and Stone Retirement Lifestyles Ltd

Expiry Date: 24 February 2025

### **Summary**

This application seeks full planning approval for a residential development of 49 retirement living apartments within part of the approved site for a mixed-use scheme granted on appeal by the Secretary of State in July 2020.

The proposed development would nevertheless result in residential development located within “open countryside” beyond the Nantwich Sandbach Settlement Boundary in conflict with policies PG6 of the CELPS and GS1 and H5 of the SBNP and the development plan as a whole. However, the Council is unable to demonstrate a five-year supply of housing and paragraph 11d of the NPPF is engaged.

The NPPF seeks to boost significantly the supply of housing unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits. This is with particular regard to directing development to sustainable locations, making effective use of land, securing well designed places and providing affordable homes, individually or in combination.

### **Disbenefits**

- The proposed development would result in residential development with the open countryside located beyond the Nantwich Settlement Boundary
- On site policy compliant affordable housing is not being provided due to scheme viability (albeit as a result of the viability review a financial contribution will be made towards the provision of off-site affordable housing)
- loss of approved mixed-uses including employment within Maylands Park development

### **Benefits**

- The proposal would result in the creation of 49 dwellings which will contribute towards the Council’s 5-year housing land supply.
- The proposal would also go some way to help the Council meet the significant identified need for retirement living units (Class C3) .
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.
- Social and health benefits resulting from the provision of retirement living apartments.
- The site is sustainably located given its location on the edge of a Key Service Centre with good accessibility to local services and facilities

- The application site benefits from full consent for commercial development which remains extant. The alternative development of the site for residential development represents an effective use of land.
- The scheme is of a good overall design at this prominent gateway site into the Maylands Park development. Given the urbanised context of the site in this edge of settlement location, this scheme would not be out of character with recent development in locality and at Maylands Park
- Reduction of vehicle movements in comparison to those generate by commercial mixed uses of the approved fallback position (Maylands Park Phase 2 – mixed uses)
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.

#### Neutral

- The layout and design of the scheme would not harm residential amenity
- The development is considered to be acceptable in terms of its impact upon the highway network.
- The proposals do not result in any significant ecological impacts and is acceptable subject to the imposition of planning conditions
- The proposal would not result in any significant flood risk/drainage issues
- The proposal would not result in an unacceptable impact on air quality with mitigation secured through planning conditions.

Given the findings of the independent viability review, contributions towards healthcare provision, off-site sport/recreation and off-site affordable housing will be secured through a S106 Agreement.

In summary, the development would significantly contribute towards the 5-year housing land supply, including significant identified need for retirement living units, and the adverse impacts would not significantly and demonstrably outweigh the benefits of the proposals when assessed against the policies within the NPPF.

Subject to financial contributions being secured towards mitigating the impact on local services/facilities and towards off-site affordable housing, the proposed development would benefit from the presumption in favour of sustainable development which weighs heavily in support of the proposed development. Therefore, the application is recommended for approval.

#### **Summary recommendation**

**Approve subject to a Section 106 Agreement and the following conditions**

## **1. REASON FOR REFERRAL**

The floor area of the development to be created exceeds the delegated threshold.

## **2. DESCRIPTION OF SITE AND CONTEXT**

2.1. The application site occupies part of the mixed-use development approved on land to the south of Peter Destapleigh Way that was granted outline planning approval (12/3747N) on appeal by the Secretary of State on 15th July 2020.

2.2. Reserved Matters approval was granted for the first phase of the mixed-use scheme (22/3170N) and related to a residential development of 188 dwellings, associated

infrastructure and open space and ecological areas. This is located to the west of the application site and Plot 188 of the approved residential development adjoins the south-western site boundary.

- 2.3. Reserved Matters Approval 23/2566N was granted subsequently granted for Phase 2 of the mixed-use development comprising a Local Centre and Employment Development. This residential scheme is proposed to occupy the site of an office building and a group of industrial/warehouse units.
- 2.4. Peter Destapleigh Way and the Cronkinson Farm residential development lie to the north of the site.
- 2.5. An access road was approved (12/3746N) to serve the mixed-use scheme from the existing traffic light junction off Peter Destapleigh Way.
- 2.6. The site is generally flat, former agricultural land.

### **3. DESCRIPTION OF PROPSAL**

- 3.1. This application is one of three planning applications submitted in relation to land forming Phase 2 of the approved mixed-use development within the site known as Maylands Park.
- 3.2. The two other applications relate to the remaining land within Phase 2 of the mixed-use scheme;
  - A full planning application (24/4242/FUL) seeks approval for a residential development of 40 units with associated landscaping and infrastructure. on the opposite (eastern) side of the access road serving the wider site.
  - An outline application 24/4228/OUT for an 80-bed care home relates to land adjoining the eastern boundary of the site and identified to accommodate a primary school. This application is to be considered at a future SPB meeting.
- 3.3. This full application seeks full planning approval for a retirement living scheme of 49 apartments (Class C3). The scheme comprises 28 one-bedroom apartments and 21 two-bedroom apartments. The development proposes accommodation which provides for independent living, suitable for people who can look after themselves and are usually over 60. No additional care or other support services will be provided.
- 3.4. Communal facilities will be provided within the complex including a residents' lounge, an office for the House Manager, battery/pavement car store in the building; secure entrance lobby with CCTV link to individual apartments; 24-hour emergency help line; guest suite; and private grounds and gardens.
- 3.5. Access to the development will be via the access road leading southward from the traffic light junction on Peter Destapleigh Way which was also granted full planning approval (12/3746N) on appeal by the Secretary of State on 15th July 2020. Planning permission (21/1703N) was also subsequently granted for a section of internal spine road leading on from the southern end of the access road to serve the approved mixed-use scheme. This has now been constructed.
- 3.6. A single access point would be located to the west of the spine road, providing access to the proposed retirement scheme which leads to the proposed Care Home Development subject to outline application 24/4228/OUT. The retirement scheme will be served by 36 car parking spaces including 4 disabled bays.



- 3.7. The development essentially comprises a distinctive, contemporary three-storey set behind a landscaped frontage alongside the main access road into the wider development from Peter Destapleigh Way.

#### **4. RELEVANT PLANNING HISTORY**

23/2566N - Reserved matters application pursuant to outline planning permission ref: 12/3747N for the appearance, scale, layout, and landscaping for Phase 2 mixed-use development including employment development (comprising office and warehouse and light industrial buildings) and local centre with parking, service yards and associated infrastructure. Approved 12th February 2046

22/3170N - Reserved matters application pursuant to outline planning permission 12/3747N for the appearance, scale, layout and landscaping for Phase 1 residential development (Use Class C3) including internal access roads, public open space including NEAP, village green, community orchard and ecological areas, parking and associated infrastructure. Approved 26th May 2023

21/1703N - Full planning application for an internal spine road to serve land South of Peter Destapleigh Way. Approved 24th December 2021

12/3747N - Proposed residential development for up to a maximum of 189 dwellings; local centre (Class A1 to A5 inclusive and D1) with a maximum floor area of 1,800 sq.m Gross Internal Area (GIA); employment development (B1b, B1c, B2 and B8) with a maximum floor area of 3,700 sq. m GIA; primary school site; public open space including new village green, children's play area and allotments, green infrastructure including ecological area; access via adjoining site B (see below) and new pedestrian access and associated works Allowed on Appeal 15th July 2020 (Ref APP/R0660/A/13/2197532)

12/3746N - New highway access road, including footways and cycleway and associated works. Allowed on appeal 15th July 2020 (Ref APP/R0660/A/13/2197529)

#### **5. NATIONAL PLANNING POLICY**

- 5.1. The National Planning Policy Framework (NPPF) was first published by the Government in March 2012 and has since been through several revisions. It sets out the planning policies for England and how these should be applied in the determination of planning applications and the preparation of development plans. At the heart of the NPPF is a presumption in favour of sustainable development. The NPPF is a material consideration which should be taken into account for the purposes of decision making.

#### **6. DEVELOPMENT PLAN POLICY**

- 6.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires decisions on planning applications to be made in accordance with the Development Plan unless material considerations indicate otherwise. The Cheshire East Local Plan Strategy (2010 – 2030) was adopted in July 2017. The Site Allocations and Development Policies Documents was adopted in December 2022. The policies of the Development Plan relevant to this application are set out below, including relevant Neighbourhood Plan policies where applicable to the application site.

- 6.2. Relevant policies of the Cheshire East Local Plan Strategy (CELPS) and Cheshire East Site Allocations and Development Plan Policies Document (SADPD)

- 1.SADPD Policy PG 9: Settlement boundaries
- 2.SADPD Policy GEN 1: Design principles
- 3.SADPD Policy GEN 7: Recovery of planning obligations reduced on viability grounds
- 4.SADPD Policy ENV 1: Ecological network
- 5.SADPD Policy ENV 12: Air quality
- 6.SADPD Policy ENV 14: Light pollution
- 7.SADPD Policy ENV 15: New development and existing uses
- 8.SADPD Policy ENV 16: Surface water management and flood risk
- 9.SADPD Policy ENV 2: Ecological implementation
- 10.SADPD Policy ENV 3: Landscape character
- 11.SADPD Policy ENV 5: Landscaping
- 12.SADPD Policy ENV 6: Trees, hedgerows and woodland implementation
- 13.SADPD Policy ENV 7: Climate change
- 14.SADPD Policy RUR 5: Best and most versatile agricultural land
- 15.SADPD Policy RUR 6: Outdoor sport, leisure and recreation outside of settlement boundaries
- 16.SADPD Policy HOU 1: Housing mix
- 17.SADPD Policy HOU 12: Amenity
- 18.SADPD Policy HOU 13: Residential standards
- 19.SADPD Policy HOU 14: Housing density
- 20.SADPD Policy HOU 15: Housing delivery
- 21.SADPD Policy HOU 2: Specialist housing provision
- 22.SADPD Policy HOU 8: Space, accessibility and wheelchair housing standards
- 23.SADPD Policy INF 1: Cycleways, bridleways and footpaths
- 24.SADPD Policy INF 3: Highway safety and access
- 25.SADPD Policy INF 9: Utilities
- 26.SADPD Policy REC 2: Indoor sport and recreation implementation
- 27.SADPD Policy REC 3: Open space implementation
- 28.SADPD Policy REC 5: Community facilities
- 29.CELPS Policy MP 1: Presumption in favour of sustainable development
- 30.CELPS Policy PG 1: Overall development strategy
- 31.CELPS Policy PG 2: Settlement hierarchy
- 32.CELPS Policy PG 6: Open countryside
- 33.CELPS Policy PG 7: Spatial distribution of development
- 34.CELPS Policy SD 1: Sustainable development in Cheshire East
- 35.CELPS Policy SD 2: Sustainable development principles
- 36.CELPS Policy IN 1: Infrastructure
- 37.CELPS Policy IN 2: Developer contributions
- 38.CELPS Policy SC 1: Leisure and recreation
- 39.CELPS Policy SC 2: Indoor and outdoor sports facilities
- 40.CELPS Policy SC 3: Health and well-being
- 41.CELPS Policy SC 4: Residential mix
- 42.CELPS Policy SC 5: Affordable homes
- 43.CELPS Policy SE 1: Design
- 44.CELPS Policy SE 12: Pollution, land contamination and land instability
- 45.CELPS Policy SE 13: Flood risk and water management
- 46.CELPS Policy SE 2: Efficient use of land
- 47.CELPS Policy SE 3: Biodiversity and geodiversity
- 48.CELPS Policy SE 4: The landscape
- 49.CELPS Policy SE 5: Trees, hedgerows and woodland
50. SE 6: Green infrastructure
51. SE 8: Renewable and low carbon energy
52. SE 9: Energy efficient development
53. CO 1: Sustainable travel and transport
54. CO 2: Enabling business growth through transport infrastructure

55. CO 4: Travel plans and transport assessments

6.3. Stapeley & Batherton Neighbourhood Plan (SBNP)

Policies of the Neighbourhood Plan relevant to the consideration of this application are:

Policy GS 1 - Landscape and the Countryside.

Policy GS 2 - Open Space

Policy GS 3 - Woodland, Trees, Hedgerows, Walls, Boundary Treatment and Paving

Policy GS 5 - Environmental Sustainability of buildings and adapting to climate change

Policy GS 6 - Biodiversity

Policy T 1 - General Transport Considerations.

Policy T 2 - Pedestrian and cycle routes.

Policy T 3 - Footpaths, Cycleways and Bridleways.

Policy T 4 - Bus Services

Policy T 5 - Improving Air Quality

Policy T 6 - Identification of underground utility assets

Policy C 1 - Existing and New Facilities

Policy C 2 - New Business

Policy C 3 - Scale, Design and Amenity

Policy AWB 1 - Accessible GP practices

AWB 2 - Services for the elderly, disabled and for mental health.

Policy AWB 3 - Provide for the sports needs of residents

Policy AWB 4 - Community Facilities.

Policy AWB 5 - Communications Infrastructure

H1 - Housing Development.

H2 - Housing to meet Local Housing Needs.

Policy H3 - Tenure Mix.

Policy H4 - Design.

Policy H5 - Settlement Boundary.

**7. Relevant supplementary planning documents or guidance**

7.1. Supplementary Planning Documents and Guidance do not form part of the Development Plan but may be a material consideration in decision making. The following documents are considered relevant to this application:

- Housing SPD
- Developer Contributions SPD
- Biodiversity and Net Gain SPD
- Environmental Protection SPD
- SuDS SPD
- Cheshire East Design Guide SPD

**8. CONSULTATIONS (External to Planning)**

8.1. **Environmental Protection:** No objection subject to conditions requiring the remediation of contamination and suitability of imported soils, use of Ultra-low NOx emission boilers, submission of an amended CEMP and implementation of the submitted travel plan. Standard informatives are recommended relating to hours of construction, Piling, floor floating and dust management.

8.2. **CEC Highways:** No objection.

8.3. **United Utilities:** No objection.

8.4. **Flood Risk:** No objection.

8.5. **Stapeley Parish Council:** Objects and raises the following concerns

- Contradictions in Ecological Appraisal concerning the removal of hedgerows and trees. The arboricultural report references two woodlands, but these are omitted from the ecological appraisal. (NB No trees or hedgerow are being removed from this application site)
- No clear plan for implementing critical recommendations, such as a bat lighting
- Status of existing pond is unclear - will it form part of the attenuation system?
- Lack of public transport and bus service withdrawn (No.73)
- Reference is made to Section 106 contributions of £60,000 for bus services and £30,000 for bus stops on Audlem Road. The Parish Council requests clarification on the status of these funds.
- Clarification required of proposed pedestrian crossings.
- No clear action plan exists to monitor compliance with environmental measures during construction.
- Clarification required of approved hours for construction to prevent disturbances of nearby residents.
- insufficient evidence of meaningful discussions with Cheshire East Council regarding provision of critical infrastructure, such as schools and GP services. Local resources are already under strain and cannot accommodate additional demand.
- lack of amenities within the retirement development. No space allocated for community use, which would allow for resident interaction and engagement with the community.
- Clarity required on funding for the future maintenance of trees, verges, and NEAPs.
- Exacerbate impact on air quality.

8.6. **Housing :** Object. Affordable housing is not proposed within the development where there is a clear policy requirement to do so.

8.7. **NHS** - Comment that there is a requirement for financial contribution of £904 per apartment to mitigate impact on healthcare provision.

## 9. REPRESENTATIONS

9.1. None received

## 10. OFFICER APPRAISAL

### *Principle of the development*

10.1. The application site lies outside of the defined settlement boundary for Nantwich and consequently within the area defined as 'open countryside'.

10.2. Consequently, these proposals for residential development do not represent a form of development that would normally be allowed in the open countryside (under Policy PG 6) and represent a departure from the development plan.

10.3. Policy PG6 is consistent with Policies GS1 and H5 of the Stapeley and Batherton Neighbourhood Plan (SBNP) which seeks to restrict housing development in the open countryside in a similar manner. Although Policy H5 states that, "the focus for development will be on sites within or immediately adjacent to the Nantwich Settlement Boundary, with the aim of enhancing its role as a sustainable settlement whilst protecting the surrounding countryside" it adds that, "Outside the settlement boundary any development is subject to

the Cheshire East Local Plan Strategy Countryside Policy PG 6 and other relevant policies of this Plan”

- 10.4. Importantly, in this case, reserved matters applications 22/3170N (phase 1 for residential uses) and 23/2566N (phase 2 for employment, commercial and mixed-uses) in line with the outline consent granted by the Secretary of State have been approved. Therefore, the application site benefits from full consent which remains extant and could be developed in accordance with the permissions already granted.
- 10.5. The proposed development would not comply with the requirements of policy PG6 of the CELPS or Policies GS1 and H5 of the SBNP. The proposal would therefore represent a departure from the Development Plan as a whole. However, planning law requires that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise.
- 10.6. The National Planning Policy Framework (“NPPF”) requires that planning decisions apply a presumption in favour of sustainable development. As set out at paragraph 11d if there are no relevant development plan policies, or the policies which are most important for determining the proposal are out of date, planning permission should be granted, unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole. This is with particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well designed places and providing affordable homes, individually or in combination.
- 10.7. The NPPF defines that being ‘out of date’ in the context of housing proposals includes situations where a local planning authority cannot demonstrate a five-year supply of deliverable housing sites.
- 10.8. Consequently, the Council’s housing land supply position and performance in terms of the housing delivery test are therefore a material consideration to take into account when assessing the benefits arising from housing schemes.

### *Key Issues*

#### **Housing Land Supply**

- 10.9. The Cheshire East Local Plan Strategy was adopted on the 27th July 2017 and forms part of the statutory development plan. The plan sets out the overall strategy for the pattern, scale and quality of development, and makes sufficient provision for housing (36,000 new dwellings over the plan period, equating to 1,800 dwellings per annum) in order to meet the objectively assessed needs of the area.
- 10.10. As the plan is more than five years old, deliverable housing land supply is measured using the local housing need figure (plus 5% buffer), which is currently 2,603 dwellings per year rather than the LPS figure of 1,800 dwellings per year.
- 10.11. The National Planning Policy Framework (NPPF) identifies the circumstances in which relevant development plan policies should be considered out-of-date. These include:
- Where a local planning authority cannot demonstrate a five-year supply of deliverable housing sites (with appropriate buffer) or:
  - Where the Housing Delivery Test Measurement indicates that the delivery of housing was substantially below (less than 75% of) the housing required over the previous three years.

- 10.12. In accordance with the NPPF, the council produces an annual update of housing delivery and housing land supply. The council's most recent Housing Monitoring Update (base date 31 March 2024) was published in April 2025. The published report identifies a deliverable five-year housing land supply of 10,011 dwellings which equates to a 3.8-year supply measured against the five-year local housing need figure of 13,015 dwellings.
- 10.13. The 2023 Housing Delivery Test Result was published by the Department for Levelling Up, Housing & Communities on the 12 December 2024 and this confirms a Housing Delivery Test Result of 262%. Housing delivery over the past three years (7,392 dwellings) has exceeded the number of homes required (2,820). The publication of the HDT result affirms that the appropriate buffer to be applied to the calculation of housing land supply in Cheshire East is 5%.
- 10.14. In the context of five-year housing land supply, relevant policies concerning the supply of housing should be considered out-of-date and consequently the 'tilted balance' at paragraph 11 of the NPPF is engaged

### **Sustainable Location and Accessibility**

- 10.15. The site is located on the edge of Nantwich, which is identified by the CELPS as a Key Service Centre. Nantwich as noted within the CELPS, has a good range of local services, (schools, healthcare, public houses, shops, community facilities, sports provision and places of worship etc), access to public transport (rail and bus) and access to employment.
- 10.16. Furthermore In granting outline planning approval (12/3747N) on appeals for the mixed- use scheme, which includes this site, the Secretary of State considered that the mixed-use site to which included significant housing development (188 dwellings – phase 1) to be in a sustainable location and noted that Nantwich is one of the preferred locations for development in the CELPS.
- 10.17. This scheme along with along with Anwyl Homes residential development (24/4242/FUL) would however replace the previously approved employment and local centre. This would result in highly accessible employment and local facilities not being provided at the heart of the wider development area. However, the site is within walking/cycling distance of community hall, retail centre and other amenities within the wider Stapeley neighbourhood
- 10.18. In terms of pedestrian and cycling accessibility the site itself can access a segregated footway / cycleway provided on the northern side of Peter Destaplegh Way. The site is also well placed to access bus services along Audlem Road.
- 10.19. The development site is therefore sustainably located given its location on the edge of a Key Service Centre and would minimise the dependence on the use of the private car.

### **Need for retirement living**

- 10.20. SADPD Policy HOU 2 'Specialist housing provision' supports the delivery of specialist housing where it meets an identified need. It also notes that schemes should contribute to maintaining the balance of housing stock in the locality (i.e. there should not be an over-concentration of specialist housing types in any particular area); and provide easy access to services, community and support facilities including health facilities and public transport.
- 10.21. As set out in the SADPD (para 8.8), there is likely to be a substantial increase in the number of people in older age groups in Cheshire East over the period to 2030. Most of these

older people will already live in the area and whilst many will not move from their current homes, those that do are likely to be looking for suitable housing.

10.22. The Three Dragons report for retirement living apartments submitted in support of this application confirms that a total of 12,435 dwellings for older people should be delivered before the end of the LPS plan period in 2030. Of the total need identified nearly half the 6121 units are for leaseholder sheltered housing.

10.23. The report has also appraised potential demand for specialist retirement housing in 2027, the earliest date at which the retirement scheme is likely to be available. Using two alternative models, it is suggested there will be a required need for either 2,525 or 3,593 sheltered housing units. This demonstrates there is therefore a significant level of need for sheltered (Retirement Living C3) housing across Cheshire East and the proposed scheme of 49 apartments will help address this demand.

### **Efficient Use of Land**

10.24. Policy HOU14 of the SADPD requires residential developments to generally achieve a net density of at least 30 dwellings per hectare. The proposed apartment development would achieve a density of 80 dwellings per hectare.

10.25. The application site already benefits from full consent which remains extant, and this could be developed in accordance with the permissions already granted constituting a deliverable “fall back” position.

10.26. In overall terms it is considered that given the urbanised context of the site in this edge of settlement location, this scheme would not be out of character with recent development undertaken and approved within the locality.

### **Design**

10.27. Policies SD2 and SE1 of the CELPS expect that development proposals consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located. These principles are also reflected in the CEC Design Guide.

10.28. The importance of securing high quality design is specified within the NPPF and Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD and the Cheshire East Design Guide. In particular, development proposals should consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located. These principles are echoed by SNP Policy H4 and also reflected in the CEC Design Guide.

10.29. Amended plans have been submitted to the design of scheme during the course of application. These changes have been assessed by the Council's Design Officer, summarised as follows;

- The scheme has been enhanced through an entrance at the NE corner of the building. It is considered that this entrance could be further enhanced through detailing within/around the entrance area (externally and through use of a living roof and potentially walling to help announce it to users) and via external soft landscaping/hardscape. These details can be secured through a planning condition.

- It is noted that the elevations still infer use of quite a pale brick (brindled), its use and the brick type requires careful consideration and materials should be controlled through a condition.
- Previously raised concerns concerning the visual support for the metal clad projecting elements has been addressed by the amendments.
- The appearance of balustrades has been improved as they are proposed in metal rather than glazed.
- As shown elevations/modelling/visualisations, the treatment of verges for brick gabled elements appears simplistic and elevations/modelling/visualisations. It is however considered this can be addressed through a detailing condition.
- The extent of hard surface/car parking has been broken up by inclusion of trees along the western run of parking but there are still further improvements that could be made in terms of the landscaping, including in relation to inclusion of a wider range of SuDS components. Rain gardens are suggested by the Design Officer as ideal bio-retention elements to complement permeable paving within the scheme. Further details of SuDs and the need to deliver a landscape scheme which is more imaginative, positive and usable can be secured through suitably worded conditions,

### Design Conclusion

- 10.30. Overall, the proposals are considered to be of distinctive and good quality contemporary design in occupying a prominent gateway position at the entrance to the wider Maylands Park Development. The changes to the building's design and detailing have improved the scheme. A number of refinements are still required, these issues can be addressed through suitably worded planning conditions.

## **Highways**

### Background

- 10.31. It was established under full planning approval 12/3746N (access road) that the access to the mixed-use development known as Maylands Park would be via the traffic light-controlled junction of Peter Destapleigh Way and Pear Tree Field.
- 10.32. It was established under full planning approval 12/3746N (access road) that the access to the mixed-use development known as Maylands Park would be via the traffic light-controlled junction of Peter Destapleigh Way and Pear Tree Field.
- 10.33. The detailed junction arrangements for the access road with Peter Destapleigh Way were approved under full planning approval 12/3746N. In addition, there is a separate approval (21/1703N) for the main internal spine road serving the site which connects with the southern end of the approved access road leading to the junction with Peter Destapleigh Way (12/3746N). This route incorporates a cycle way/ footway which provides reasonably direct access from the mixed-use site to the primary school located off Pear Tree Field via pedestrian crossing facilities at the traffic light-controlled crossroads junction.
- 10.34. Much of this highway infrastructure has been provided and will now be utilised to serve this proposed retirement development as well as Phase 1, the Anwyl residential development of 40 units (24/4242/FUL) and an 80-bed care home (24/4228/OUT).



- 10.35. It should also be noted that the mixed-use development approved on appeal is bound by the terms of the S106 agreement, to secure highway contributions, including financial contribution towards a bus service, provision of new bus stops and for a pedestrian crossing on Peter Destaplegh Way (position to be agreed).

### Highway Assessment

- 10.36. The access to the site is in the same location as the previously approved access from the spine road to the local centre. The design of this access serving the private car park is acceptable.

### Parking

- 10.37. A total of 36 car parking spaces are provided, 4 of these being accessible spaces. Although this application is a Class C3 residential development, the trip generation is not typically of residential levels, as residents do not have the same car ownership levels as normal residential properties resulting in lower car parking demand. Whilst there is a shortfall of spaces against CEC recommended standards, the level of car provision is considered acceptable and unlikely to cause overspill parking problems on the local public highway.

### Traffic Impact

- 10.38. The traffic generation of this proposal needs to be considered against the approved commercial development on the site. The consented retail scheme produced much higher trip generation than this retirement living scheme and results in significantly less traffic generation on the local highway network and is considered by the CEC Highway Officer as beneficial.

### Summary

- 10.39. The site access design has been previously accepted to serve a much more car intensive commercial development and as such is suitable to serve this retirement living scheme.
- 10.40. There are 36 car parking spaces provided within the private car park with a turning facility provided at the end of the car park. The site is connected to the main spine road by a footway along the site access road and a path to the main entrance to the building.
- 10.41. The Highway Officer advises that the retirement scheme of 49 apartments has a much reduced traffic impact than the previously approved commercial scheme (local Centre), and this results in a net traffic impact benefit on the local road network.

### **Public Open Space**

- 10.42. CELPS Policy SE6 requires major developments (10 or more) to provide open space in line with Table 13.1 of this policy, including amenity and green space. However, this also advises that in some cases, commuted sums generally may be more appropriate for improvement of other open spaces and green infrastructure connectivity.
- 10.43. The retirement apartments (Class C3) will have private community space although this will not meet the policy quantum of space. However, the retirement development will be accessible through footpath links to the nearby and extensive central areas of POS which will serve the Maylands Park scheme beyond the proposed Care Home site to the west.
- 10.44. In terms of Policy SE6 requirement for outdoor sports contributions, the proposal will increase demand on existing facilities and as such a financial contribution towards off site

provision is required. The financial contribution is £782.27 per bed space in apartments (to a maximum of £1,564.54 per apartment). The funds would be required on commencement of development and used in line with the Council's adopted Playing Pitch and outdoor Sports Strategy.

### **Amenity**

10.45. SADPD policy HOU 13 Residential standards, as set out in Table 8.2 Standards for space between buildings, sets out the required separation distances.

- 21 metres for typical rear separation distance (24m plus 2.5m per additional storey)
- 18 metres for typical frontage separation distance (20m for three-storey buildings)
- 14 metres for a habitable room facing a non-habitable room (the addition of 2.5m per additional storey).

10.46. The retirement development achieves an acceptable relationship with adjoining plots of the approved David Wilson development (Phase 1) as the south western wing of the building has been designed to step down to two-storey height. This part of the building is also set-off the site boundary with adjacent plots by at least 10m ensuring that there will be no adverse amenity impacts including loss of light or overbearing impact.

10.47. In addition, windows of serving apartments will not directly face towards principal windows of plots within phase 1 (including Plot 188) and not therefore result in unacceptable overlooking or loss of privacy.

10.48. Whilst the frontage of the scheme will face towards proposed units of the Anwyl scheme situated on the opposite side of the spine road, significant separation distances will be achieved between facing windows of these developments well in excess of those set out in the SADPD.

10.49. In conclusion, the retirement apartment scheme will achieve an acceptable relationship with the approved David Wilson properties to the west and also those proposed under application 24/4242/FUL (Anwyl) which face towards the site across the spine road and intervening landscaping.

### **Healthcare provision**

10.50. The NHS Cheshire and Merseyside ICB request a financial contribution from the developments to offset the impact of the development on local health care provisions and help fund necessary improvements to GP Practices. Importantly, the NHS set out that the current model of primary care provision generally focuses on a shift away from smaller GP practices to larger scale premises that accommodate a range of healthcare services. Consequently,

an operationally efficient primary healthcare facility should accommodate a minimum of 7,000 registered patients.

This contribution equates to £904 per apartment (total £36,120) and calculated on the following basis;

- Population served by surgery = 7,000
- Equivalent number of dwellings (at an average of 2.3 persons per dwelling) = 3,043
- Total cost of required primary care floorspace = £2,752,367
- Contribution cost per dwelling = £904

This contribution per dwelling will contribute to the capital cost of primary healthcare provision. In particular further information has been provided identifying improvements to the following GP Practices;

- Nantwich Health Centre (Tudor Surgery, Kiltearn Medical Centre and Nantwich Health Centre)

- optimisation of existing duplicated rooms (x3 practices in one building) and reception areas to create additional x4 clinical rooms of 1st floor and x3 clinical rooms on 2nd floor – associated costings indicated at £450,000

- 3 storey extension to the rear of the practice – indicative cost circa £2.3 million (including installation of 3rd lift shaft for patient access)

- Wrenbury Medical Practice

- Expansion into car park and creation of 2 storey extension – Landlord feasibility costings advised at £780,000

10.51. However, Muller Property Group disputes the justification for this financial contribution and include a legal opinion to that effect, notwithstanding the additional information provided by the NHS above. It is considered that the approach used is “imposing a blanket per dwelling contribution on new housing development” without specific evidence that justifies the contribution, such as in addressing the existing capacity at the health centres above, nor evidence for why they would be unable to cater for any additional demand on their services resulting from the proposed development. It concludes that they are “adopting an approach that is unsupported by law, policy or evidence and is fundamentally flawed”

10.52. Further comments are awaited from the NHS in response to the issues raised by the legal opinion. It is noted that the initial response from the NHS was not very detailed or specific in its ask. However, following further information submitted by the NHS Officers have continued discussions with the applicants given that similar principles for contributions from the NHS have been secured on many other similar applications. As it currently stands, it is considered that the requested healthcare contribution is fair and reasonable in addressing the impact of the proposed residential development on local healthcare provision.

## **Housing**

10.53. Policy HOU 2 of the adopted Site Allocations and Development Policies document (SADPD) states that affordable housing provision is required for specialist housing, where independent dwellings are formed. As this development will provide 49 retirement living dwellings, the 28 x 1 bedroom and 21 x 2-bedroom apartments will trigger the need for the provision of affordable dwellings.

10.54. The Councils adopted Housing Supplementary Planning Document (HSPD) and Policy SC5 (affordable homes) in the Cheshire East Local Plan Strategy (CELP) sets out the thresholds for affordable housing provision in the borough. In this case 30% of all units are to be affordable on-site dwellings.

10.55. The HSPD also states that the tenure mix split the Council requires is 65% social or affordable rented units and 35% affordable intermediate units. This means that 10 social or affordable rented and 5 affordable intermediate tenure properties should be provided.

10.56. In this case the proposals do not include policy compliant affordable housing within the scheme on viability grounds. As set out in the HSPD, in such circumstances the developer is required to submit an open book viability assessment which will be subject to an independent review.

## **Viability Assessment**

- 10.57. A Financial Viability Appraisal (FVA) prepared by Alder King has been submitted in support of the application as outlined below and has been independently appraised on behalf of the Council by consultants Keppie Massie.
- 10.58. In conclusion, the lack of the policy compliant affordable housing contribution counts against this application and does not comply with the Development Plan in this regard.
- 10.59. The FVA prepared by Alder King concludes that there is “no financial headroom available for planning obligations”. In this case, this would include the provision of on-site policy compliant affordable housing and also the requested NHS financial contribution to mitigate healthcare impact (£44,264).
- 10.60. Keppie Massey has undertaken an independent review of each of the inputs into the FVA appraisal, including estimated development costs, and determined whether they are reasonable for the purpose of assessing viability in this case. Keppie Massie’s review has concluded the application scheme could support a S106 contribution of **£328,500**. This sum could therefore be used to provide a contribution in lieu of on-site affordable housing together with other S106 contributions
- 10.61. In addition, Keppie Massie advise, *“ that should the council be minded to accept a reduced planning contributions package, then in accordance with the relevant SPD we recommend that provision for an overage calculation be included in the S106 agreement. This would allow for a reassessment of the viability position at a future point in the development programme.”*
- 10.62. It is understood that the applicant is considering the findings of Keppie Massie’s report and confirmation is awaited whether they are willing to enter into a S106 Agreement to secure the identified financial contribution and also to enable the future re-assessment of development’s viability.

### **Ecology**

- 10.63. There are various ecology matters to consider. These are broken down into the following subsections and assessed accordingly. Additional information and in respect of ecological issues and Biodiversity Net Gain (BNG) has been provided during the course of the application.

#### Mandatory Biodiversity Net Gain

- 10.64. The application is subject to Mandatory Biodiversity Net Gain. The BNG metric submitted in support of the application indicates that the proposed development would result in a net gain of 10.65% in respect of Area Based habitats and a net gain in respect of hedgerows.
- 10.65. However, the Council’s Ecologist considers that the submitted BNG information is insufficient to inform the determination of the application and further supporting information is required. Updated BNG documents have been submitted, and these are currently being assessed by the Council’s Ecologist.

#### Great Crested Newts

- 10.66. This protected species is known to breed at a number of ponds within close proximity of the proposed development. In the absence of mitigation, the proposed development would result in the loss of lower value terrestrial habitat in the form of grassland habitats and

moderate value habitat in the form of hedgerows and would pose the risk of injuring and killing any newts present on site during site clearance works.

10.67. It should be noted that since a European Protected Species has been recorded on site and is likely to be adversely affected the proposed development the planning authority must have regard to the Habitat Regulations when determining this application. The Habitats Regulations only allow planning to consent to be granted when:

- the development is of overriding public interest,
- there are no suitable alternatives and
- the favourable conservation status of the species will be maintained.

10.68. In this case, the applicant's ecological consultant has confirmed that the site is covered by an extant Natural England protected species licence. However, confirmation from the applicant is awaited as regards whether newts are currently excluded from the footprint of the development by means of an intact amphibian fence.

### Common Toad

10.69. This priority amphibian species is also likely to be present on site. The proposed development would also result in an adverse impact upon this species. However, mitigation and compensation measures to address the impacts of the proposed development upon great crested newts would also minimise the risk to this species.

### Badgers

10.70. The submitted Badger report advises that whilst evidence of badger activity was recorded on site, no active setts are present. It is advised that the proposed development would result in a minor adverse impact on badgers as a result of the loss of potential foraging habitat.

10.71. As the status of badger activity can change is a short time scale, the Councils Ecologist recommends that if planning consent is granted a condition must be attached to ensure that an updated badger survey is undertaken prior to commencement.

### Bats

10.72. The proposed development will not result in the loss of any potential bat roosting habitat or significant foraging habitat.

### Lighting

10.73. To avoid any adverse impacts on bats resulting from any lighting associated with the development it is recommended that a condition is attached requiring any additional lighting to be agreed with the LPA.

### Barn Owls

10.74. The grassland habitats on site may offer potential for foraging barn owls and evidence of barn owl presence was recorded incidentally during the ecological surveys on the wider site. No evidence of this species roosting on site was recorded during the surveys of the trees off site. It is advised that the proposed development may potentially have a minor impact upon barn owls due to the loss of potential foraging habitat.

### Reptiles

- 10.75. Reptile species are not reasonable likely to be present or affected by the proposed development

### Hedgehogs and Brown Hare

- 10.76. Hedgehogs and Brown Hare are a priority species and hence a material consideration. No evidence of these species was recorded onsite, but the species may occur on site on a transitory basis. It is advised that the proposed development poses a low risk to this species. The Council's Ecologist recommends that a condition is imposed requiring the implementation of measures to minimise the risk of these species being harmed during works on site as detailed in paragraph 4.2.24 of the submitted Preliminary Ecological Appraisal and Biodiversity Net Gain Assessment prepared by ECUS dated September 2024.

### Ecological enhancement

- 10.77. This planning application provides an opportunity to incorporate features to increase the biodiversity value of the development in accordance with Local Plan Policy SE 3. It is therefore recommended that a condition should be attached which requires the submission of an ecological enhancement strategy.

### **Trees**

- 10.78. Policy SE5 advises that proposals should look to retain existing trees/hedgerows that provide a significant contribution to the area and where lost replacements shall be provided. Policy ENV 6 advises that development proposals should seek to retain and protect trees, woodlands and hedgerows.
- 10.79. An Arboricultural Impact Assessment has been submitted in support of this application and adjacent sites for proposed residential development (24/4242/FUL) and care home development (24/4228/OUT). However, the Council's Forestry Officer advises that there are no trees within the site, and consequently no significant arboricultural implications having regard to the development of this site.

### **Air Quality**

- 10.80. Policy SE12 of the CELPS states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality. SNP Policy T5 (Improving Air Quality) echoes these objectives and also set out the required details of Air Quality Assessments.
- 10.81. Air quality impacts have been considered within the air quality assessment submitted in support of the application. This also relates to the wider development on the site which includes the proposals for a care home and residential scheme of 40 dwellings.
- 10.82. The report concludes that a detailed assessment into the impacts of NO<sub>2</sub>, PM<sub>10</sub> and PM<sub>2.5</sub> during the operational phase is not required in accordance with EPUK and IAQM criteria based on the predicted development flows, and overall, the impact on local air quality will be not significant.
- 10.83. The Council's Environmental Protection Officer accepts the findings of the air quality assessment of the report, but to still ensure that local air quality is not adversely impacted for existing and future residents, conditions are recommended requiring the implementation of the residents travel plan and use of ultra-low emission boilers. In addition, electric vehicle

infrastructure will be required to be provided on site in accordance with the specifications set out in The Building Regulations.

## **11. PLANNING BALANCE/CONCLUSION**

11.1. The proposed development would result in residential development located beyond the Nantwich Sandbach Settlement Boundary in conflict with policies PG6 of the CELPS and GS1 and H5 of the SBNP and the development plan as a whole . However, the Council is unable to demonstrate a five-year supply of housing and paragraph 11d of the NPPF is engaged.

11.2. The NPPF seeks to boost significantly the supply of housing unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits. This is with particular regard to directing development to sustainable locations, making effective use of land, securing well designed places and providing affordable homes, individually or in combination.

### Disbenefits

- The proposed development would result in residential development with the open countryside located beyond the Nantwich Settlement Boundary
- On site policy compliant affordable housing is not being provided due to scheme viability (albeit as a result of the viability review a financial contribution will be made towards the provision of off-site affordable housing)
- loss of approved mixed-uses including employment within Maylands Park development

### Benefits

- The proposal would result in the creation of 49 dwellings which will contribute towards the Council's 5-year housing land supply.
- The proposal would also go some way to help the Council meet the significant identified need for retirement living units (Class C3) .
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.
- Social and health benefits resulting from the provision of retirement living apartments.
- The site is sustainably located given its location on the edge of a Key Service Centre with good accessibility to local services and facilities
- The application site benefits from full consent for commercial development which remains extant. The alternative development of the site for residential development represents an effective use of land.
- The scheme is of a good overall design at this prominent gateway site into the Maylands Park development. Given the urbanised context of the site in this edge of settlement location, this scheme would be of not be out of character with recent development in locality and at Maylands Park
- Reduction of vehicle movements in comparison to those generate by commercial mixed uses of the approved fallback position (Maylands Park Phase 2 – mixed uses)
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.

### Neutral

- The layout and design of the scheme would not harm residential amenity
- The development is considered to be acceptable in terms of its impact upon the highway network.

- The proposals do not result in any significant ecological impacts and is acceptable subject to the imposition of planning conditions
- The proposal would not result in any significant flood risk/drainage issues
- The proposal would not result in an unacceptable impact on air quality with mitigation secured through planning conditions.

- 11.3. Given the findings of the independent viability review, contributions towards healthcare provision, off-site sport/recreation and off-site (in lieu of on-site) affordable housing should be secured through a S106 Agreement.
- 11.4. In summary, the development would significantly contribute towards the 5-year housing land supply, including significant identified need for retirement living units, and the adverse impacts would not significantly and demonstrably outweigh the benefits of the proposals when assessed against the policies within the NPPF.
- 11.5. Subject to financial contributions being secured towards mitigating the impact on local services/facilities and towards off-site affordable housing, the proposed development would benefit from the presumption in favour of sustainable development which weighs heavily in support of the proposed development. Therefore, the application is recommended for approval.

## 12. CIL REGULATIONS

- 12.1. In order to comply with the Community Infrastructure Levy (CIL) Regulations 2010, it is necessary for planning applications with legal agreements to consider the issue of whether the requirements within the S106 satisfy the following:

- a) Necessary to make the development acceptable in planning terms;
- b) Directly related to the development; and
- c) Fair and reasonably related in scale and kind to the development.

- 12.2. It is considered that the contributions required as part of the application are justified meet the Council's requirement for policy compliance. All elements are necessary, directly relate to the development and are fair and reasonable in relation to the scale and kind of development. On this basis the scheme is compliant with the CIL Regulations 2010.

## 13. RECOMMENDATION

**Approve subject to a Section 106 Agreement and the following conditions**

S106	Amount	Trigger
Affordable Housing	Financial Contribution towards off-site Affordable housing provision TBC	Upon occupation of 20 <sup>th</sup> Apartment
NHS Healthcare	A financial contribution of £44,296 (£904 per apartment) TBC  Calculated on following basis:  - Population served by surgery = 7,000	Upon occupation of 20 <sup>th</sup> apartment



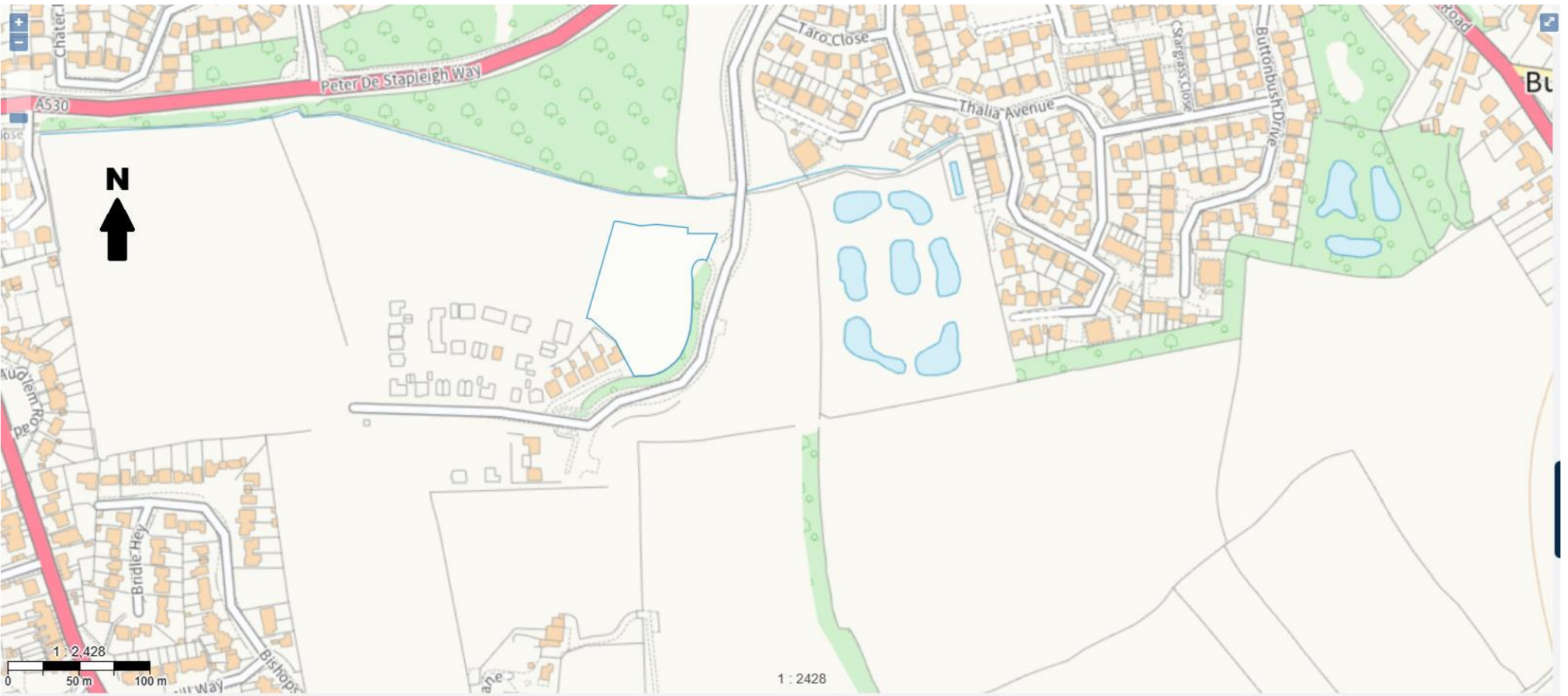
	<ul style="list-style-type: none"> <li>- Equivalent number of dwellings (at an average of 2.3 persons per dwelling) = 3,043</li> <li>- Total cost of required primary care floorspace = £2,752,367</li> <li>- Contribution cost per dwelling = £904</li> </ul> <p>TBC</p>	
Contribution to outdoor sports facilities	<p>£55,108.90</p> <p>The financial contribution is calculated at £782.27 per bed space in apartments (to a maximum of £1,574.54 per apartment). The funds would be required on commencement of development and used in line with the Council's adopted Playing Pitch and outdoor Sports Strategy.</p>	Upon occupation of 20 <sup>th</sup> Apartment
Overage calculation	<p>Reassessment of the viability position at a future point in the development programme.</p> <p>TBC</p>	Prior to commencement of development

And the following conditions.

1. Standard 3-year consent
2. Approved Plans
3. Materials
4. Full hard and soft landscape details
5. Implementation of landscaping
6. Submission of details for the treatment of verges of brick gabled elements and design of entrance (North east corner)
7. Details for the incorporation of Suds features
8. Details of levels
9. Submission of amended Construction Environmental Management Plan (CEMP)
10. Use of Ultra-low emission boilers
11. Implementation of Residents travel plan
12. Approval of a contaminated land remediation strategy
13. Contaminated land - Submission of updated Phase II ground investigation and risk assessment and remediation strategy if necessary.
14. Contaminated land verification report
15. Soil tests for contamination
16. Measures to deal with unexpected contamination
17. Submission of an ecological enhancement strategy.
18. Details of lighting to safeguard bats
19. Implement Hedgehog and Brown Hare Mitigation measures

20. Submission of updated badger survey prior to commencement.

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.



24/4223/FUL  
Land Off Peter De Stapleigh  
Way,  
Stapeley,  
Cheshire.



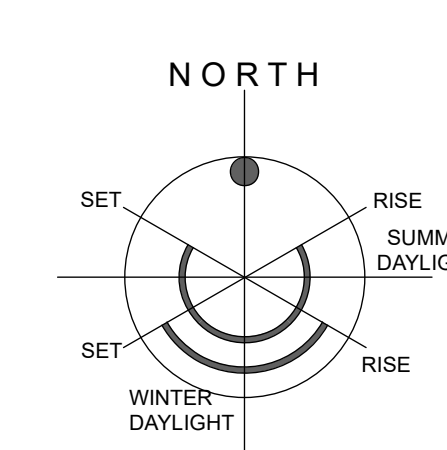
# MAYLANDS PARK - NANTWICH



CONTEXT PLAN - SCALE 1:500



SCALE 1:500



SITE AREA (as defined by red line) 0.60 hec / 1.50 ac

REV	DESCRIPTION	BY	CHKD	DATE
A	ACCESS ROAD UPDATED, SITE PLAN AMENDED TO SUIT.	IR		07/05/24
B	MINOR AMENDMENT FURTHER TO CLIENT COMMENTS	IR		09/05/24
C	MINOR AMENDMENT FURTHER TO ELEVATIONS	IR		14/05/24
D	ADDITIONAL BOUNDARY LINES ADDED ADJACENT TO ACCESS. CARE HOME INFORMATION INCORPORATED.	IR		17/06/24
E	NORTH ACCESS INCORPORATED, EXTERNAL WORKS AMENDED FURTHER TO LPA COMMENTS.	IR		13/03/25
F	EXTERNAL WORKS / LANDSCAPING UPDATED.	IR		30/04/25

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PROJECT	MAYLANDS PARK STAPLEY, NANTWICH
TITLE	RETIREMENT, GENERAL ARRANGEMENT PROPOSED SITE PLAN, GROUND FLOOR
SCALE	1 : 200/500 @ A1
DATE	MAY 2024
DRAWN BY	IR
CHECKED BY	
DRAWING NO.	
NO	2968
3	AC
100	F

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**HARD LANDSCAPE**

**Proposed Concrete Block Paving (permeable)**  
Product: Omega Flow Permeable Block Paving OF60  
Plan Size: 215 x 115 x 60mm  
Colour: Brindle  
Laying Bond: Herringbone  
Supplier: Brett Landscaping and Building Products

**Proposed Flag Paving**  
Material: Broadway Economy Garden Paving, BER03  
Dimensions: 450 x 450 x 32mm  
Colour: Buff  
Supplier: Brett Landscaping and Building Products

**Proposed Block Paving**  
Material: Alpha TRIO Paving by Brett (or similar approved)  
Dimensions: varies x 140 x 60mm  
Colour: Burnt Oak  
Laying Bond: Stretcher Bond (Random)

**Proposed Tarmac for Footpaths and Roads**  
To Engineer's Details

**Proposed Compact Gravel**  
To Engineer's Details

**Proposed Grasscrete**  
To Engineer's Details

**FEATURES**

**Proposed Table and Chair Set**  
Rattan Furniture.

**Proposed Pergola and Festoon Lighting**  
Timber pergola size - 2.35x2.35m.  
Pergola to have climbers planted at the base.  
Please refer to architect's drawing for details.

**Proposed Timber Sleeper Planter**  
2.4m long, 1.075m wide, 0.675 high.  
Specified by others. Planted by residents.

**Proposed Timber Gazebo**  
Specified by others.

**Proposed Timber Bench**  
With arm and back rest.

**Proposed Potting Shed**  
Specified by others.

**Proposed Water Feature**

**LEGEND**

**SOFT LANDSCAPE**

**Proposed Medium Ornamental Tree**  
3.5-4.5m high, 14-16cm girth, Extra-heavy Standard

**Proposed small/ Multi-stem Garden Tree**  
Selected Standard, 10-12cm girth, 2.5-3.5m high or large shrub 30-50L.

**Proposed Native Tree**  
4.5-5m high. 18-20cm girth, Semi-mature

**Proposed Ornamental Planting**  
Proposed shrubs and flowering herbaceous to be planted as 3-5L pots at 3-5 per sq.m. and enhanced by feature specimens in 10-20L pots. Planting beds to receive 75mm depth ornamental bark mulch.

**Proposed Climbers**

**Proposed Native Shrub Mix**  
Bare root stock, 60-80cm, planted at 2-3m, in groups of 3-5. Plants to be protected with spiral guards where necessary.

**Proposed Evergreen Hedge**  
Evergreen hedge, 100-120cm high, to be planted in 10L containers at 3nr plants per lin.m.

**Proposed Evergreen Low Hedge**  
Evergreen hedge, 0.5m high, to be planted in 10L containers at 3nr plants per lin.m.

**Proposed Grass**  
To be turf.

**Proposed Woodland Bulbs**  
To provide seasonal interest.

**GENERAL NOTES**

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- All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.

Client  
**McCarthy and Stone Retirement Lifestyles**  
Project  
**Maylands Park, Stapeley**  
Description  
**Landscape Layout**  
Status  
**For Approval**  
Scale @ A1  
**1:250**  
Job number  
**NO-2968-3-LA-101**

TPM Job Ref  
**4669**  
Date  
**01.08.24**  
Revision  
**B**

**tpm landscape**  
chartered landscape architects  
address: 4th Floor Studio 10 Little Lever St Manchester M1 1HR  
tel: 0161 235 0600 fax 0601 email info@tpmlandscape.co.uk




Revisions.			
No.	Revision.	Date.	By.
A	Balconies/Materials Amended	15.04.24	FH
B	Response to Layout Alterations	10.05.24	FH



Proposed Colour Elevation - Front facing Spine Road



Proposed Colour Elevation - Side facing Site Access

Project Maylands Park, Stapeley, Nantwich				 <b>Bower Mattin</b>
Reserve Matters Planning McCarthy Stone Later Living				
Title Proposed Colour Elevations Front and Entrance Side				
Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP				
1:100@A1 Drawn By		Date March 24 Checked	Job No 23289	Original
Category L	ClSfb Element -	Sequential No 202	Revision D	Telephone 01625-509187  E-Mail architects@ bower-mattin.co.uk  Chartered Architects Surveyors




Revisions.			
No.	Revision.	Date.	By.
A	Balconies/Materials Amended	15.04.24	FH
B	Response to Layout Alterations	10.05.24	FH



Proposed Colour Elevation - Rear



Proposed Colour Elevation - Side facing David Wilson Homes Scheme

<b>Project</b> Maylands Park, Stapeley, Nantwich				 <b>Bower Mattin</b>  <small>Unit 23/ 24          Beechfield House          Winterton Way          Macclesfield          Cheshire          SK11 0LP</small>
<b>Reserve Matters Planning</b> McCarthy Stone Later Living				
<b>Title</b> Proposed Colour Elevations				
<b>Front and Entrance Side</b>				
1:100@A1 Drawn By	Date March 24	Job No 23289	Original	Telephone 01625-509187  E-Mail architects@bower-mattin.co.uk  Chartered Architects Surveyors
Category	Cl&St Element	Sequential No	Revision	
L	-	203	D	



MAYLANDS PARK - NANTWICH

REV	DESCRIPTION	BY	CHKD	DATE
A	MINOR AMENDMENT FURTHER TO ELEVATIONS	IR		14/05/24
B	UNIT 7,8 & 9 TYPE AMENDED TO M4E31	IR		05/06/24
C	ENTRANCE AT THE END OF THE CORRIDOR ADDED ADJACENT TO UNITS 04 & 05	IR		13/03/25



	TYPE	1-BED	2-BED
GROUND	RL103	1	
	RL104_R	6	
	RL104_V	1	
	RL105	1	
	RL201_R		1
	RL201_OP		3
	RL204_V		1
	RL205_R		1
TOTAL		9	6



**McCarthy Stone**  
*Life, well lived*  
**LOROC**  
ARCHITECTS

5TH FLOOR, 15 ST. PAUL'S STREET, LEEDS, LS1 2JG  
T: 0113 233 7755  
W: www.loroc.co.uk

3RD FLOOR, 86 - 90 PAUL STREET, LONDON, EC2A 4NE  
T: 0203 875 5333

PROJECT	MAYLANDS PARK STAFLEY, NANTWICH
TITLE	RETIREMENT_GENERAL ARRANGEMENT PROPOSED GROUND FLOOR PLAN
SCALE	1 : 100 @ A1
DATE	MAY 2024
DRAWN BY	IR
CHECKED BY	
DRAWING NO.	
NO	2968
3	AC
102	C

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MAYLANDS PARK - NANTWICH

REV	DESCRIPTION	BY	CHKD	DATE
A	MINOR AMENDMENT FURTHER TO ELEVATIONS	IR		14/05/24
B	UNIT 16, 23, 24, 25 & 33 TYPE AMENDED TO M4(3)	IR		05/06/24
C	ROOF OF NEW ENTRANCE ADDED.	IR		13/03/25



	TYPE	1-BED	2-BED
FIRST	RL103_R	3	
	RL104_R	6	
	RL104_V	1	
	RL105	1	
	RL201_R		1
	RL201_OP		5
	RL204_V		1
	RL205_R		1
TOTAL		11	8



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LONDON, EC2A 4NE  
T: 0203 875 5333

PROJECT	MAYLANDS PARK STAFLEY, NANTWICH
TITLE	RETIREMENT, GENERAL ARRANGEMENT PROPOSED FIRST FLOOR PLAN
SCALE	1 : 100 @ A1
DATE	MAY 2024
DRAWN BY	IR
CHECKED BY	
DRAWING NO.	
NO	2968
3	AC
103	C

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MAYLANDS PARK - NANTWICH

REV	DESCRIPTION	BY	CHKD	DATE
A	MINOR AMENDMENT FURTHER TO ELEVATIONS	IR		14/05/24
B	UNIT 35, 42, 43, 44 & 49 TYPE AMENDED TO M4(3)	IR		05/04/24
C	ROOF OF NEW ENTRANCE ADDED.	IR		13/03/25





Revisions		
No.	Revision	Date
A	Red boundary shown	24.06.2024
B	Key added	24.06.2024
C	Planning Consultant Comments	25.06.2024
D	Additional Footpath Link added	18.07.2024
E	Site Edge Red Updated	08.08.2024
F	Sub station Added	29.08.2024
G	Anwyi Layout and Edge Blue updated	27.09.2024
H	Edge Blue updated	02.10.2024
J	Edge Blue updated	08.10.2024
K	Applications 01,02 and 03 shown	15.10.2024



**M** MAYLANDS PARK

**MÜLLER**  
PROPERTY GROUP

**KEY**

**Site Edge Red - Application 01**  
Anwyi Residential Scheme

**Site Edge Blue - Application 02**  
McCarthy Stone Retirement Living

**Site Edge Light Blue - Application 03**  
Muller Care Home

Project Maylands Park, Stapeley, Nantwich		Title Colour Context Site Masterplan - Residential, Care and Retirement Schemes	
Scale 1:500(BA0)	Date June 2024	Job No 23289	Original
Drawn By my	Checked	Sequential No 504	Revision K
Category L	CISB Element -	Chartered Architects Surveyors	

Unit 23/24  
Beeston House  
Wolverton Way  
Macclesfield  
Cheshire  
SK11 0LP

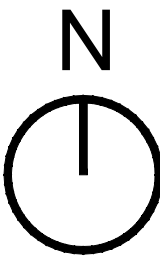
Telephone  
01625-506187

E-Mail  
info@bmm.co.uk  
bmm@bmm.co.uk





Revisions.			
No.	Revision.	Date.	By.
A	Client comments	24.06.2024	MY
B	Key added	24.06.2024	MY
C	Planning Consultant Comments	25.06.2024	MY
D	Additional Footpath Link added	18.07.2024	MY
E	Text Updated	08.08.2024	MY
F	Sub Station added	29.08.2024	FH
G	Anwyl Layout and Edge Blue updated	27.09.2024	MY
H	Edge Blue updated	02.10.2024	MY
J	Edge Blue updated	08.10.2024	MY
K	Applications 01,02 and 03 shown	15.10.2024	MY



KEY


**Site Edge Red - Application 01**  
Anwyl Residential Scheme

**Site Edge Blue - Application 02**  
McCarthy Stone Retirement Living

**Site Edge Light Blue - Application 03**  
Muller Care Home

**M** MAYLANDS  
PARK

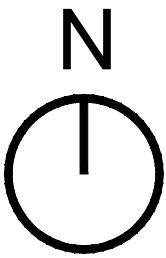
**MÜLLER**  
PROPERTY GROUP

Project Maylands Park, Stapeley, Nantwich			
Title Overarching Maylands Park Residential, Care and Retirement Masterplan			
Scale 1:500@A1	Date June 2024	Job No 23289	Original
Drawn By MY	Checked		
Category L	GIS Element -	Sequential No 505	Revision K
			 Bower Mattin  Unit 23/ 24 Beachfield House Winterton Way Macclesfield Cheshire SK11 0LP  Telephone 01625-509187  E-Mail architects@ bower-mattin.co.uk  Chartered Architects Surveyors





Revisions.			
No.	Revision.	Date.	By.
A	Edge Red and Blue shown	2024.06.24	MY
B	Key added	24.06.2024	MY
C	Planning Consultant Comments	25.06.2024	MY
D	Additional Footpath Link added	18.07.2024	MY
E	Site Edge Red Updated	08.08.2024	MY
F	Sub Station added	29.08.2024	FH
G	Anwyl Layout and Edge Blue updated	27.09.2024	MY
H	Edge Blue updated	02.10.2024	MY
J	Edge Blue updated	08.10.2024	MY
K	Applications 01,02 and 03 shown	15.10.2024	MY



KEY


- Site Edge Red - Application 01  
Anwyl Residential Scheme
- Site Edge Blue - Application 02  
McCarthy Stone Retirement Living
- Site Edge Light Blue - Application 03  
Muller Care Home

MAYLANDS  
PARK

MÜLLER  
PROPERTY GROUP

Project

Maylands Park, Stapeley,  
Nantwich



Bower  
Mattin

Title

Colour Context Residential, Care  
and Retirement Masterplan

A1 1-1000

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Chartered Architects  
Surveyors

Scale 1:1000@A1	Date June 2024	Job No 23289	Original
Drawn By MY	Checked		
Category L	CIS/b Element -	Sequential No 506	Revision K



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Application No: 24/4242/FUL  
 Application Type: Full Planning  
 Location: Land Off Peter De Stapleigh Way, Stapeley, Cheshire East,  
 Proposal: Full planning permission for the erection of a residential development (use class C3); public open space; green infrastructure; landscaping; access and associated infrastructure  
 Applicant: Muller Property Group and Anwyl Homes

Expiry Date: 23 January 2025

### **Summary**

This application seeks full planning approval for a residential development of 40 units with associated landscaping, infrastructure and public open space within parts of the approved site for a mixed-use scheme granted on appeal by the Secretary of State in July 2020.

The proposed development would result in residential development located within “open countryside” beyond the Nantwich Sandbach Settlement Boundary contrary to policies PG6 of the CELPS and GS1 and H5 of the SBNP and in conflict with the Development Plan as a whole. However, the Council is unable to demonstrate a five-year supply of housing and paragraph 11d of the NPPF is engaged. The NPPF seeks to boost significantly the supply of housing unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits.

### **Disbenefits**

- The proposed development would result in residential development within the open countryside located beyond the Nantwich Settlement Boundary
- loss of approved mixed-uses including employment within the Maylands Park development

### **Benefits**

- The proposal would result in the creation of 40 dwellings (30% affordable) which will contribute towards the 5-year housing land supply.
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.
- The site is sustainably located given its location on the edge of a Key Service Centre with good accessibility to local services and facilities
- The development incorporates components and features of good design, although it is expected that further improvements will be made to southern part of site to address issues raised by the Design Officer. Given the urbanised context of the site in this edge of settlement location, this scheme would not be out of character with recent development in locality and at Maylands Park.
- Reduction of vehicle movements from those generated by commercial mixed uses of the approved “fallback position” (Maylands Park Phase 2 – mixed uses)
- Provision of an above-policy compliant level of POS provision resulting in additional social benefits. - the application site benefits from full consent for commercial development which remains extant and constitutes a fallback position which should be given significant weight. The alternative development of the site for housing represents an effective use of land.



Neutral

- The layout and design of the scheme would not harm residential amenity
- The development is considered to be acceptable in terms of its impact upon the highway network.
- The proposals do not result in any significant ecological impacts and is acceptable subject to the imposition of planning conditions
- The proposal would not result in any significant flood risk/drainage issues
- The proposal would not result in an unacceptable impact on air quality with mitigation secured through planning conditions.

To satisfactorily address the impact on local services/facilities, contributions towards education, healthcare provision and off-site sport/recreation will be secured through a S106 agreement.

In summary, the development would significantly contribute towards the 5-year housing land supply and the adverse impacts would not significantly and demonstrably outweigh the benefits of the proposals when assessed against the policies within the NPPF. The proposed development would benefit from the presumption in favour of sustainable development which weighs heavily in support of the proposed development. Therefore, the application is recommended for approval

**Summary recommendation**

**Approve subject to a Section 106 Agreement and the following conditions**

**1. REASON FOR REFERRAL**

The floor area of the development to be created exceeds the delegated threshold.

**2. DESCRIPTION OF SITE AND CONTEXT**

The application site (1.24 Ha) occupies the eastern part of the mixed-use development approved on land to the south of Peter Destaplegh Way that was granted outline planning approval (12/3747N) on appeal by the Secretary of State on 15th July 2020.

Reserved Matters approval was granted for the first phase of the mixed-use scheme (22/3170N) and related to a residential development of 188 dwellings, associated infrastructure and open space and ecological areas. This is located to the west of the application site.

Reserved Matters Approval 23/2566N was granted subsequently granted for Phase 2 of the mixed-use development comprising a Local Centre and Employment Development. This residential scheme is proposed to occupy the site of an office building and a group of industrial/warehouse units.

The Stapeley Gardens residential development lies to the east of the site. Under reserved matters approval 22/3170N a Great Crested Newt (GCN) mitigation area will run alongside the eastern site boundary. This adjoins the Stapeley Water Gardens GCN compensation area. Peter Destaplegh Way and the Cronkinson Farm residential development lie to the north of the site.

An access road was approved (12/3746N) to serve the mixed-use scheme from the existing traffic light junction off Peter Destaplegh Way.

The site is generally flat, former agricultural land bounded by native hedgerows to the south and east including some tree cover. The southern boundary adjoins existing farmland.

### **3. DESCRIPTION OF PROPSAL**

This application is one of three planning applications submitted in relation to land forming Phase 2 of the approved mixed-use development.

The two other applications comprise;

- A full planning application (24/4223/FUL) seeks approval for a retirement living development of 49 apartments on the opposite (western) side of the access road serving the wider site.
- An outline application 24/4228/OUT for an 80-bed care home relates to land to the east of the retirement living development and identified to accommodate a primary school as part of the mixed-use scheme. This application is to be considered at a future SPB meeting.

This application seeks full planning approval for a residential development of 40 units with associated landscaping and infrastructure. An area of Public open space is also proposed to serve the scheme, and this is located within the centre of the wider development adjoining and enlarging that of the approved David Wilson Homes residential scheme (Phase 1 - 22/3170N).

The development comprises a mix of house types of 1, 2, 3 and 4 bedrooms which includes semi-detached, detached and apartment units. 12 No. dwellings will be affordable units equating to 30% overall affordable provision.

Access to the development will be via the access road leading southward from the traffic light junction on Peter Destaplegh Way which was also granted full planning approval (12/3746N) on appeal by the Secretary of State on 15th July 2020. Planning permission (21/1703N) was also subsequently granted for a section of internal spine road leading on from the southern end of the access road to serve the approved mixed-use scheme. This has now been constructed.

### **4. RELEVANT PLANNING HISTORY**

23/2566N - Reserved matters application pursuant to outline planning permission ref: 12/3747N for the appearance, scale, layout, and landscaping for Phase 2 mixed-use development including employment development (comprising office and warehouse and light industrial buildings) and local centre with parking, service yards and associated infrastructure. Approved 12th February 2024

22/3170N - Reserved matters application pursuant to outline planning permission 12/3747N for the appearance, scale, layout and landscaping for Phase 1 residential development (Use Class C3) including internal access roads, public open space including NEAP, village green, community orchard and ecological areas, parking and associated infrastructure. Approved 26th May 2023

21/1703N - Full planning application for an internal spine road to serve land South of Peter Destaplegh Way. Approved 24th December 2021

12/3747N - Proposed residential development for up to a maximum of 189 dwellings; local centre (Class A1 to A5 inclusive and D1) with a maximum floor area of 1,800 sq.m Gross Internal Area (GIA); employment development (B1b, B1c, B2 and B8) with a maximum floor

area of 3,700 sq. m GIA; primary school site; public open space including new village green, children's play area and allotments, green infrastructure including ecological area; access via adjoining site B (see below) and new pedestrian access and associated works Allowed on Appeal 15th July 2020 (Ref APP/R0660/A/13/2197532)

12/3746N - New highway access road, including footways and cycleway and associated works. Allowed on appeal 15th July 2020 (Ref APP/R0660/A/13/2197529)

## **5. NATIONAL PLANNING POLICY**

5.1. The National Planning Policy Framework (NPPF) was first published by the Government in March 2012 and has since been through several revisions. It sets out the planning policies for England and how these should be applied in the determination of planning applications and the preparation of development plans. At the heart of the NPPF is a presumption in favour of sustainable development. The NPPF is a material consideration which should be taken into account for the purposes of decision making.

## **6. DEVELOPMENT PLAN POLICY**

6.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires decisions on planning applications to be made in accordance with the Development Plan unless material considerations indicate otherwise. The Cheshire East Local Plan Strategy (2010 – 2030) was adopted in July 2017. The Site Allocations and Development Policies Documents was adopted in December 2022. The policies of the Development Plan relevant to this application are set out below, including relevant Neighbourhood Plan policies where applicable to the application site.

### **6.2. Relevant policies of the Cheshire East Local Plan Strategy (CELPS) and Cheshire East Site Allocations and Development Plan Policies Document (SADPD)**

- 1.SADPD Policy PG 9: Settlement boundaries
- 2.SADPD Policy GEN 1: Design principles
- 3.SADPD Policy GEN 7: Recovery of planning obligations reduced on viability grounds
- 4.SADPD Policy ENV 1: Ecological network
- 5.SADPD Policy ENV 12: Air quality
- 6.SADPD Policy ENV 14: Light pollution
- 7.SADPD Policy ENV 15: New development and existing uses
- 8.SADPD Policy ENV 16: Surface water management and flood risk
- 9.SADPD Policy ENV 2: Ecological implementation
- 10.SADPD Policy ENV 3: Landscape character
- 11.SADPD Policy ENV 5: Landscaping
- 12.SADPD Policy ENV 6: Trees, hedgerows and woodland implementation
- 13.SADPD Policy ENV 7: Climate change
- 14.SADPD Policy RUR 5: Best and most versatile agricultural land
- 15.SADPD Policy RUR 6: Outdoor sport, leisure and recreation outside of settlement boundaries
- 16.SADPD Policy HOU 1: Housing mix
- 17.SADPD Policy HOU 12: Amenity
- 18.SADPD Policy HOU 13: Residential standards
- 19.SADPD Policy HOU 14: Housing density
- 20.SADPD Policy HOU 15: Housing delivery
- 21.SADPD Policy HOU 8: Space, accessibility and wheelchair housing standards
- 22.SADPD Policy INF 1: Cycleways, bridleways and footpaths
- 23.SADPD Policy INF 3: Highway safety and access
- 24.SADPD Policy INF 9: Utilities

- 25.SADPD Policy REC 2: Indoor sport and recreation implementation
- 26.SADPD Policy REC 3: Open space implementation
- 27.SADPD Policy REC 5: Community facilities
- 28.CELPS Policy MP 1: Presumption in favour of sustainable development
- 29.CELPS Policy PG 1: Overall development strategy
- 30.CELPS Policy PG 2: Settlement hierarchy
- 31.CELPS Policy PG 6: Open countryside
- 32.CELPS Policy PG 7: Spatial distribution of development
- 33.CELPS Policy SD 1: Sustainable development in Cheshire East
- 34.CELPS Policy SD 2: Sustainable development principles
- 35.CELPS Policy IN 1: Infrastructure
- 36.CELPS Policy IN 2: Developer contributions
- 37.CELPS Policy SC 1: Leisure and recreation
- 38.CELPS Policy SC 2: Indoor and outdoor sports facilities
- 39.CELPS Policy SC 3: Health and well-being
- 40.CELPS Policy SC 4: Residential mix
- 41.CELPS Policy SC 5: Affordable homes
- 42.CELPS Policy SE 1: Design
- 43.CELPS Policy SE 12: Pollution, land contamination and land instability
- 44.CELPS Policy SE 13: Flood risk and water management
- 45.CELPS Policy SE 2: Efficient use of land
- 46.CELPS Policy SE 3: Biodiversity and geodiversity
- 47.CELPS Policy SE 4: The landscape
- 48.CELPS Policy SE 5: Trees, hedgerows and woodland
- 49.CELPS Policy SE 6: Green infrastructure
50. SE 8: Renewable and low carbon energy
51. SE 9: Energy efficient development
52. CO 1: Sustainable travel and transport
53. CO 2: Enabling business growth through transport infrastructure
54. CO 4: Travel plans and transport assessments

### 6.3. Stapeley & Batherton Neighbourhood Plan(SBNP)

Policies of the Neighbourhood Plan relevant to the consideration of this application are:

- Policy GS 1 - Landscape and the Countryside.
- Policy GS 2 - Open Space
- Policy GS 3 - Woodland, Trees, Hedgerows, Walls, Boundary Treatment and Paving
- Policy GS 5 - Environmental Sustainability of buildings and adapting to climate change
- Policy GS 6 - Biodiversity
- Policy T 1 - General Transport Considerations.
- Policy T 2 - Pedestrian and cycle routes.
- Policy T 3 - Footpaths, Cycleways and Bridleways.
- Policy T 4 - Bus Services
- Policy T 5 - Improving Air Quality
- Policy T 6 - Identification of underground utility assets
- Policy C 1 - Existing and New Facilities
- Policy C 2 - New Business
- Policy C 3 - Scale, Design and Amenity
- Policy AWB 1 - Accessible GP practices
- Policy AWB 2 - Services for the elderly, disabled and for mental health.
- Policy AWB 3 - Provide for the sports needs of residents
- Policy AWB 4 - Community Facilities.
- Policy AWB 5 - Communications Infrastructure
- H1 - Housing Development.

H2 - Housing to meet Local Housing Needs.

Policy H3 - Tenure Mix.

Policy H4 - Design.

Policy H5 - Settlement Boundary.

## **7. Relevant supplementary planning documents or guidance**

7.1. Supplementary Planning Documents and Guidance do not form part of the Development Plan but may be a material consideration in decision making. The following documents are considered relevant to this application:

- Housing SPD
- Developer Contributions SPD
- Biodiversity and Net Gain SPD
- Environmental Protection SPD
- SuDS SPD
- Cheshire East Design Guide SPD

## **8. CONSULTATIONS (External to Planning)**

**Environmental Protection:** No objection subject to conditions requiring the remediation of unexpected contamination, the suitability of imported soils, use of Ultra-low NOx emission boilers, implementation of CEMP and implementation of the submitted travel plan. Standard informatives are recommended relating to hours of construction, Piling, floor floating and dust management.

**CEC Highways:** No objection.

**United Utilities:** No objection.

**Flood Risk Manager:** No objection to drainage strategy, but comments that ideally some SuDS should be provided on this site (e.g. rain gardens or tree pits). Also, full hydraulic calculations are required to be provided for the scheme. Some FFLs are not above 150mm above all AODs for this site and will need amendment.

**CEC Education :** No objection subject to a financial contribution of £239,872 for secondary education and SEN, secured through a S106 Agreement

**Strategic Housing :** Object. A broader mix for the affordable rented units should be provided other than 1- bed flats. This should include the provision of 4-bedroom affordable rental dwellings.

**NHS -** No objection such to a financial contribution of £36,160 to be secured through S106 agreement is required to mitigate impact on healthcare provision.

**Stapeley Parish Council:** No comments received to this application

## **9. REPRESENTATIONS**

None Received.

## **10. OFFICER APPRAISAL**

*Principle of the development*



The application site lies outside of the defined settlement boundary for Nantwich and consequently within the area defined as 'open countryside'.

These proposals for residential development do not represent a form of development that would normally be allowed in the open countryside (under Policy PG 6) and represent a departure from the development plan.

Policy PG6 is consistent with Policies GS1 and H5 of the Stapeley and Batherton Neighbourhood Plan (SBNP) which seeks to restrict housing development in the open countryside in a similar manner. Although Policy H5 states that, "the focus for development will be on sites within or immediately adjacent to the Nantwich Settlement Boundary, with the aim of enhancing its role as a sustainable settlement whilst protecting the surrounding countryside" it adds that, "Outside the settlement boundary any development is subject to the Cheshire East Local Plan Strategy Countryside Policy PG 6 and other relevant policies of this Plan"

Importantly, in this case, reserved matters applications 22/3170N (phase 1 for residential uses) and 23/2566N (phase 2 for employment, commercial and mixed-uses) in line with the outline consent granted by the Secretary of State have been approved. Therefore, the application site benefits from full consent which remains extant and could be developed in accordance with the permissions already granted.

The proposed development would not comply with the requirements of policy PG6 of the CELPS or Policies GS1 and H5 of the SBNP. The proposal would therefore represent a departure from the Development Plan as a whole. However, planning law requires that applications for planning permission are determined in accordance with the development plan unless material considerations indicate otherwise.

The National Planning Policy Framework ("NPPF") requires that planning decisions apply a presumption in favour of sustainable development. As set out at paragraph 11d, if there are no relevant development plan policies, or the policies which are most important for determining the proposal are out of date, planning permission should be granted, unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole. This is with particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well designed places and providing affordable homes, individually or in combination.

The NPPF defines that being 'out of date' in the context of housing proposals includes situations where a local planning authority cannot demonstrate a five-year supply of deliverable housing sites.

Consequently, the Council's housing land supply position and performance in terms of the housing delivery test is therefore a material consideration to take into account when assessing the benefits arising from housing schemes.

### *Key Issues*

#### **10.1 Housing Land Supply**

The Cheshire East Local Plan Strategy was adopted on the 27th July 2017 and forms part of the statutory development plan. The plan sets out the overall strategy for the pattern, scale and quality of development, and makes sufficient provision for housing (36,000 new dwellings over the plan period, equating to 1,800 dwellings per annum) in order to meet the objectively assessed needs of the area.

As the plan is more than five years old, deliverable housing land supply is measured using the local housing need figure (plus 5% buffer), which is currently 2,603 dwellings per year rather than the LPS figure of 1,800 dwellings per year.

The National Planning Policy Framework (NPPF) identifies the circumstances in which relevant development plan policies should be considered out-of-date. These include:

- Where a local planning authority cannot demonstrate a five-year supply of deliverable housing sites (with appropriate buffer) or:
- Where the Housing Delivery Test Measurement indicates that the delivery of housing was substantially below (less than 75% of) the housing required over the previous three years.

In accordance with the NPPF, the council produces an annual update of housing delivery and housing land supply. The council's most recent Housing Monitoring Update (base date 31 March 2024) was published in April 2025. The published report identifies a deliverable five-year housing land supply of 10,011 dwellings which equates to a 3.8-year supply measured against the five-year local housing need figure of 13,015 dwellings.

The 2023 Housing Delivery Test Result was published by the Department for Levelling Up, Housing & Communities on the 12 December 2024 and this confirms a Housing Delivery Test Result of 262%. Housing delivery over the past three years (7,392 dwellings) has exceeded the number of homes required (2,820). The publication of the HDT result affirms that the appropriate buffer to be applied to the calculation of housing land supply in Cheshire East is 5%.

In the context of five-year housing land supply, relevant policies concerning the supply of housing should be considered out-of-date and consequently the 'tilted balance' at paragraph 11 of the NPPF is engaged

## **10.2 Sustainable Location and Accessibility**

The site is located on the southern edge of Nantwich, which is identified by the CELPS as a Key Service Centre. Nantwich as noted within the CELPS, has a good range of local services, (schools, healthcare, public houses, shops, community facilities, sports provision and places of worship etc), access to public transport (rail and bus) and access to employment.

Furthermore, In granting outline planning approval (12/3747N) on appeal for the mixed-use scheme, which includes this site, the Secretary of State considered that the mixed-use site which included significant housing development (188 dwellings – phase 1) to be in a sustainable location and noted that Nantwich is one of the preferred locations for development in the CELPS.

This scheme along with retirement apartments proposal (24/4223/FUL) would however replace the previously approved employment and local centre. This would result in highly accessible employment and local facilities not being provided at the heart of the wider development area. However, notwithstanding this, the site is within walking/cycling distance of an existing secondary school, primary school, community hall, retail centre and other amenities within the wider Stapeley neighbourhood and employment opportunities within Nantwich and elsewhere are within the easy reach of the site.

In terms of pedestrian and cycling accessibility the site itself can access a segregated footway / cycleway provided on the northern side of Peter Destapleigh Way. The site is well placed to access bus services along Audlem Road.

The development site is therefore sustainably located given its location on the edge of a Key Service Centre and would minimise the dependence on the use of the private car.

### 10.3 Efficient Use of Land

Policy HOU14 of the SADPD requires residential developments to generally achieve a net density of at least 30 dwellings per hectare. The proposed development would achieve a density of 33 dwellings per hectare in compliance with Policy HOU 14 .

The application site already benefits from full consent which remains extant, and this could be developed in accordance with the permissions already granted constituting a deliverable “fall back” position .

In overall terms it is considered that given the urbanised context of the site in this edge of settlement location, this scheme would not be out of character with recent development undertaken and approved within the locality and is therefore appropriate .

### 10.4 Design

Policies SD2 and SE1 of the CELPS expect that development proposals consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located. These principles are also reflected in the CEC Design Guide.

The importance of securing high quality design is specified within the NPPF and Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD and the Cheshire East Design Guide . In particular, development proposals should consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located. These principles are echoed by SNP Policy H4 and also reflected in the CEC Design Guide and the “Building for a Healthy Life Framework” (BHL).

The Council’s Design Officer has undertaken an assessment of the application using the BHL framework which is reflected in the commentary below. BHL uses a traffic light system, with the aim of eliminating reds, whilst maximising the number of greens.

The performance of the proposed scheme is summarised in the table below. A more detailed commentary in relation to each of the considerations has also been provided but not included within this report.

Integrating into the Neighbourhood				Distinctive Places				Streets for All			
1 Natural Connections	2 Walking, cycling public transport	3 Facilities and services	4 Homes for everyone	5 Making most of what’s there	6 Memorable character	7 Well defined streets/ spaces	8 Easy to find your way around	9 Healthy streets	10 Cycle and car parking	11 Green and blue infrastructure	12 Back of pavement, front of home
G	G	G	G	A	A	A	G	A	A	A	A

During the course of the application the site layout and house types have been amended in response to concerns raised by the Design Officer. As a result, the scheme has improved and consequently no red ratings appear in the revised assessment above, although there are still a number of ambers.

In summary, the Design Officer considers that the Key enhancements to the scheme are:

- The layout of the northern part of the site has been improved through the creation of a more continuous building line, limiting the impact of car parking on the primary frontage and to “book end” the gateway, reflecting aspects of the proposed retirement apartments (24/4223/FUL) on the western side of the spine road.
- A future connection point has been provided in the Southeastern part of the site, providing for potential future connectivity between this site and land to the south
- The house type detail has been adjusted to more closely reflect that for the existing housing to the west (Phase 1) and the proposed design for the apartments (24/4223/FUL). This provides more coherence within the wider development area by different developers.

In terms of the key issues which remain to be satisfactorily addressed, the Design Officer comments that :

- The development still feels quite cramped within the southern part of the site, although a constrained site, it is considered that an improvement in design quality should be secured.
- For a modest scheme it feels a little too formal in parts. There is still limited space for street trees, which isn't consistent with the NPPF or the CEC Residential Design Guide.
- The drainage proposals do not include above ground SuDS such as rain gardens/swales. Both could potentially be incorporated if the intensity of the scheme were reduced, notwithstanding the previously approved arrangement for the centralised drainage basin as part of phase 1.
- The treatment of the southern edge of the site is very hard, albeit recognising the land to the south might be brought forward for future development. However, a softer edge should be secured than presently proposed.
- The parking court and frontage parking area to plots 10-13 need to be improved to ensure they do not detract from the scheme

It is expected that further amendments will be made to the scheme to ensure that the design issues summarised above are satisfactorily addressed and an update will be provided to SPB. On this basis, and subject to conditions, it is considered that the proposal would comply with Policies SD1, SD2 and SE1 of the CELPS, GEN1 of the SADPD and the Cheshire East Urban Design Guide.

### **10.5 Highways & Accessibility**

#### **Background**

It was established under full planning approval 12/3746N (access road) that the access to the mixed-use development would be via the traffic light-controlled junction of Peter Destapleigh Way and Pear Tree Field. The detailed junction arrangements for the access road with Peter Destapleigh Way were approved under full planning approval 12/3746N. In addition, there is a separate approval (21/1703N) for the main internal spine road serving the site which connects with the southern end of the approved access road leading to the junction with Peter Destapleigh Way (12/3746N). This route incorporates a cycle way/ footway which provides reasonably direct access from the mixed-use site to the primary school located off Pear Tree Field via pedestrian crossing facilities at the traffic light-controlled crossroads junction.

Much of this highway infrastructure has been provided and will now be utilised to serve this proposed residential development as well as Phase 1 and the proposed developments of 49 retirement living units (24/4223/FUL) and an 80-bed care home (24/4228/OUT).

The mixed-use development approved on appeal of which phase 1 (residential – 188 units) is being implemented, is bound by the terms of the S106 agreement which secure highway contributions: including financial contribution towards a bus service, provision of new bus stops and for a pedestrian crossing on Peter Destapleigh Way (position to be agreed).

### Access and Layout

The extant permission (reserved matters approval 23/2566N) for the site comprises of a freestanding office building and row of warehouse/industrial. This has two approved access points from the spine road and these are to be retained, although the northern access point is now positioned further south. Both access points are priority junctions with sufficient visibility provided.

The internal roads are cul-de-sacs which are shared surface roads with turning heads at the end of each road. Given the limited number of houses which each road serves, it is considered that a shared surface access road is acceptable as traffic speeds will be low.

### Parking

The proposed level of parking provision for the proposed dwellings and 1-bed flats, conforms with CEC parking standards.

### Traffic Impact

The traffic generation of this proposal needs to be considered against the approved commercial development on the site. The consented commercial scheme produced much higher trip generation than this residential scheme. This will result in significantly less traffic generation on the local highway network which is considered beneficial by the Highway Authority

### Summary

The site access design has been previously accepted to serve a much more HGV/Car intensive commercial development and as such is suitable to serve this proposed residential scheme.

The design of the internal road layout is acceptable, and refuse and servicing can be undertaken within the site. There is adequate parking provision for each of the dwellings proposed within the site.

The traffic impact of the wider site will reduce with as a result of this proposed residential development. No objections raised to the application by the CEC Highway Officer.

## **10.6 Housing**

The Cheshire East Local Plan Strategy (CELPs) and the Council's Housing Supplementary Planning Document states that, the desired target percentage for affordable housing for all allocated sites will be a minimum of 30%, in accordance with the recommendations of the Strategic Housing Market Assessment carried out in 2013. This percentage relates to the provision of both social rented and/or intermediate housing, as appropriate. Normally the Council would expect a ratio of 65/35 between social rented and intermediate housing.

The scheme will provide 30% affordable housing (12 units) spread throughout the site. Provision comprises 8 No. one bedroom, cottage type flats and 4 No. two bedroom houses. The proposed tenure split of 8 rented and 4 intermediate units is acceptable.

Information from the Cheshire Homechoice currently shows that 917 applicants have indicated that Nantwich is their preferred area for social or affordable rented housing. These applicants require: 516 x 1 bed, 206 x 2 bed, 143 x 3 bed and 52 x 4 or more bedrooms

The Council's Housing Officer would prefer a broader mix for the affordable rented units than 1-bed flats than proposed, particularly given the lack of 4-bedroom affordable rental dwellings which have been delivered in Nantwich. Only four, 4-bedroom new build affordable rental properties have become available in Nantwich since 2017.

The Site Allocations and Development Policies (SADPD) states that housing developments should deliver a range and mix of house types, sizes, and tenures to reflect and respond to housing needs and demands. The affordable dwelling mix in Table 8.1 shown in policy HOU1 in the SADPD should however be used as a starting point when considering an appropriate mix for a site

The applicant's updated Affordable Housing Statement points out that CELPs Policy SC5 does not specify a particular dwelling mix by tenure and therefore considered that such matters are subject to negotiation in connection with a planning application. In addition, it is stated that where 4-bedroom affordable housing units are provided, this is predominantly for Shared Ownership, although overall numbers are still relatively low. In addition, demand from Registered Providers to acquire such dwellings is low, with concerns that rental levels for such larger properties would not be sustainable for tenants resulting in a higher rate of rent arrears in comparison to smaller dwelling types.

Furthermore, as this a relatively small development the inclusion of wider range of affordable housing would be difficult to justify in this case, particularly as it is acknowledged that higher demand for 1 and 2 bed units is being addressed here.

By way of comparison, the approved affordable housing secured in the adjoining Phase 1 development site (23/2566N) of 188 units only includes the provision of 2 No. 4 bedroom dwellings of intermediate tenure.

It is considered that the provision of affordable housing therefore complies with CELPS Policy SC5 and SNP Policies H2 (Housing to meet Local Housing Need) and H3 (Tenure Mix). The proposed provision of (30%) of affordable housing with a broadly compliant tenure split of 67/33 between rented (8 units) and intermediate housing (4 units) will be secured through the Section 106 Agreement.

### Residential Mix

CELPS Policy SC4 'Residential Mix' advises that new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities. Policy H3 'Tenure Mix' of the Stapeley and Batherton Neighbourhood Plan (SBNP) states that proposals for affordable homes must be of a tenure, size and type to help meet locally identified need and contribute to a mixed, balanced and inclusive community where people can live independently longer.

SADPD Policy HOU1 'Housing Mix' advises that housing developments should deliver a range and mix of house types, sizes and tenures, which are spread throughout the site and that reflect and respond to identified housing needs and demands.



	Market housing	Intermediate housing	Affordable housing for rent
1 bedroom	5%	14%	26%
2 bedroom	23%	53%	42%
3 bedroom	53%	28%	20%
4 bedroom	15%	4%	10%
5+ bedroom	3%	1%	3%

The housing mix proposed would not be provided as per table 8.1 (above) of the supporting text of policy HOU1. However, the policy text makes it clear that this is to be used as a starting point for analysis and negotiation. The aim of this policy is to provide a mix of housing tenure and bedroom units to suit the needs of all and not to be dominated by larger 4 plus bedroom properties. In this case, the mix appears to be consistent with that aim. Overall, the proposed mix of 40-unit development is:

8 x 1-Bed (20%)

11 x 2- Bed (27.5%)

9 x 3- Bed (22.5%)

12 x 4- Bed (30%)

The proposed housing mix therefore provides a variety of accommodation for different household types and sizes spread throughout the development and accords with policy SC4 of the CELPS, Policy HOU 1 of the SADPD and SBNP Policy SNP H3.

### Housing Standards

SADPD Policy HOU8 requires that new residential development should meet the Nationally Described Space Standards (NDSS). The submitted table below shows that the proposed house types comply with NDSS.

House type	Type (XbXp)	Storeys	No. of units	NDSS req. (sqm)	House type (sqm)	Compliance with NDSS
<b>Market</b>						
Cartmel	4B6P	2.5	7	112	144.18	
Stapeley	2B4P	2	1	79	114.80	
Charlton B	4B6P	2	2	106	122.07	
Hampton - M4[2]	4B6P	2	2	106	123.47	
Marford - M4[2]	4B6P	2	1	106	123.47	
Ainsdale - M4[2]	3B5P	2	6	93	103.03	
Snowdon	2B4P	2.5	5	79	98.48	
Dodleston B	3B4P	2	2	84	98.10	
Burton	2B3P	2	2	70	70.23	
<b>Affordable</b>						
Maxley - M4[3]	2B3P	2	3	70	80.45	
Maxley	2B3P	2	1	70	80.45	
Disley - M4(2)	1B2P	1	4	50	50.35	
Disley	1B2P	1	4	50	64.01	

Policy HOU8 requires that for major developments at least;

a. 30% of dwellings in housing developments should comply with requirement M4 (2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings; and

b. at least 6% of dwellings in housing developments should comply with requirement M4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.

In this instance 3 units meet M4(3)(2)(a) (6% of the housing) and 12 units meet the requirements of M4(2) (30% of the housing). Therefore, the proposal complies with Policy HOU8 of the SADPD

### 10.7 Healthcare provision

The NHS Cheshire and Merseyside ICB request a financial contribution from the developments to offset the impact of the development on local health care provisions and help fund necessary improvements to GP Practices. Importantly, the NHS sets out that the current model of primary care provision generally focuses on a shift away from smaller GP practices to larger scale premises that accommodate a range of healthcare services. Consequently, an operationally efficient primary healthcare facility should accommodate a minimum of 7,000 registered patients.

This contribution equates to £904 per dwelling (total £36,120) and is calculated on the following basis.

- Population served by surgery = 7,000
- Equivalent number of dwellings (at an average of 2.3 persons per dwelling) = 3,043
- Total cost of required primary care floorspace = £2,752,367
- Contribution cost per dwelling = £904

This contribution per dwelling will contribute to the capital cost of primary healthcare provision. Further information has been provided identifying improvements to the following GP Practices;

- Nantwich Health Centre (Tudor Surgery, Kiltearn Medical Centre and Nantwich Health Centre)
  - optimisation of existing duplicated rooms (x3 practices in one building) and reception areas to create additional x4 clinical rooms of 1<sup>st</sup> floor and x3 clinical rooms on 2<sup>nd</sup> floor – associated costings indicated at £450,000
  - 3 storey extension to the rear of the practice – indicative cost circa £2.3 million (including installation of 3<sup>rd</sup> lift shaft for patient access)
- Wrenbury Medical Practice
  - Expansion into car park and creation of 2 storey extension – Landlord feasibility costings advised at £780,000

However, Muller Property Group disputes the justification for this financial contribution and include a legal opinion to that effect, notwithstanding the additional information provided by the NHS above. It is considered that the approach used is “imposing a blanket per dwelling contribution on new housing development” without specific evidence that justifies the contribution, such as in addressing the existing capacity at the health centres above, nor evidence for why they would be unable to cater for any additional demand on their services resulting from the proposed development. It concludes that they are “adopting an approach that is unsupported by law, policy or evidence and is fundamentally flawed”

Further comments are awaited from the NHS in response to the issues raised by the legal opinion. It is noted that the initial response from the NHS was not very detailed or specific in its ask. However, following further information submitted by the NHS Officers have continued discussions with the applicants given that similar principles for contributions from the NHS have been secured on many other similar applications. As it currently stands, it is considered that the requested healthcare contribution is fair and reasonable in addressing the impact of the proposed residential development on local healthcare provision.

## **10.8 Education**

The Council's Education team advises that the proposed development of 40 dwellings are expected to generate:

- 11 - Primary children (40 x 0.29)
- 6 - Secondary children (40 x 0.14)
- 1 - SEN children (40 x 0.60 x 0.047%)

The development is expected to impact on secondary school places in the locality. Contributions which have been negotiated on other developments are factored into the forecasts both in terms of the increased pupil numbers and the increased capacity at primary and secondary schools in the area because of agreed financial contributions.

Special Education provision within Cheshire East Council currently has a shortage of places available with at present over 47% of pupils educated outside of the Borough. The 1 child expected from the proposed development will exacerbate the shortfall.

To alleviate forecast pressures, the following contributions would be required:

- 6 x £27,492.00 = £164,952.00 (Secondary)
- 1 x £74,920.00 = £74,920.00 (SEN)

Total education contribution: £239,872.00

This will be secured through a Section 106 Agreement.

### Provision of school site

The main areas of POS serving this development will occupy part of the area indicated within the mixed-use scheme for the site of a primary school in conformity with outline approval 12/3747N. However, the Outline Permission simply required the part of the site to be reserved to accommodate a primary school. It is not subject to any detailed planning approval and nor does the S106 agreement require its provision to be funded through the mixed-use development.

In addition, the Council's Education Team have not identified that a new school is required to be provided on this site to meet a forecasted need for primary pupil places in Nantwich since outline approval was granted in 2020.

In these circumstances, there is no justification to prevent alternative use or development of this land including the provision of additional POS as set out below within the wider Mayland Park development for use by the community which in its own right will deliver social benefits.

## 10.9 Public Open Space

The Council's Leisure Officer is satisfied that the overall quantum of public open space (3,725 sqm) proposed to serve the residential development is acceptable and this also significantly exceeds the requirements set out by with CELPS Policy SE6 (Table 13.1). The main area of POS is located at the heart of the wider development adjoining that serving the David Wilson Development (Phase 1) and located about 200m from the application site.

The Leisure Officer advises that the detailed design of the area should complement that of the adjoining POS to the west and also blend with the further adjoining POS to proposed to the east being as part of application 24/4228/OUT (Care Home).

It is advised that footpaths should join and appear seamless from David Wilson Homes POS. Three items of green gym equipment are required to promote active and healthy lifestyle and also some play elements for 8 –11 year olds. It is recommended that an area of approximately 200m<sup>2</sup> within the POS should accommodate a small orchard.

Amended plans have included a small play area (LAP) within the confines of the residential development itself which is welcomed, although specific details of its equipment and layout are required.

Details of arrangements for the management and maintenance of POS and play space will need to be secured through a S106 Agreement.

In terms of Policy SE6 requirement for outdoor sports contributions, the proposal will increase demand on existing facilities and as such a financial contribution towards off site provision is required. The financial contribution is £1,564 per family dwelling or £782.27 per bed space in apartments (to a maximum of £1,564.54 per apartment). The funds would be required on commencement of development and used in line with the Council's adopted Playing Pitch and outdoor Sports Strategy.

It is recommended that conditions requiring the following are attached:

- Submission of details of the design of the proposed LAP
- Submission of details of the main POS which should include but not be limited to an orchard, play and green gym items, short mown area for informal games, paths and seating.

The Council's Leisure Officer raises no objections to the overall provision of public open space and associated recreational facilities proposed within the scheme, subject to the conditions recommended above. The proposals are therefore considered to comply with the open space requirements of policies SE 6 of the CELPS and Policy REC 3 of the SADPD.

## 10.11 Amenity

SADPD Policy HOU 12 (Amenity) requires that new development should not be permitted if it is deemed to cause unacceptable harm upon neighbouring amenity such as from overlooking, visual intrusion or noise and disturbance. In addition, Policy HOU13 of the SADPD identifies the following separation distances;

- 21 metres for typical rear separation distance (24m plus 2.5m per additional storey)
- 18 metres for typical frontage separation distance (20m for three-storey buildings)
- 14 metres for a habitable room facing a non-habitable room (the addition of 2.5m per additional storey).

There are no existing residential properties adjacent to the site with those of Phase 1 sited some distance to the west separated by the Spine Road and intervening open space and landscaping. Consequently, the siting and design of the development will have no adverse impact on the residential amenities of existing dwellings.

In consideration of amenity for future occupiers of the proposed development, the layout adheres with the recommended separation standards within CEC Design Guide to ensure the future occupiers of the proposed development are not detrimentally impacted in terms of loss of light, or privacy, or an overbearing impact from each other.

Policy HOU13 of the SADPD states that proposals for housing development should 'include an appropriate quantity and quality of outdoor private amenity space, having regard to the type and size of the proposed development'. Although some of the proposed gardens are a little small in size, notwithstanding this, it is deemed that they are sufficient in order for the future occupiers to enjoy normal activities e.g. sitting out, hanging washing, BBQs etc. Furthermore, large areas of shared public green space are provided within the wider development.

## **10.12 Ecology**

There are various ecology matters to consider. These are broken down into the following subsections and assessed accordingly. Additional information in respect of ecological issues and Biodiversity Net Gain (BNG) has been provided during the course of the application.

### Mandatory Biodiversity Net Gain

The application is subject to Mandatory Biodiversity Net Gain. The BNG metric submitted in support of the application indicates that the proposed development would result in a net gain of 13.59% in respect of Area Based habitats and 31.38% in respect of Hedgerows. However, the Council's Ecologist considers that the submitted BNG information is insufficient to inform the determination of the application and further supporting information is required.

Updated BNG documents have since been submitted and these are currently being assessed by the Council's Ecologist

### Ecological Network

The application site falls within a Restoration Area of the CEC ecological network. Policy ENV1 therefore applies to the determination of this application. Whether the development would result in an enhancement of the ecological network can be determined through the use of the BNG metric. However, it is recommended that a condition is attached to secure the incorporation of features for the benefit of wildlife.

### Great Crested Newts

This protected species is known to breed at a number of ponds within close proximity of the proposed development. In the absence of mitigation, the proposed development would result in the loss of lower value terrestrial habitat in the form of grassland habitats and moderate value habitat in the form of hedgerows and would pose the risk of injuring and killing any newts present on site during site clearance works.

It should be noted that since a European Protected Species has been recorded on site and is likely to be adversely affected the proposed development the planning authority must have regard to the Habitat Regulations when determining this application. The Habitats Regulations only allow planning to consent to be granted when:

- the development is of overriding public interest,
- there are no suitable alternatives and
- the favourable conservation status of the species will be maintained.

In this case, the Council's Ecologist advises that the applicant's ecological consultant has confirmed that the site is covered by an extant Natural England protected species licence. However, confirmation is awaited from the applicant as to whether newts are currently excluded from the footprint of the currently proposed development by means of an intact amphibian fence.

### Common Toad

This priority amphibian species is also likely to be present on site. The proposed development would also result in an adverse impact upon this species. However, mitigation and compensation measures to address the impacts of the proposed development upon great crested newts would also minimise the risk to this species.

### Badgers

The submitted Badger report recorded evidence of badger activity throughout the site, but no active setts are present. It is advised that the proposed development would result in a low magnitude adverse impact upon badgers as a result of the loss of suitable foraging habitat.

### Bats

Three trees on site have been identified as having bat roost potential. These trees would all be retained as part of the proposed development. Works are however likely to occur within close proximity to the trees. The submitted Ecological Assessment (ecus, November 2024) advises that further bat surveys should be undertaken if any works are within 10m of the tree. The Council's Ecologist has advised that further surveys/impacts assessment in respect of these trees are therefore required. Further information (Bat Technical Note) has been submitted and is being assessed.

The application site was assessed as having Moderate potential for foraging/commuting bats. Consequently, two bat activity surveys were undertaken. These were completed in September and October, meaning only a limited range of seasonal activity was assessed during the surveys. A low level of bat activity was recorded in September and a moderate level of bat activity was in October focussed around hedgerow 1 and 2.

The proposed development will result in the loss of existing hedgerows on site and so based upon the available survey information is likely to result in a localised adverse impact upon foraging bats. This impact could potentially be compensated for through the creation of replacement hedgerows as part of the landscaping of the scheme. Whether sufficient hedgerow planting is being provided to compensate for that lost can be assessed through the use of the BNG metric.

### Lighting

To avoid any adverse impacts on bats resulting from any lighting associated with the Development. The Council's Ecologist recommends that a condition should be attached requiring any additional lighting to be agreed with the LPA.

### Barn Owls

The grassland habitats on site may offer potential for foraging barn owls and evidence of barn owl presence was recorded incidentally during the ecological surveys on site. No evidence of this species roosting on site was recorded during the surveys of the trees on



site. The Council's Ecologist advises that the proposed development may potentially have a minor impact upon barn owls due to the loss of potential foraging habitat.

#### Reptiles

Reptile species are not reasonable likely to be present or affected by the proposed development.

#### Hedgehogs and Brown Hare

Hedgehogs and Brown Hare are a priority species and hence a material consideration. No evidence of these species was recorded onsite, but the species may occur on site on a transitory basis. The Council's Ecologist considers that the proposed development poses a low risk to this species. To minimise the risk of these species being harmed during works on site, a condition is recommended to be attached to secure the implementation of measures in accordance with the Hedgehog and Brown Hare Mitigation measures detailed in paragraph 4.2.24 of the submitted Preliminary Ecological Appraisal and Biodiversity Net Gain Assessment prepared by ECUS dated September 2024.

#### Hedgerows

Hedgerows are a priority habitat and hence a material consideration. The proposed development will result in the loss of the existing hedgerows on site with a corresponding loss of biodiversity. Whether sufficient planting is being proposed to compensate for their loss can be assessed by means of the BNG metric discussed above.

#### Nesting Birds

If planning consent is granted standard conditions would be required to safeguard nesting birds.

### **10.13 Flood Risk/Drainage**

The site is located in Flood Zone 1 (lowest area of flood risk), nor are there extensive areas of surface water flood risk. There are one or two locations with potential for surface water flood risk but this is associated with natural depressions in the landform.

The submitted surface water drainage strategy proposes to capture surface water within each parcel and discharge it into the drainage system which was approved to serve phases 1 and 2 of the mixed-use development. The LLFA and United utilities raised no objections in principle to the and the proposed Drainage Strategy supporting Reserved Matters Approvals.

The LLFA acknowledge this site is part of a larger scheme at Maylands Park and elements of SuDS provision are included elsewhere within the designed scheme. However, it is considered that SuDS features should be provided within this residential site as part of the drainage system and could include rain gardens or tree pit planters in addition to all private parking spaces being permeable.

In addition, the LLFA have requested full hydraulic calculations for the drainage scheme and further information has been submitted by the applicant which is currently being considered. It is also noted that some Finished Floor levels (FFLs) shown for dwellings are not 150mm above all AOD as required. A planning condition is recommended to require the submission and approval of ground and first floor levels.

### **10.14 Air Quality**

Policy SE12 of the CELPS states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality.

SNP Policy T5 (Improving Air Quality) echoes these objectives and also set out the required details of Air Quality Assessments.

Air quality impacts have been considered within the air quality assessment submitted in support of the application. This also relates to the wider development on the site which includes the proposals for an 80-bed care home and retirement living development of 49 apartments.

The report concludes that a detailed assessment into the impacts of NO<sub>2</sub>, PM<sub>10</sub> and PM<sub>2.5</sub> during the operational phase is not required in accordance with EPUK and IAQM criteria based on the predicted development flows, and overall, the impact on local air quality will be not significant.

The Council's Environmental Protection Officer accepts the findings of the air quality assessment, but to ensure that local air quality is not adversely impacted for existing and future residents, conditions are recommended requiring the implementation of the residents travel plan and use of ultra-low emission boilers. In addition, electric vehicle infrastructure will be required to be provided on site in accordance with the specifications set out in The Building Regulations.

## **11. CIL REGULATIONS**

In order to comply with the Community Infrastructure Levy (CIL) Regulations 2010, it is necessary for planning applications with legal agreements to consider the issue of whether the requirements within the S106 satisfy the following:

- a) Necessary to make the development acceptable in planning terms;
- b) Directly related to the development; and
- c) Fair and reasonably related in scale and kind to the development.

It is considered that the contributions required as part of the application are justified meet the Council's requirement for policy compliance. All elements are necessary, directly relate to the development and are fair and reasonable in relation to the scale and kind of development. On this basis the scheme is compliant with the CIL Regulations 2010.

## **12. PLANNING BALANCE/CONCLUSION**

The proposed development would result in residential development located beyond the Nantwich Sandbach Settlement Boundary in conflict with policies PG6 of the CELPS and GS1 and H5 of the SBNP and the development plan as a whole . However, the Council is unable to demonstrate a five-year supply of housing and paragraph 11d of the NPPF is engaged.

The NPPF seeks to boost significantly the supply of housing unless the adverse impacts of doing so would significantly and demonstrably outweigh the benefits. This is with particular regard to directing development to sustainable locations, making effective use of land, securing well designed places and providing affordable homes, individually or in combination.

Disbenefits



- The proposed development would result in residential development with the open countryside located beyond the Nantwich Settlement Boundary
- loss of approved mixed-uses including employment within the Maylands Park development

### Benefits

- The proposal would result in the creation of 40 dwellings (30 % affordable) which will significantly contribute towards the 5-year housing land supply.
- The proposed development will have indirect economic benefits including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.
- The site is sustainably located given its location on the edge of a Key Service Centre with good accessibility to local services and facilities
- The development incorporates components and features of good design, although it is expected that further improvements will be made to southern part of site to address issues raised by the Design Officer. Given the urbanised context of the site in this edge of settlement location, this scheme would not be out of character with recent development in locality and at Maylands Park.
- Reduction of vehicle movements from those generated by commercial mixed uses of the approved “fallback position” (Maylands Park Phase 2 – mixed uses)
- Provision of an above-policy compliant level of POS provision resulting in additional social benefits
- the application site benefits from full consent for commercial development which remains extant and constitutes a fall-back position which should be given significant weight. The alternative development of the site for housing represents an effective use of land.

### Neutral

- The layout and design of the scheme would not harm residential amenity
- The development is considered to be acceptable in terms of its impact upon the highway network.
- The proposals do not result in any significant ecological impacts and is acceptable subject to the imposition of planning conditions
- The proposal would not result in any significant flood risk/drainage issues
- The proposal would not result in an unacceptable impact on air quality with mitigation secured through planning conditions.

To satisfactorily address the impact on local services/facilities, contributions towards education, healthcare provision and off-site sport/recreation will be secured through a S106 Agreement.

In summary, the development would significantly contribute towards the 5-year housing land supply and the adverse impacts would not significantly and demonstrably outweigh the benefits of the proposals when assessed against the policies within the NPPF. The proposed development would benefit from the presumption in favour of sustainable development which weighs heavily in support of the proposed development. Therefore, the application is recommended for approval.



**13. RECOMMENDATION**

**Approve subject to a Section 106 Agreement and the following conditions**

<b>S106</b>	<b>Amount</b>	<b>Trigger</b>
Education (primary/secondary/SEN)	£239,872.00	50% prior to Commencement of a dwelling, then 50% Prior to occupation 20 <sup>th</sup> dwelling (or 50% percentile dwelling)
Affordable Housing	30%  (tenure split of 8 rented units and 4 intermediate housing units ).	Not more than of 50% of open market dwellings (sale/rent) shall be occupied until all affordable units within have completed and made ready for immediate occupation and use.
Arrangements for transfer to management company of all areas of planting /landscaping, POS/incidental open space Childrens play space, allotments/orchards and ecological areas		Prior to first occupation of the development
Contribution to outdoor sports facilities	£56,316  The financial contribution is £1,564 per family dwelling or £782.27 per bed space in apartments (to a maximum of £1,564.54 per apartment). The funds would be required on commencement of development and used in line with the Council's adopted Playing Pitch and outdoor Sports Strategy.	50% prior to Commencement of a dwelling, then 50% Prior to occupation 20 <sup>th</sup> dwelling



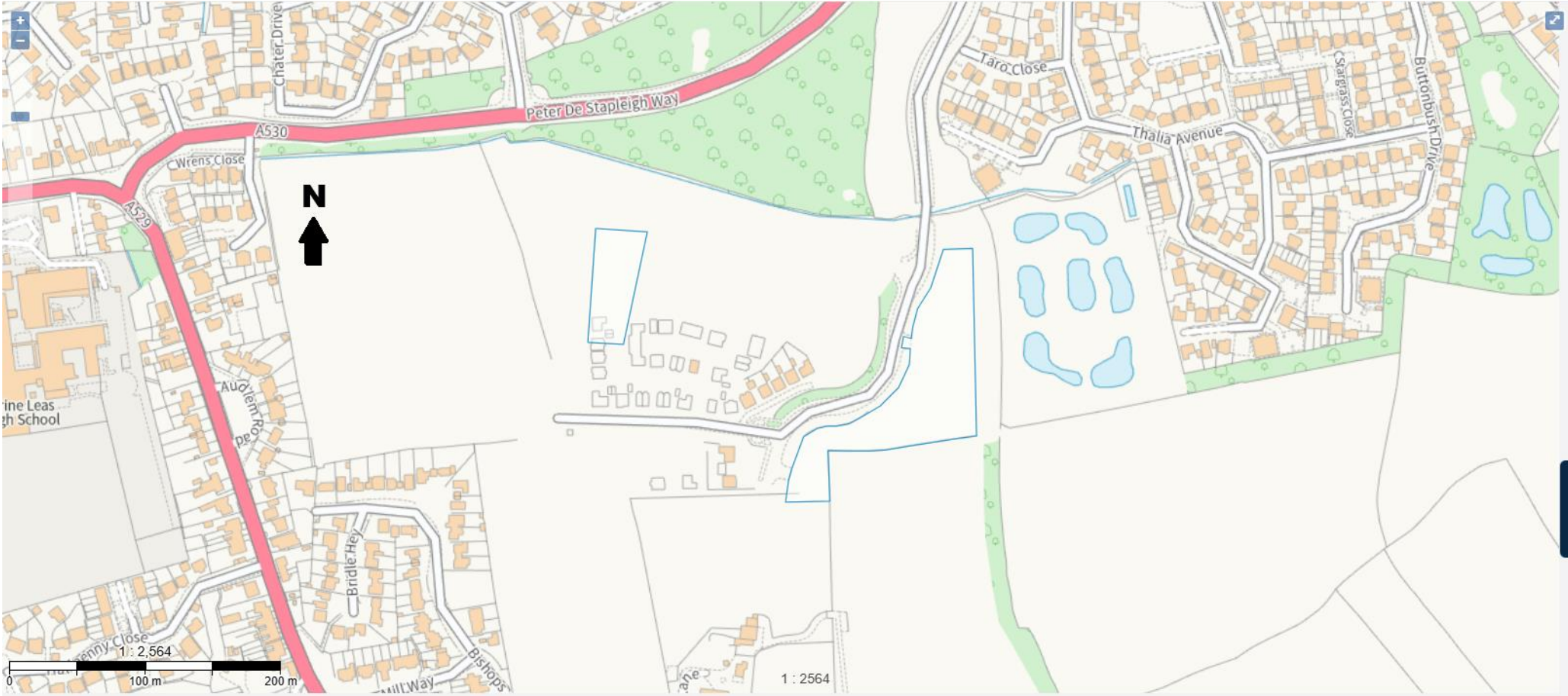
NHS Healthcare	<p>Financial contribution of £36,160 (£904 per dwelling/ apartment)</p> <p>Calculated on following basis.</p> <ul style="list-style-type: none"> <li>- Population served by surgery = 7,000</li> <li>- Equivalent number of dwellings (at an average of 2.3 persons per dwelling) = 3,043</li> <li>- Total cost of required primary care floorspace = £2,752,367</li> <li>- Contribution cost per dwelling = £904</li> </ul>	Prior to occupation 20 <sup>th</sup> dwelling
----------------	--	---

And the following conditions.

1. Commencement of development (3 years)
2. Development in accordance with approved plans
3. Details of facing materials
4. Details of hard surfacing treatments
5. Details of ground levels and finished floor levels
6. Submission of landscaping scheme
7. Implementation of landscaping
8. Details of Boundary treatment
9. Details for the provision of cycle storage and bin storage
10. Submission of Details for design of LAP
11. Submission of details of the main POS to include orchard, play and green gym items, short mown area for informal games, paths and seating.
12. Details for the provision of SuDS features to form part of drainage system
13. Provision of Ultra Low Emission Boilers
14. Implementation of Residents travel plan
15. Contaminated land – soil testing
16. Measures to deal with unexpected contamination
17. Implementation of Construction Environmental Management Plan (CEMP)
18. Implementation of measures to minimise the risk of harm to Hedgehog and Brown Hare during works on site
19. Safeguarding of nesting birds
20. Details of lighting to safeguard bats
21. Provision of ecological enhancement features

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.

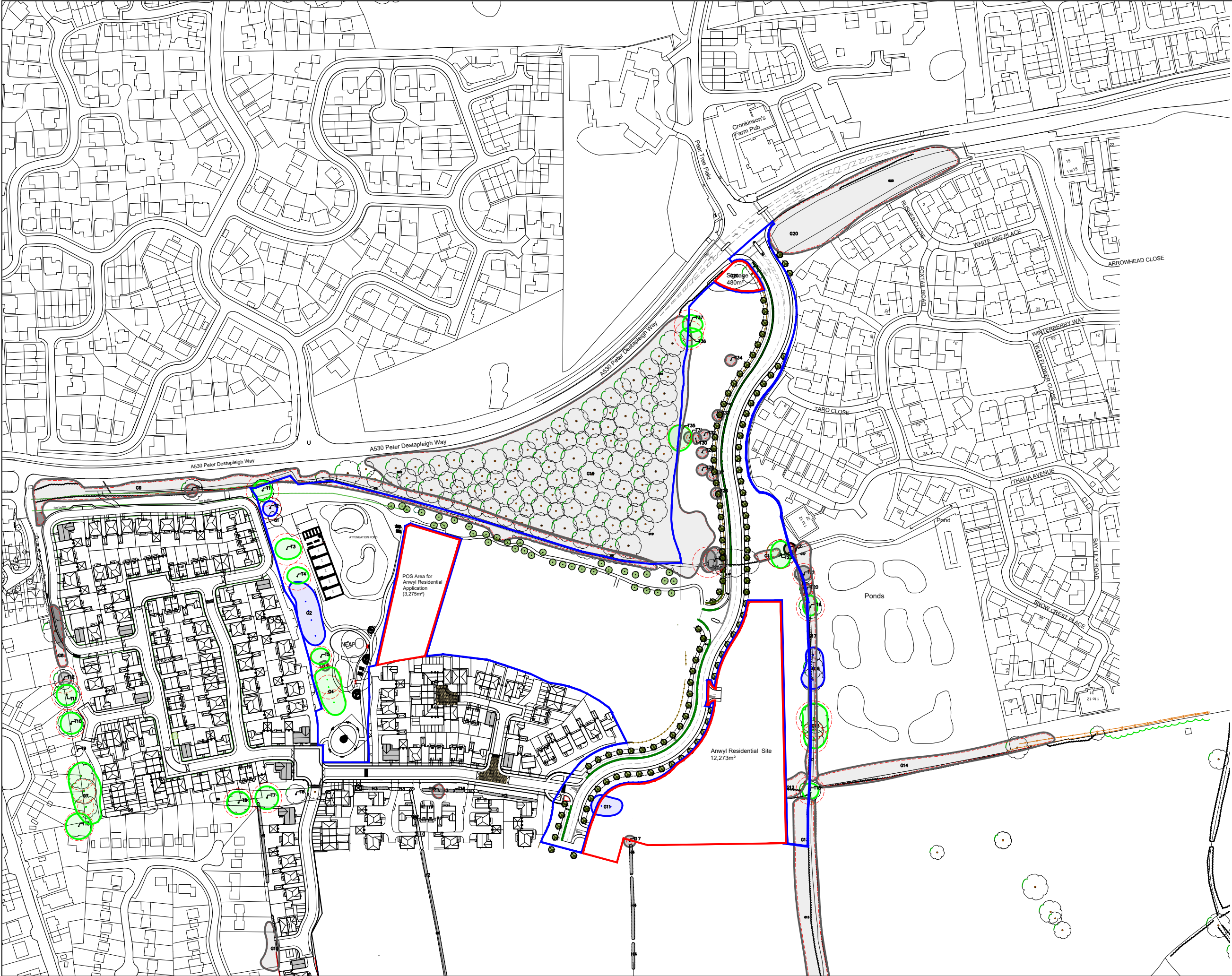






24/4242/FUL  
Land Off Peter De Stapleigh  
Way,  
Stapeley,  
Cheshire.





Revisions			
No.	Revision	Date	By
A	Temporary buffer zone removed	08.04.2024	MY
B	Layouts updated	23.04.2024	MY
C	Boundaries Amended	24.04.2024	MY
D	Layout & Application Boundaries Updated	31.05.2024	MY
E	Layout & Application Boundaries Updated	12.06.2024	MY
F	Layout & Application Boundaries Updated	24.06.2024	MY
G	Edge Red Updated, Scale Changed	08.08.2024	MY
H	Edge Blue Updated	27.09.2024	MY
J	Edge Blue Updated	02.10.2024	MY
K	Edge Blue Updated	08.10.2024	MY

KEY

Site Edge Red  
Area 16,028m<sup>2</sup>

Site Edge Blue



0 10 20 30 40 50 60 70 80 90 100  
SCALE - METRES

MÜLLER  
PROPERTY GROUP

Project

Maylands Park, Stapeley,  
Nantwich

Title

Site Location Plan 1:2500

Residential Scheme

Unit 23 / 24  
Beechfield House,  
Winterton Way,  
Lyme Green -  
Business Park,  
Macclesfield  
SK11 0LP

Telephone  
01625-509187  
E-Mail  
architects@  
bowermattin-young.co.uk  
Chartered Architects  
Surveyors

Scale 1:2500@A3	Date April 2024	Job No 23289	Original
Drawn By MY	Checked	Sequential No 501	Revision K
Category L	GIS/E Element		



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1:500 0 5 10 15 25m

# MAYLANDS PARK , STAPELEY - NANTWICH

## PLANNING LAYOUT



**Proposed Layout Key**

- Red Edge Boundary extracted from Bower Martin Layout - Gross Site Area - 3.032 acres / 1.22 ha
- 18 Plot Number
- Denote Affordable Housing refer to Affordable Housing layout for tenure
- Bin collection point
- Cycle storage. Details to be confirmed
- Location of M4(2) compliant house type - 14 No. units (30% provision)
- Location of M4(3) compliant house type - 3 No. units (6% provision)
- Existing trees to be retained. Survey provided by client
- Approved landscaping scheme along spine road provided by client
- Proposed toddler play area



ACCOMMODATION SCHEDULE								
Name	15	Bed	Storey	Unit No's	Unit ft'	ft'	Total	
Private Housing @ 70% (28)								
Carmel	CART	4 Bed	2.5	7	1552	10864		
Stapeley	STAP	3 Bed	2	1	1372	1372		
Charlton B	CHAR B	4 Bed	2	2	1314	2628		
Hampton - M4(2)	HAMP	4 Bed	2	2	1329	2658		
Marford - M4(2)	MARF	4 Bed	2	1	1329	1329		
Ainsdale - M4(2)	AINS	3 Bed	2	6	1109	6654		
Snowdon	SNOW	2 Bed	2.5	5	1060	5300		
Doddlestone B	DODL-B	3 Bed	2	2	1056	2112		
Burton	BURT	2 Bed	2	2	756	1512		
Affordable Housing @ 30% (12)								
Maxley - M4(3)	MAXL	2 Bed	2	3	866	2598		
Maxley	MAXL	2 Bed	2	1	866	866		
Disley - M4(2)	DISL	1 Bed gf	2	4	542	2168		
Disley	DISL	1 Bed ff	2	4	689	2756		
Grand Total:		40 Units			42817 ft²			
Gross Site Area:		1.23 ha			3.03 ac			
Site Statistics:								
SSR		0.07 ha			0.17 ac			
POS		0.07 ha			0.18 ac			
Nett Site Area:		1.09 ha			2.69 ac			
Gross Density:		32.60 Un/ha			13.19 Un/ac			
Nett Density:		36.79 Un/ha			14.89 Un/ac			
Gross Footage:		3242.18 m²/ha			14122.93 Un/ac			
Nett Footage:		3658.79 m²/ha			15938 ft²/ac			
*Note - All Areas Approx.								
Abbreviations								
Ac = Acres   ha = Hectares   ft² = Square Feet   m² = square   Un = units   SSR = Single Sided Road   POS = Public Open Space   Det = Detached   Apt = Apartment   Int = Integral   Sg = Single   Dbl = Double								

S	11.04.2025	Marford referenced on layout, roof alignment revised on plot 2	AE
R	08.04.2025	Roof configurations updated for plots 1-9 to reflect steel screen proposals	AE
P	01.04.2025	Alignment of sub-station revised	AE
N	27.03.2025	Layout revised following meeting with DH. More continuous frontage achieved on site entrances, pergola proposed over parking spaces, plot 3 house type revised, plots 30-35 now detached, angle of plots 25 / 26 revised	AE
M	24.02.2025	Layout amended to comments received 20.03.25 from BSS. Challenham's removed and replaced with Carmel's, gaps increased between plots 24-27, parking arrangement revised for plots 1-8inc.	AE
L	17.03.2025	Layout amended to address comments received from client dated 17.03.25	AE
K	14.03.2025	Layout revised to accommodate comments received from client 13.03.2025	JB
J	05.03.2025	Layout revised to accommodate comments received from CEC	AE
H	01.10.2024	Schedule of accommodation updated to comments received from client dated 01.10.2024	JB
G	20.09.2024	Proposals updated to comments received from client dated 20.09.2024	JB
F	19.09.2024	Layout revised to reduce the overall numbers to 40 units.	AE
E	30.07.2024	Schedule of accommodation updated	AE
D	17.07.2024	Proposals updated to comments received from client dated 17.07.2024	JB
C	09.07.2024	Drives to plots 39 & 40 repositioned away from the southern boundary as requested by RB 09.07.24	AE
B	13.05.2024	Proposals updated to latest Layout	JB
A	19.04.2024	First Issue	AE
Rev.	Date	Description	By

Client: **ANWYL**  
thoughtful homes

Project: **MAYLANDS PARK  
STAPELEY, NANTWICH**

Drawing Title: **PLANNING LAYOUT**

Drawn by: **AP-E** Checked by: **...** Date: **19.04.24**

Status: **PRELIMINARY** Scale @ A1: **1:500**

Job no.: **AH170** Dwg no.: **PL02** Rev.: **S**

**astle planning & design**  
The Steam Mill,  
Steam Mill Street,  
Nantwich,  
CH3 5AN

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**LEGEND**

**SOFT LANDSCAPE**

- Existing Trees to be Retained
- Existing Trees to be Removed
- Proposed POS Trees**  
Trees to be planted as 16-18cm, Extra Heavy Standard, 4.5-6m high with 2m clear stem. Trees to be secured with underground guying system.
- Proposed Medium Size Ornamental Trees**  
Trees to be planted as 14-16cm girth, Extra Heavy Standard, 3.5-4m high. Trees to be staked and secured with suitable rubber ties.
- Proposed Small Ornamental Trees**  
Trees to be planted as 10-12cm girth or 50L containers, 2-3m high and secured with single stake and suitable rubber ties.
- Proposed Feature Trees**  
Feature tree with vibrant autumn colour. Trees to be planted as 20-25cm girth, Semi-mature, 4.5-5m high. Trees to be planted with a double timber stake secured with a rubber tree tie.
- Proposed Ornamental Hedgerows**  
Evergreen hedgerows to be planted in 10L containers at a rate of 3-4 per lin. metre. Typical species: *Fagus sylvatica*, *Photinia x fraseri* 'Red Robin'
- Proposed Native Hedgerows**  
Evergreen hedgerows to be planted in 10L containers, double staggered, 300mm centres, at a rate of 5 per lin. metre.
- Proposed Instant Hedge**  
Instant evergreen hedge, 1m trough 140-160cm high. Typical species: *Prunus lusitanica*
- Proposed Shrub Planting**  
Ornamental shrub planting, to be planted in 3-4L containers at 3-4 p/m<sup>2</sup>, and enhanced by feature specimens in 10-20L pots.
- Proposed Native Shrub Mix**  
To be planted as bare root stock, 60-80cm, at 2p/m<sup>2</sup>, and protected with spiral guards. To be planted in groups of 3-5 plants.
- Proposed Wildflower Meadow**  
To be Emorsgate EM8 Meadow Mixture, supplied by Emorsgate or similar approved. Including 80% of ornamental grasses and 20% of wildflowers. Sowing rate 4/gm<sup>2</sup>.
- Proposed Amenity Grass**  
Front gardens to be turfed.  
Back gardens to client specification.  
Public Open Space to be seeded

**BOUNDARY TREATMENT**

- Proposed Cheshire Railing, 1.2m high**  
from Suddenstrike fencing or similar approved
- Proposed Railing**  
1m high bow-top steel fencing by Playdale or similar approved.

**HARD LANDSCAPE**

- Proposed Rubber Mulch play surfacing**  
Jungle Mulch in Forest Green and Rustic by Playsmart or similar approved

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  - This drawing is to be read in conjunction with all relevant Architects', Engineer's, Specialists, Bills of Quantities and Specifications.
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  - All dimensions are in millimetres unless stated otherwise, for the purposes of construction this drawing must not be scaled and only written dimensions used. Written and scaled dimensions to be checked on site, any discrepancies reported prior to work commencing, IF IN DOUBT PLEASE ASK.
  - All work and materials are to be in accordance with the relevant British Standards and Code of Practice.
  - All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.

REVISION NOTES			
Rev	By	Description	Date
E	RN	Updated play area as per latest layout	10.04.25
D	RN	Updated as per latest layout; addition of Instant hedge near P6; addition of <i>Fagus sylvatica</i> species in hedgerow legend as per client comments.	08.04.25
C	RN	Addition of Play area as per Client Comments	03.03.25
B	EO	Updated in line with latest site layout	02.10.24
A	TS	Added Cheshire railing as per comments	30.07.24

Client  
**Anwyl Homes**

Project  
**Maylands Park, Stapeley, Nantwich**

Description  
**Landscape Masterplan**

Status  
**For Approval**

Scale @ A2  
**1:500**

Job number  
**4706**

Drawn  
**TS**

Checked  
**MW**

Drawing number  
**101**

Date  
**26.07.24**

Revision  
**E**

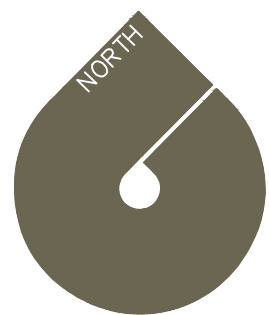
**tpm landscape**  
chartered landscape architects

address: 4th Floor Studio 10 Little Lever St Manchester M1 1HR  
tel: 0161 235 0600 fax 0601 email info@tpmlandscape.co.uk



# MAYLANDS PARK , STAPELEY - NANTWICH

## AFFORDABLE HOUSING LAYOUT



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1:500 0 5 10 15 25m

**Affordable Housing Key**

Affordable / Social Rent Housing

Affordable Home Ownership Housing

**References:**

Site Detail / Red Edge - extracted from Carehome & Residential Layout drawing dated 2024.05.31 provided by Bower Martin.

**General Notes**

This drawing needs to be read in conjunction with the following plans;

- Planning layout
- Landscaping Layout



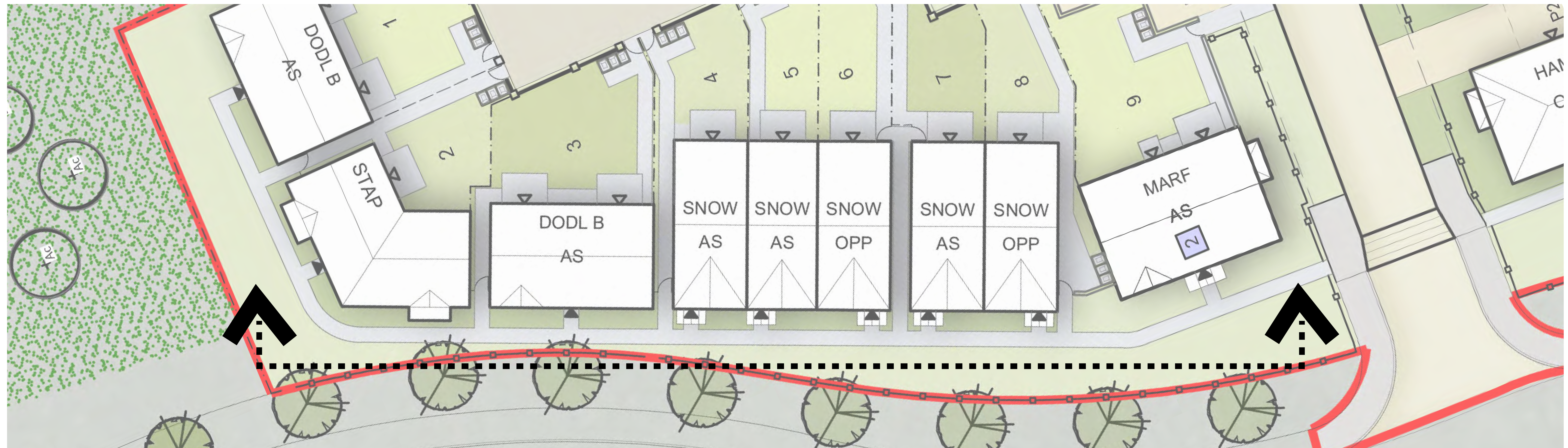
Ponds

ACCOMMODATION SCHEDULE							
Name	15	Bed	Storey	Unit No's	Unit ft²	ft²	Total
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31.03.2025	Proposals updated to latest layout	AE	
08.10.2024	Tenures added to layout	AE	
02.10.2024	Schedule of accommodation updated	AE	
23.08.2024	Proposals updated to latest layout	JB	
17.07.2024	Proposals updated to latest layout	JB	
10.07.2024	Proposals updated to latest layout	JB	
20.06.2024	Proposals updated to latest layout	JB	
17.05.2024	First Issue	JB	
Rev	Date	Description	By
Client			
Project	MAYLANDS PARK STAPELEY, NANTWICH		
Drawing Title	AFFORDABLE HOUSING LAYOUT		
Drawn by	AP-E	Checked by	...
Status	PRELIMINARY	Scale @ A1	1:500
Job no.	AH170	Dwg no.	AF01
		Rev.	H
		Astle Planning & Design Limited The Steam Mill, Steam Mill Street, Onestor, CH3 5AN	
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Illustrative Street Scene plots 2 - 9









# Character Area Plan

Gateway Character Area

Maylands Park Character Area

Ponds





# Character Area Plan

Gateway Character Area

Ponds







Front Elevation



Side Elevation

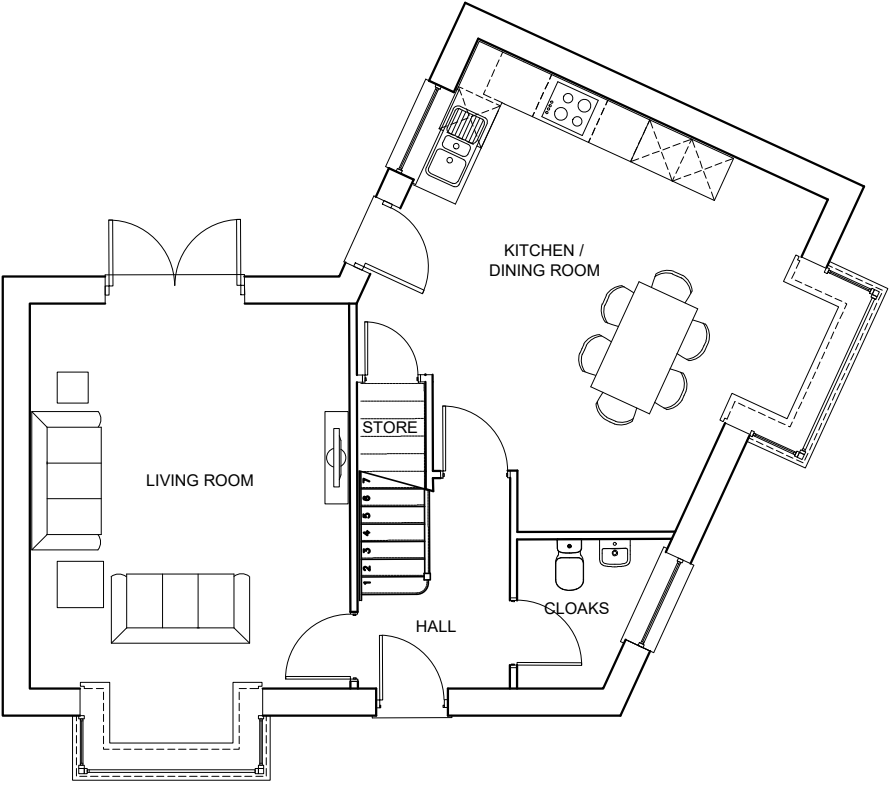


Rear Elevation

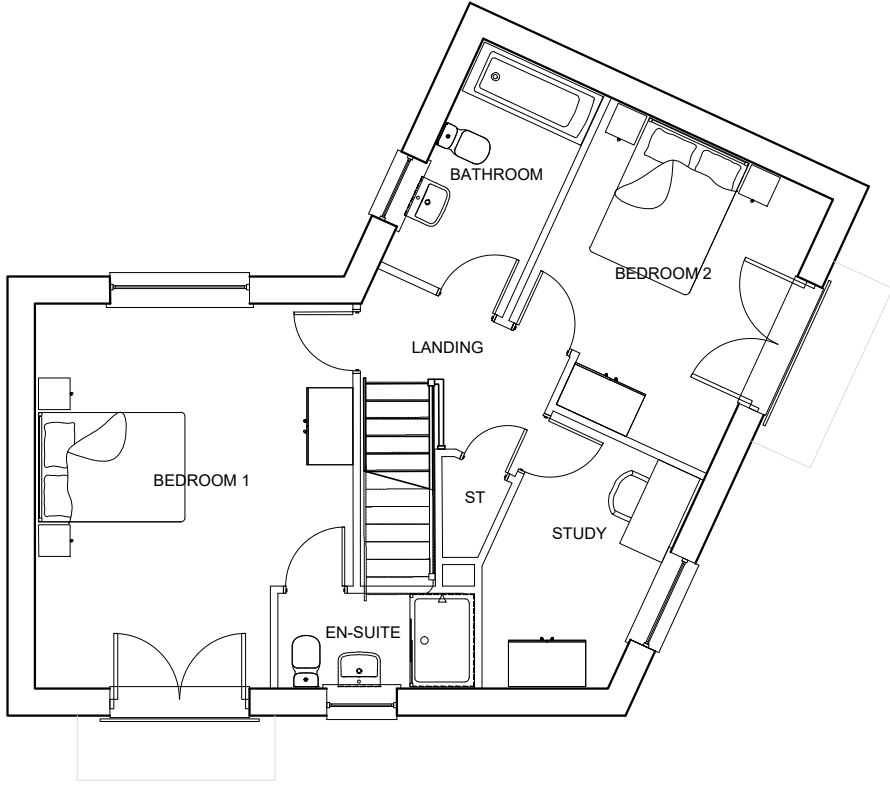


Side Elevation





Ground Floor



First Floor

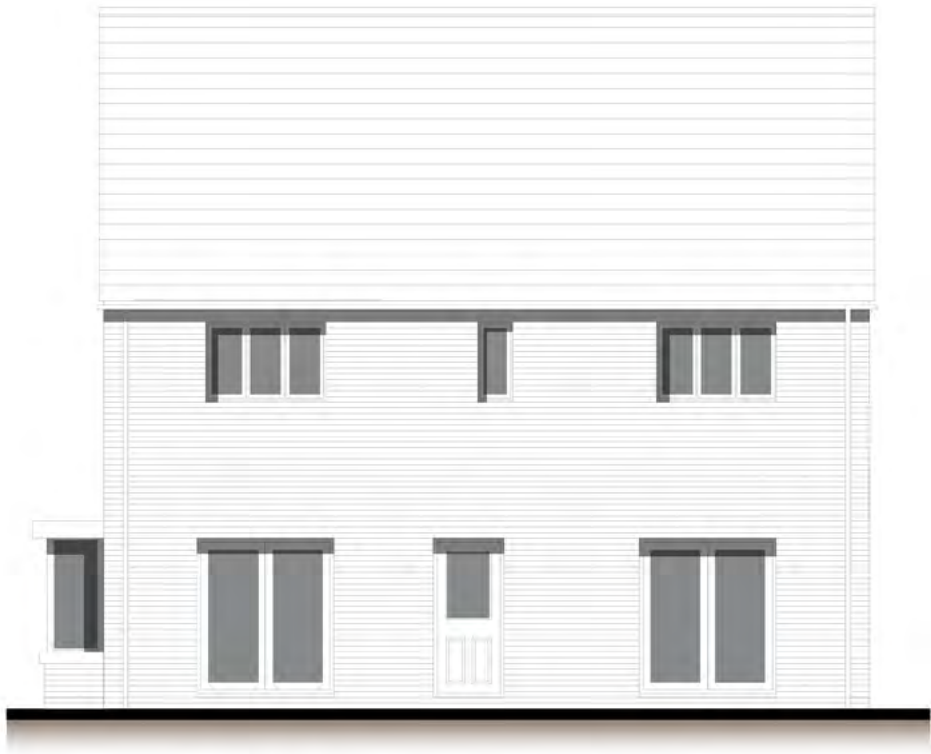




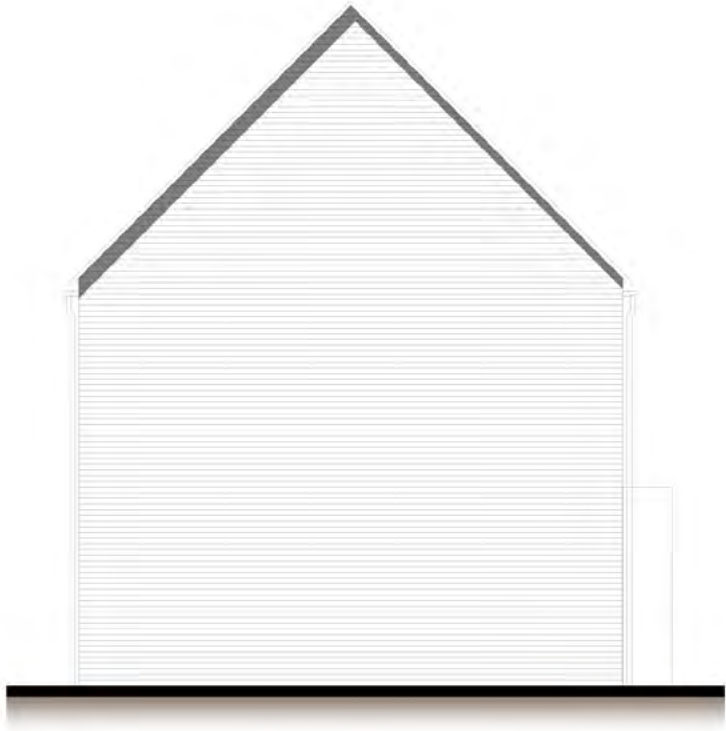
Front Elevation



Side Elevation

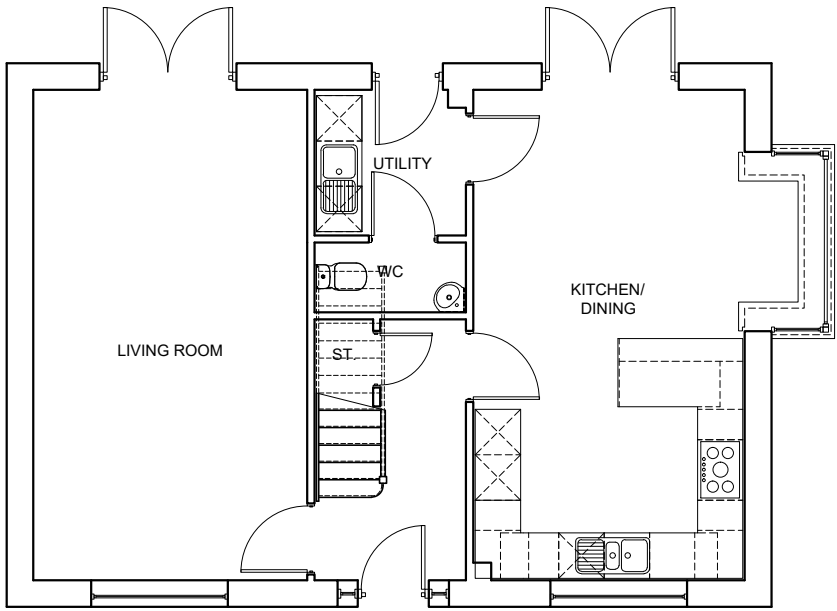


Rear Elevation

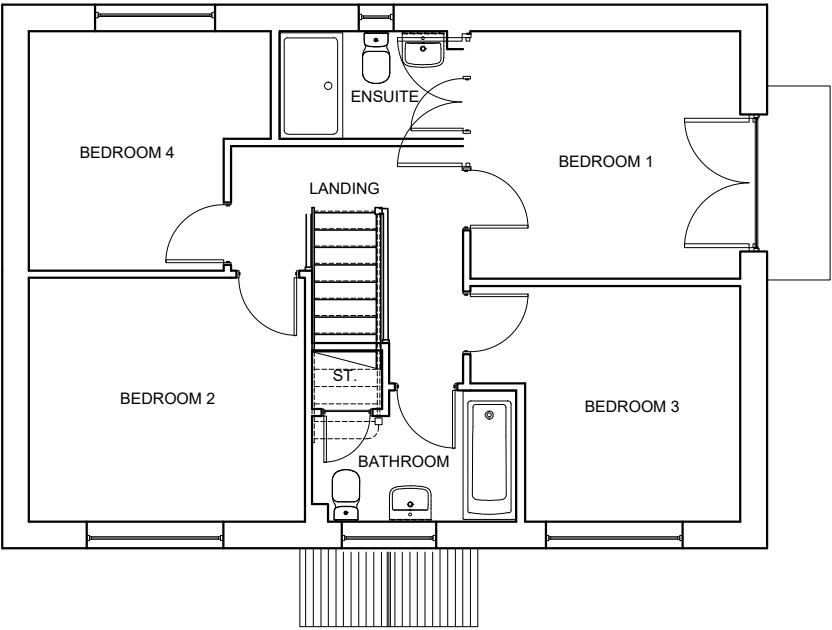


Side Elevation





Ground Floor



First Floor

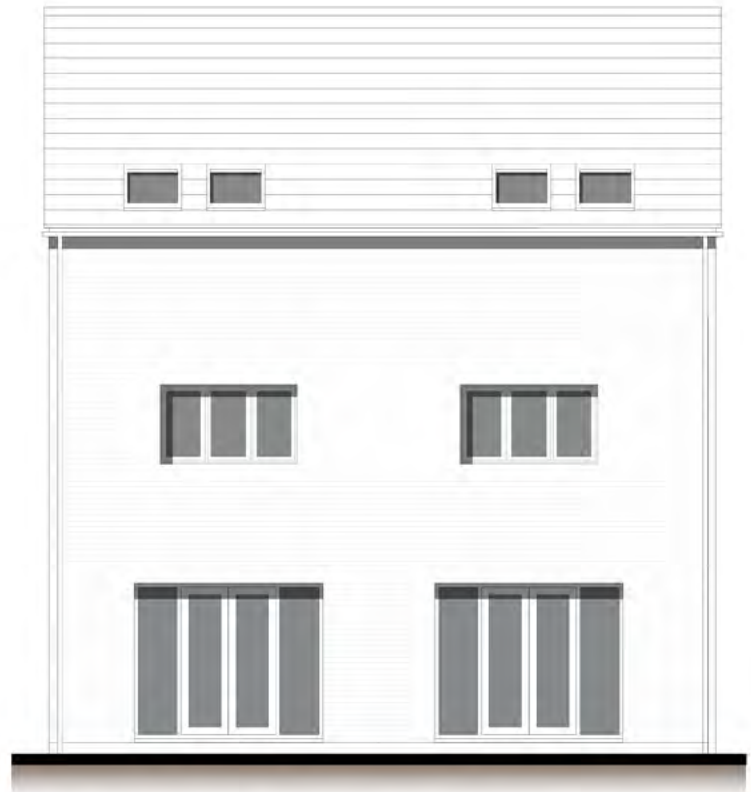




Front Elevation



Side Elevation

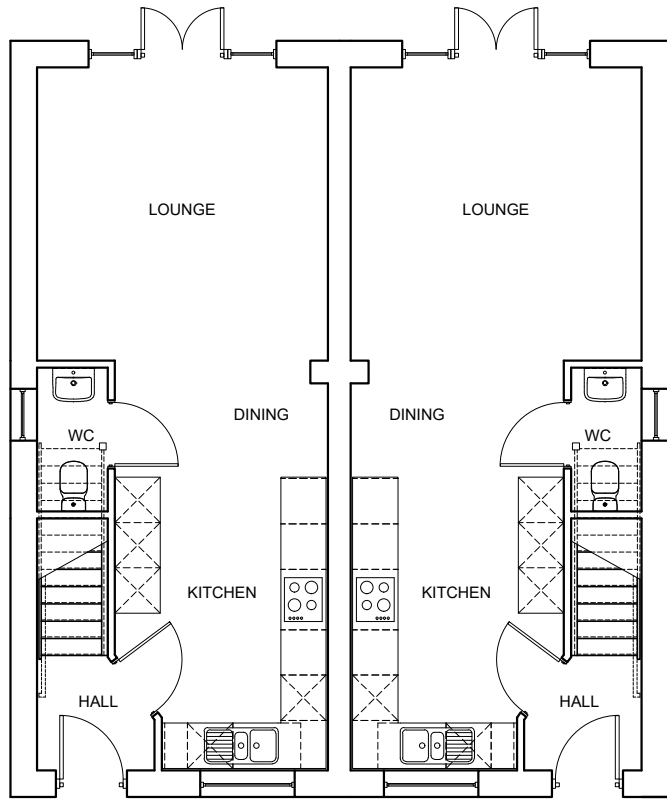


Rear Elevation

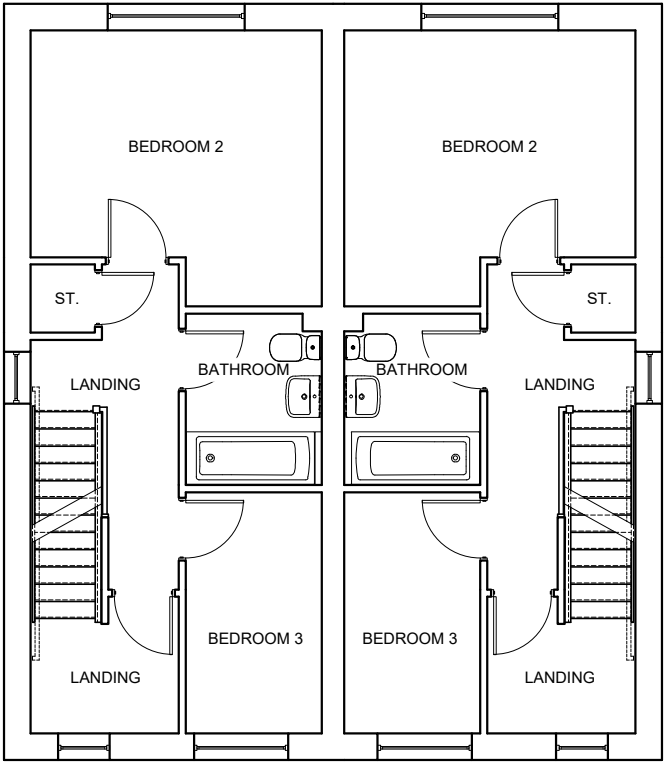


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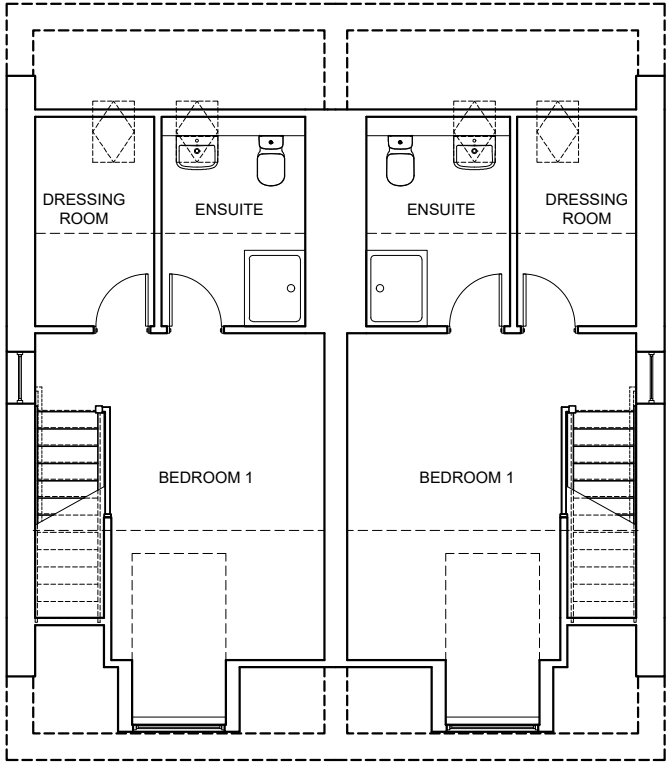




Ground Floor



First Floor



Second Floor

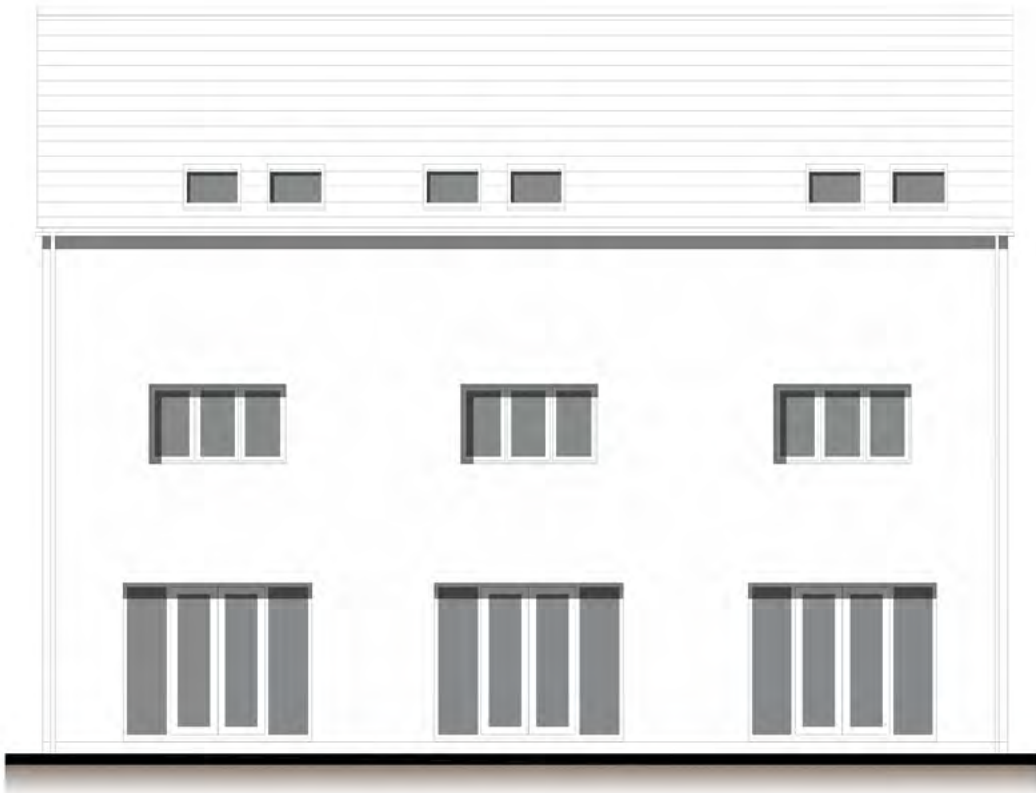




Front Elevation



Side Elevation

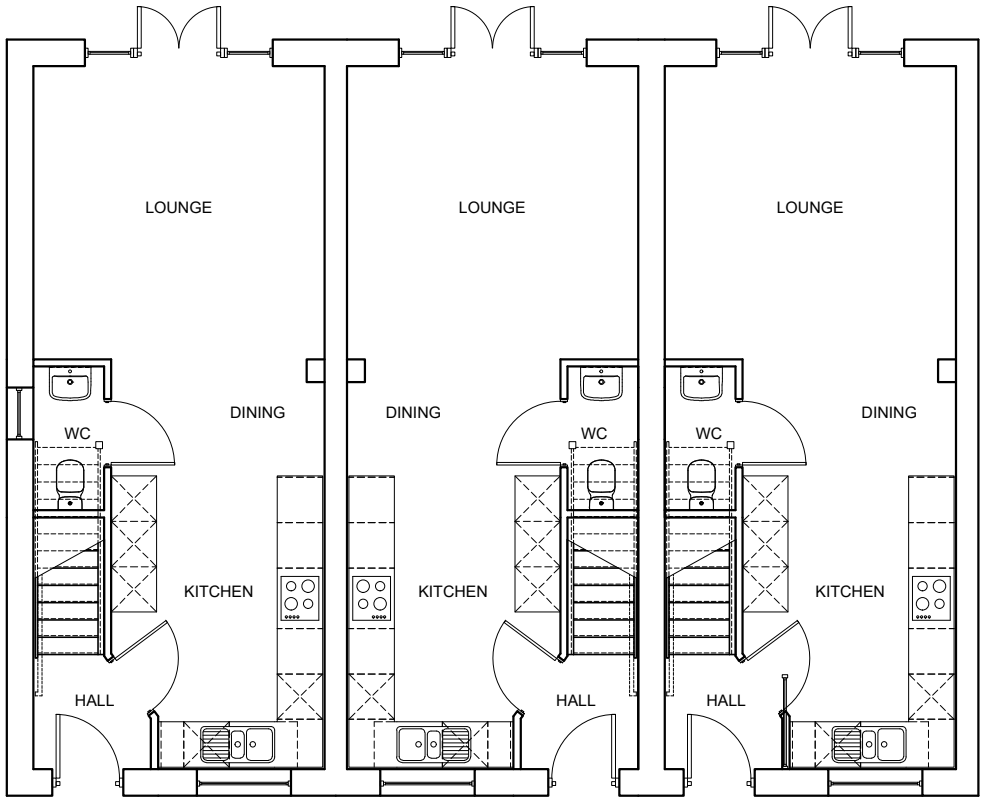


Rear Elevation

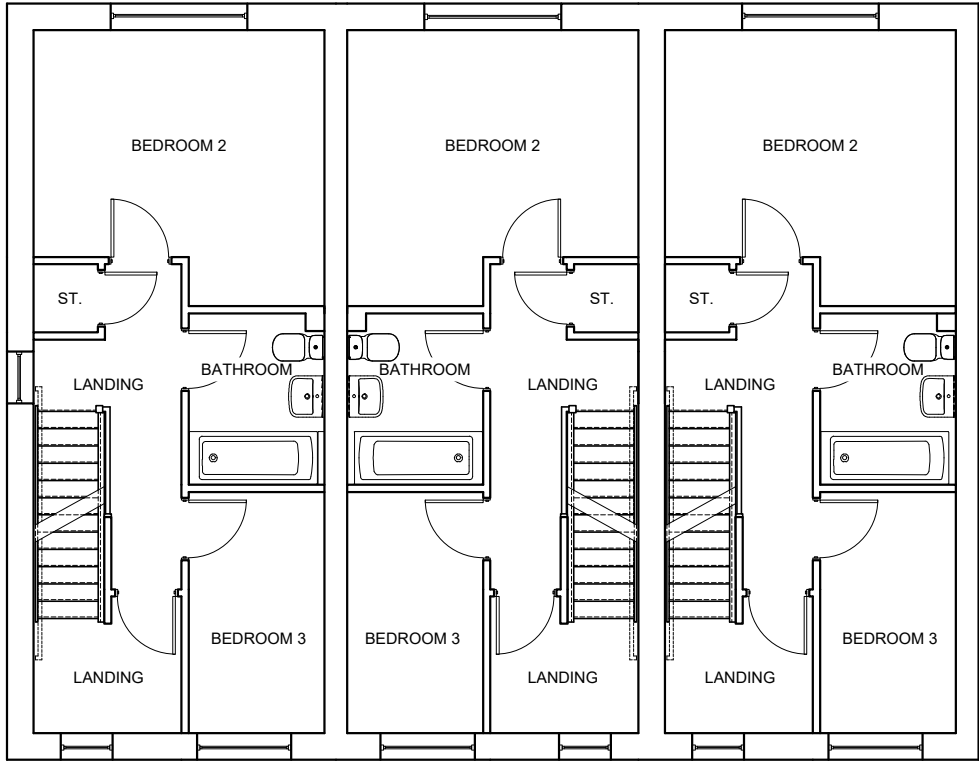


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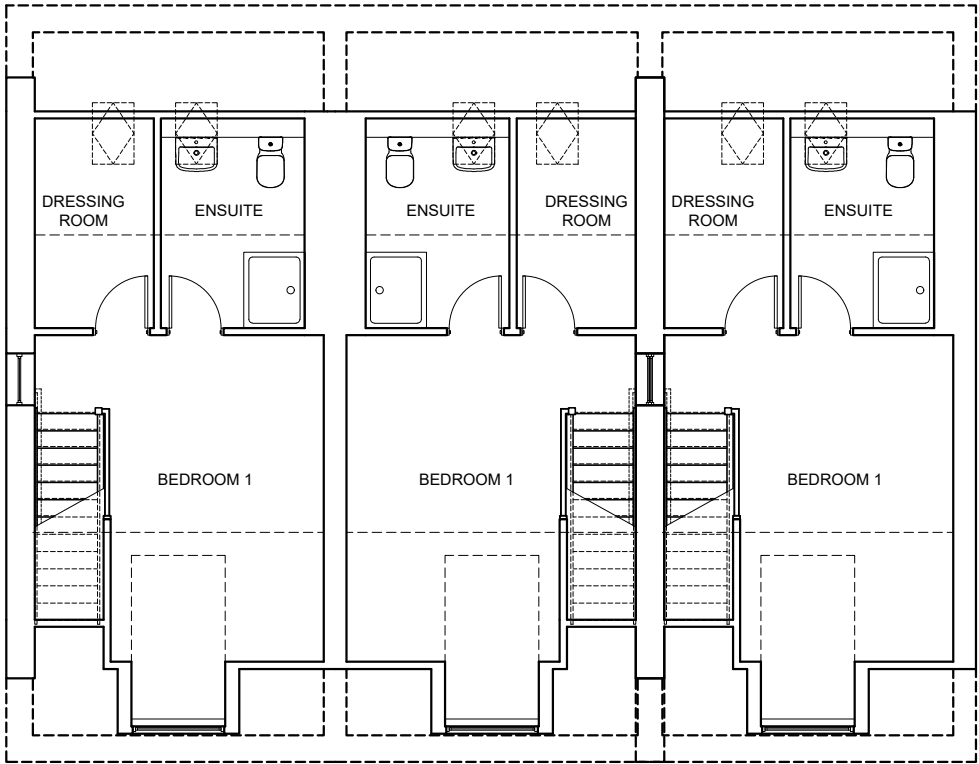




Ground Floor



First Floor



Second Floor

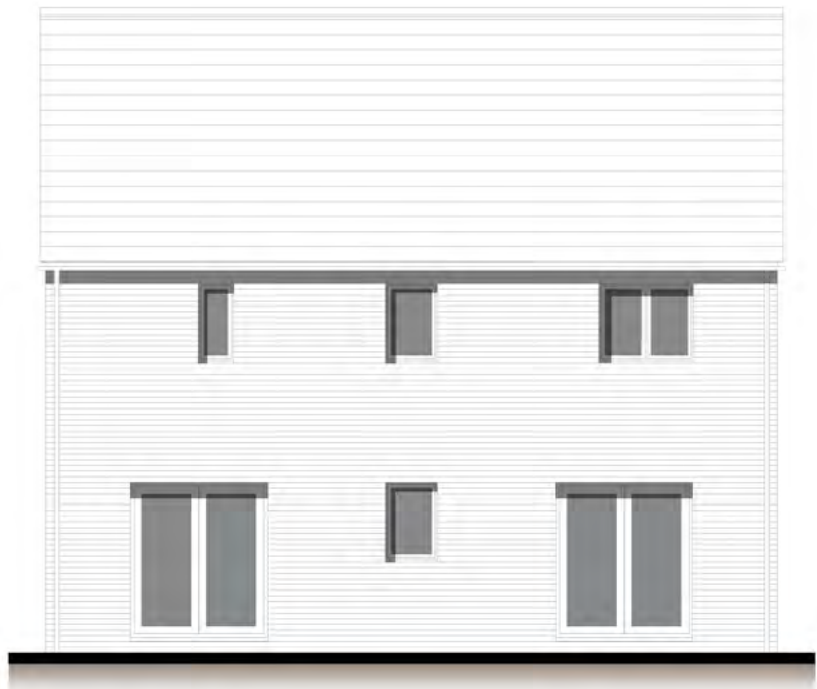




Front Elevation



Side Elevation

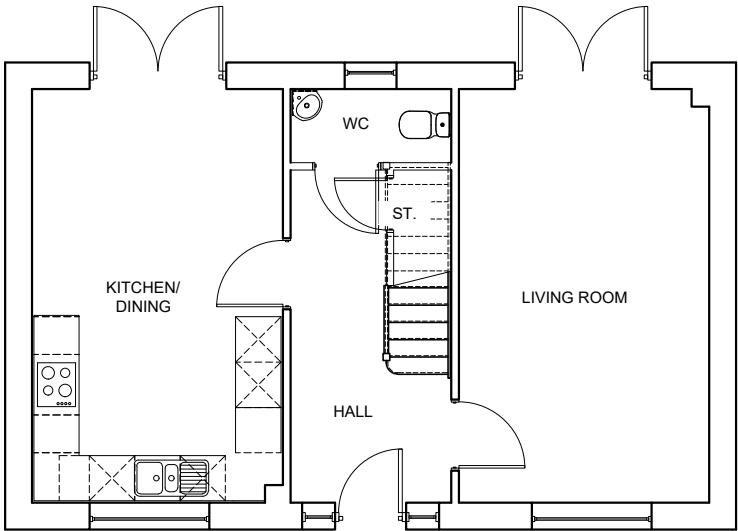


Rear Elevation

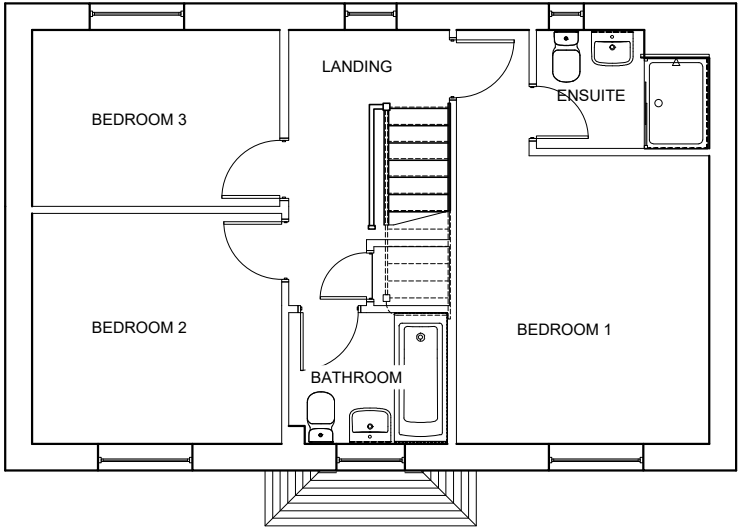


Side Elevation





Ground Floor



First Floor



# Character Area Plan

Maylands Park  
Character Area

Ponds

Page 116

# Character Area Plan

Maylands Park  
Character Area

Ponds

Page 116

# Character Area Plan

Maylands Park  
Character Area

Ponds

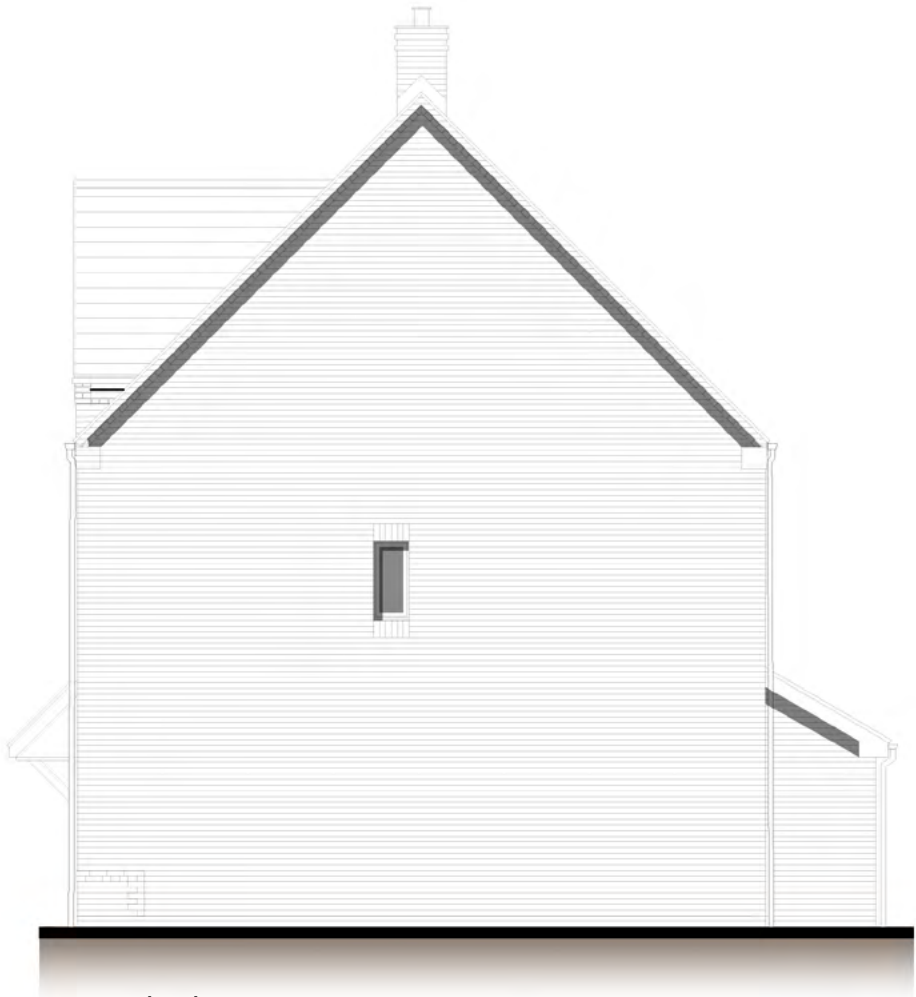
Page 116

The plan shows a large, irregularly shaped area outlined in red, which is the Maylands Park Character Area. Within this area, there is a yellow dashed line outlining a specific sub-area. The plan is divided into several numbered sections (1-40) and includes labels for various facilities like 'HAMP', 'CART', 'DISL', 'CARET', 'AIS', 'BUT', 'SIN', 'P3', 'P4', 'P5', 'P6', 'P7', 'P8', 'P9', 'P10', 'P11', 'P12', 'P13', 'P14', 'P15', 'P16', 'P17', 'P18', 'P19', 'P20', 'P21', 'P22', 'P23', 'P24', 'P25', 'P26', 'P27', 'P28', 'P29', 'P30', 'P31', 'P32', 'P33', 'P34', 'P35', 'P36', 'P37', 'P38', 'P39', 'P40'. The plan also shows a road network, including a road labeled 'T16', and a series of ponds on the right side. A red line outlines the boundary of the Maylands Park Character Area, and a yellow dashed line outlines a specific sub-area within it. The plan is oriented with North at the top.

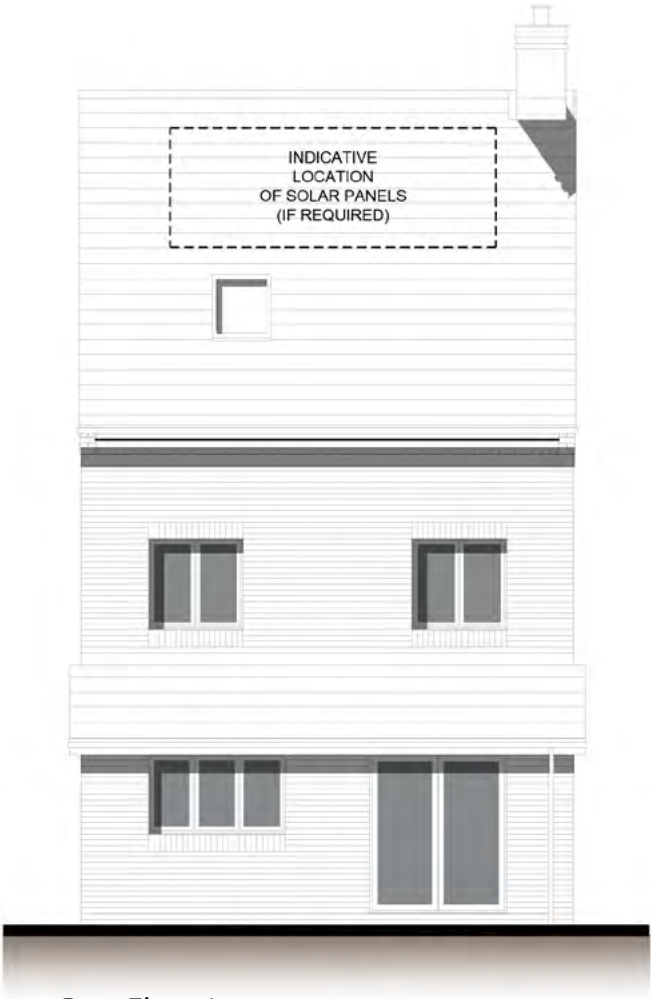




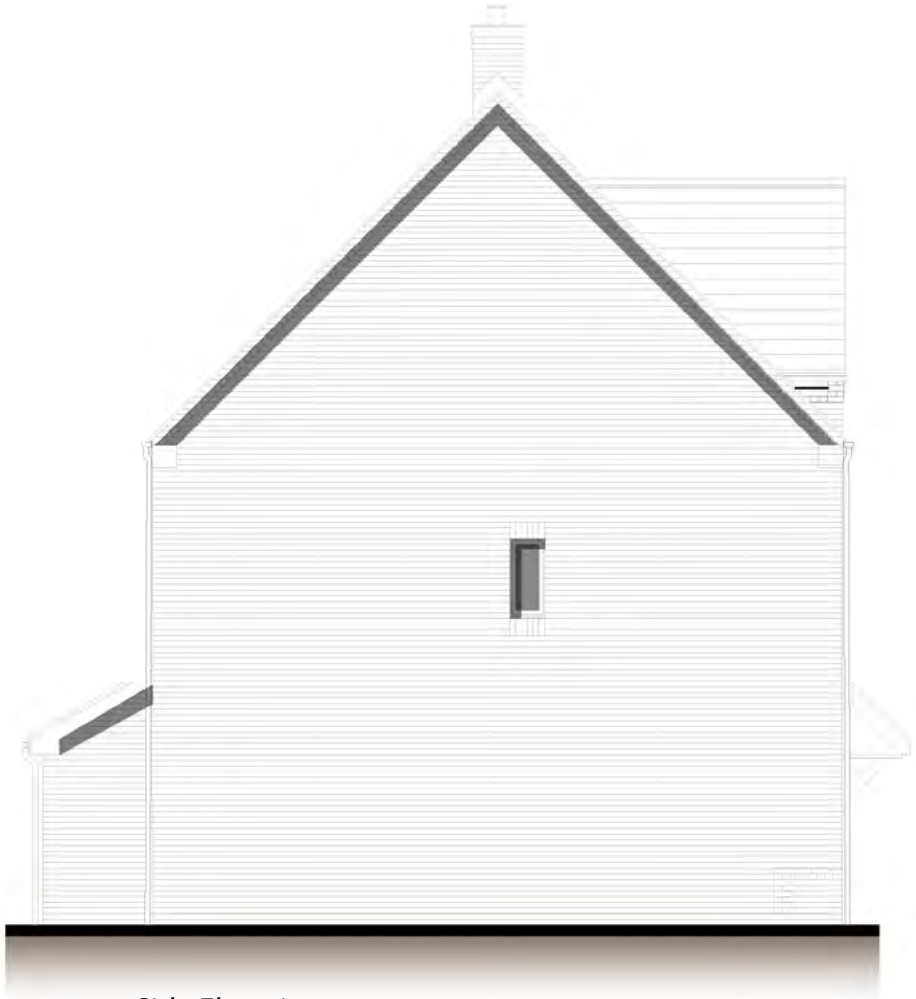
Front Elevation



Side Elevation

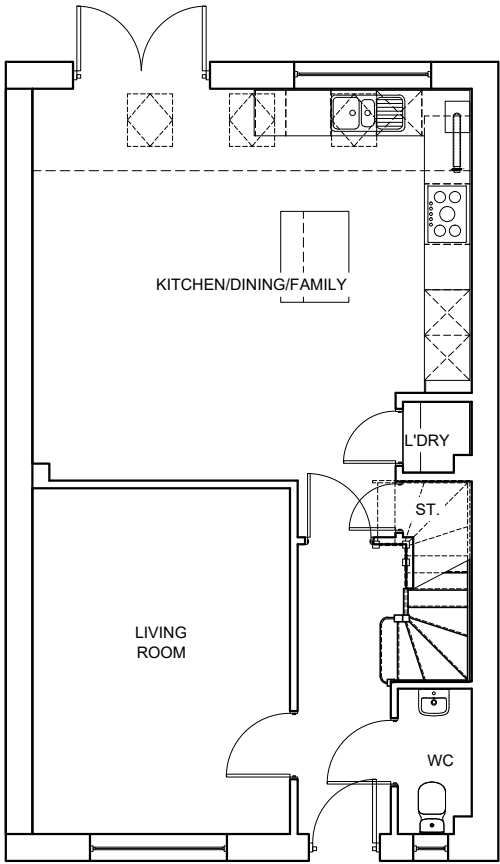


Rear Elevation

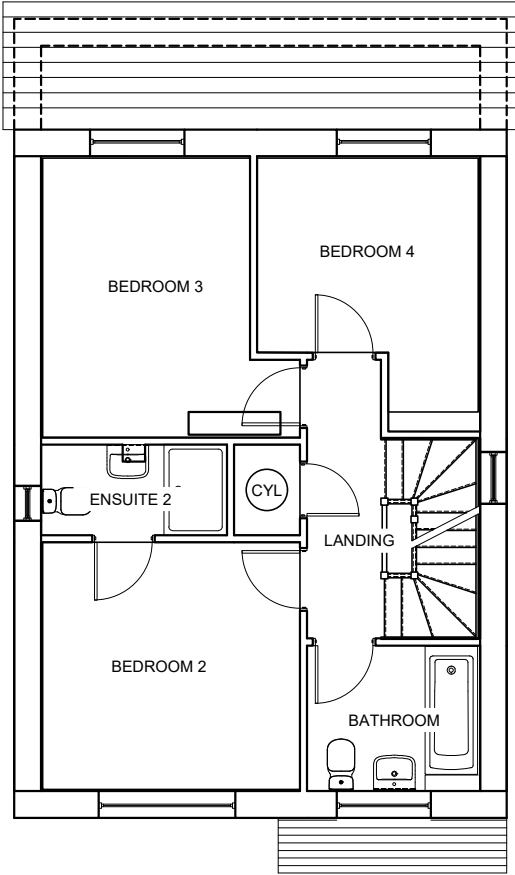


Side Elevation

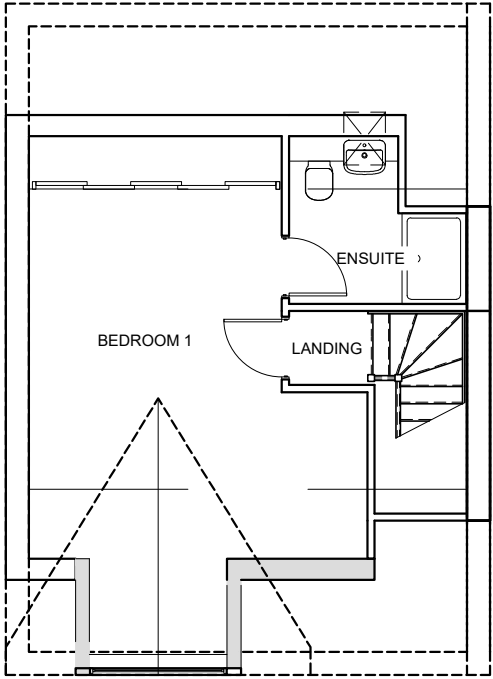




Ground Floor

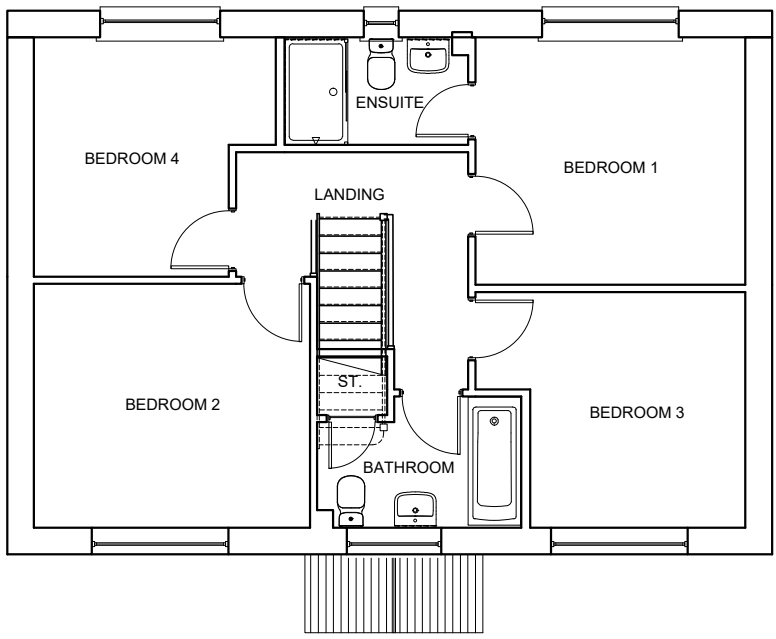


First Floor



Second Floor





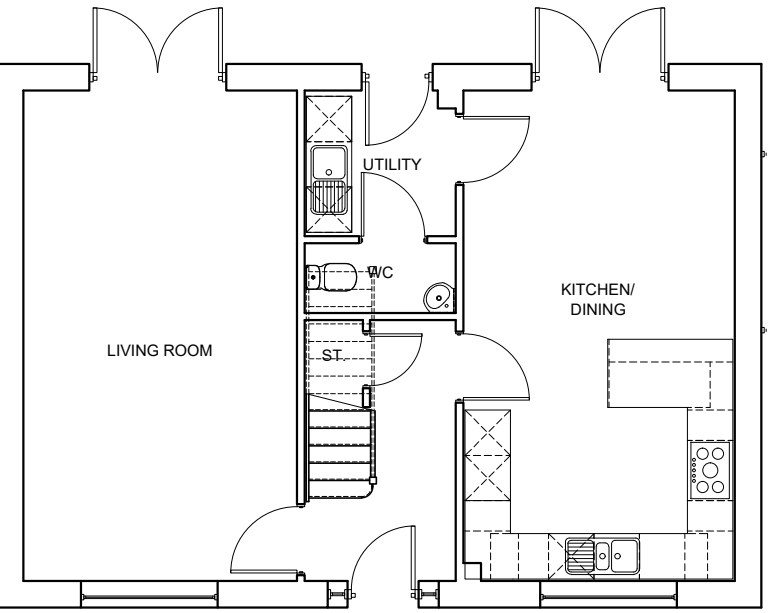
First Floor



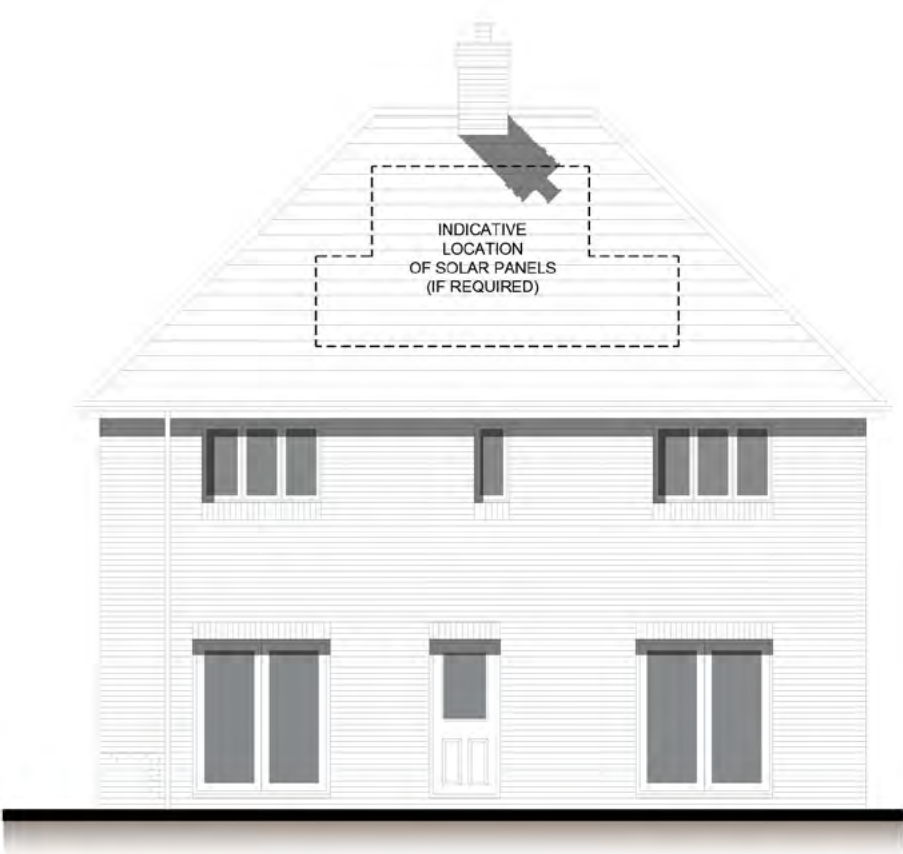
Front Elevation



Side Elevation



Ground Floor

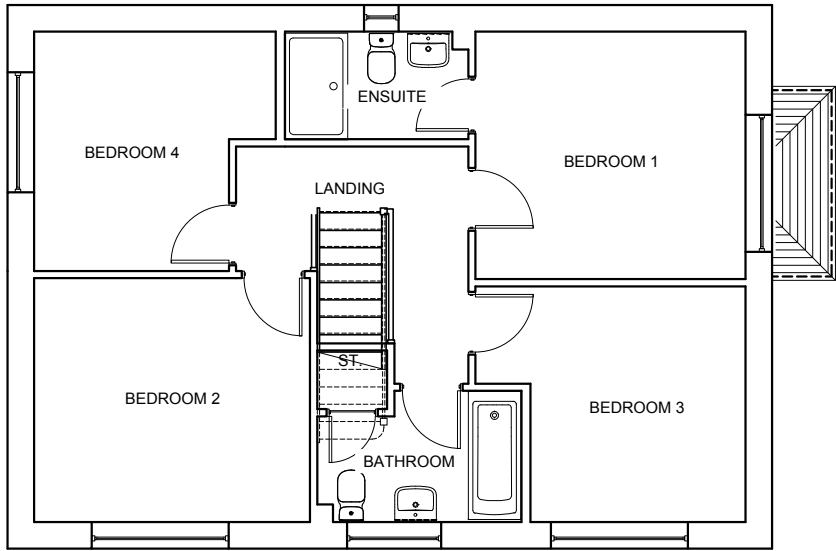


Rear Elevation



Side Elevation





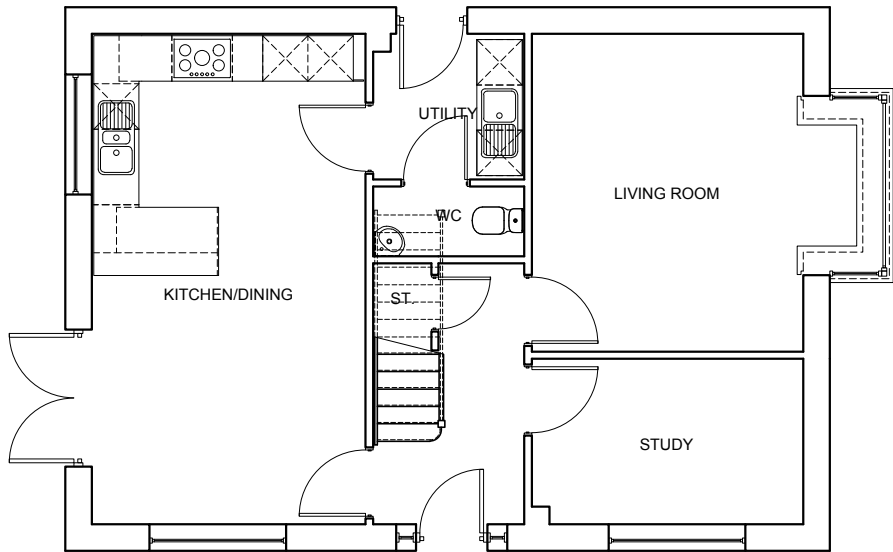
First Floor



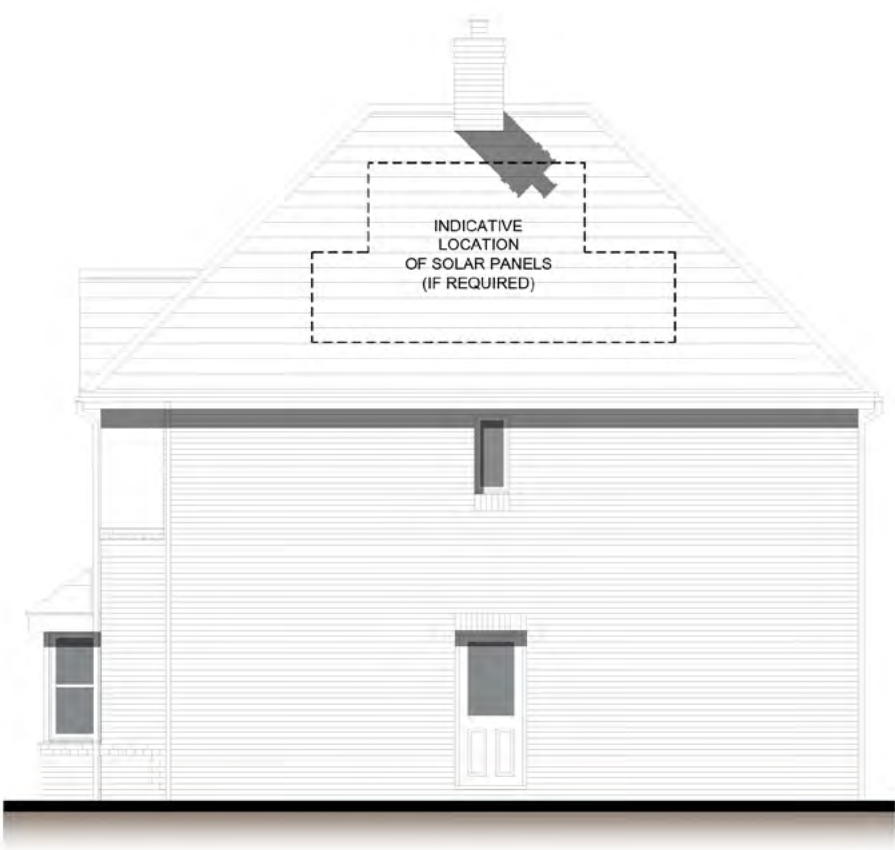
Front Elevation



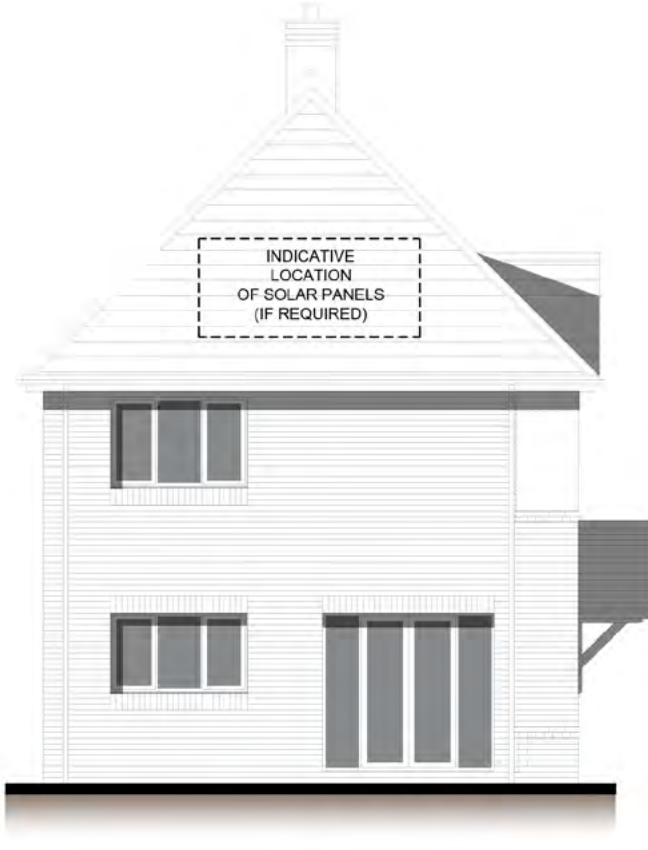
Side Elevation



Ground Floor

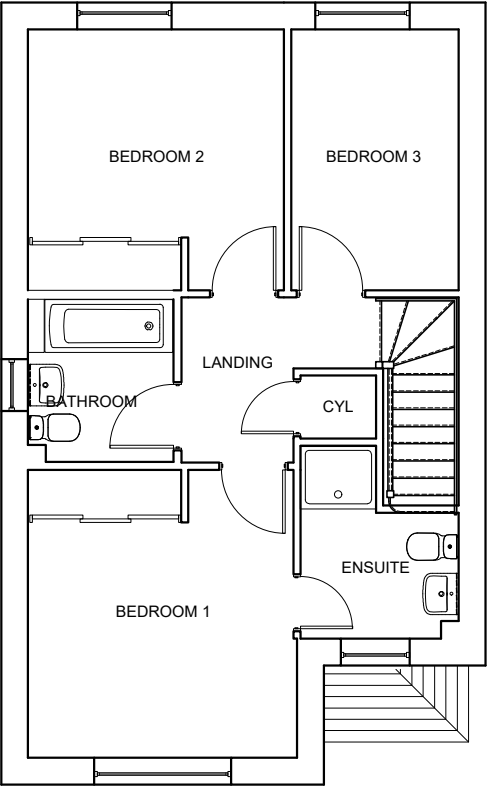


Rear Elevation



Side Elevation

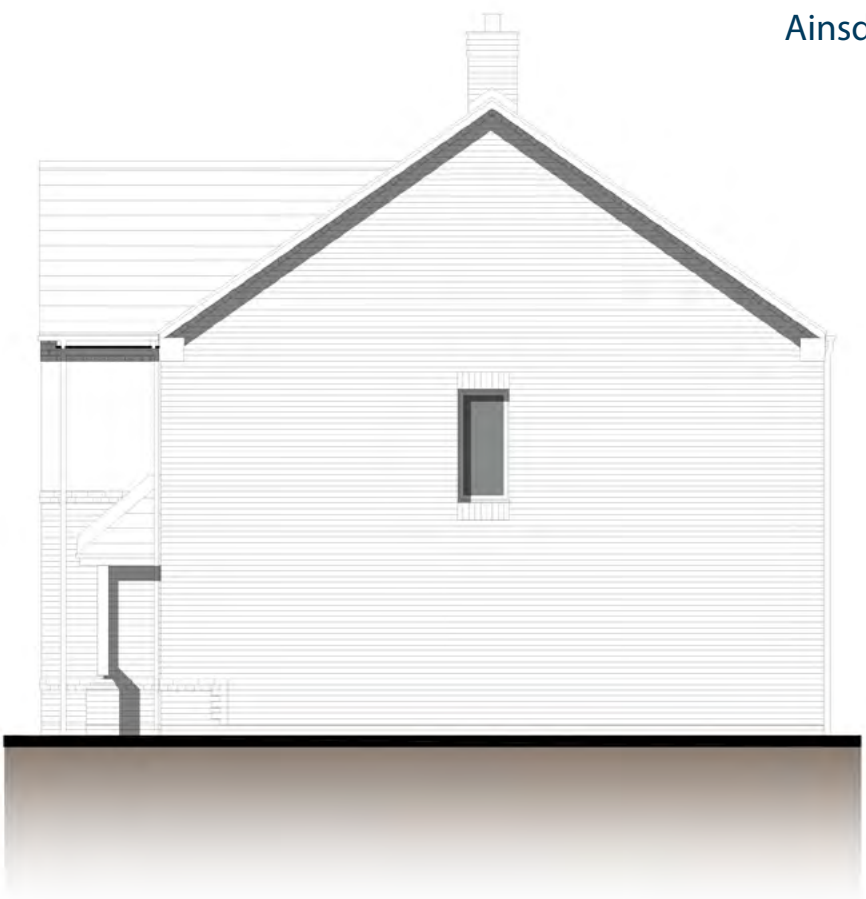




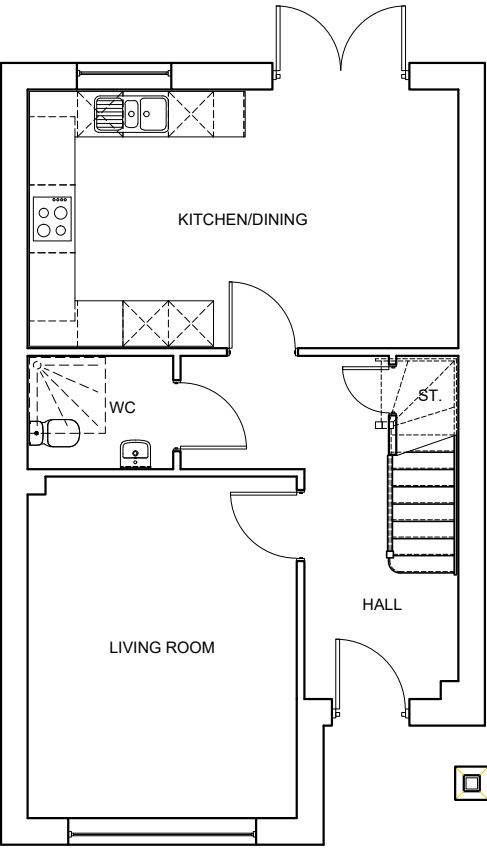
First Floor



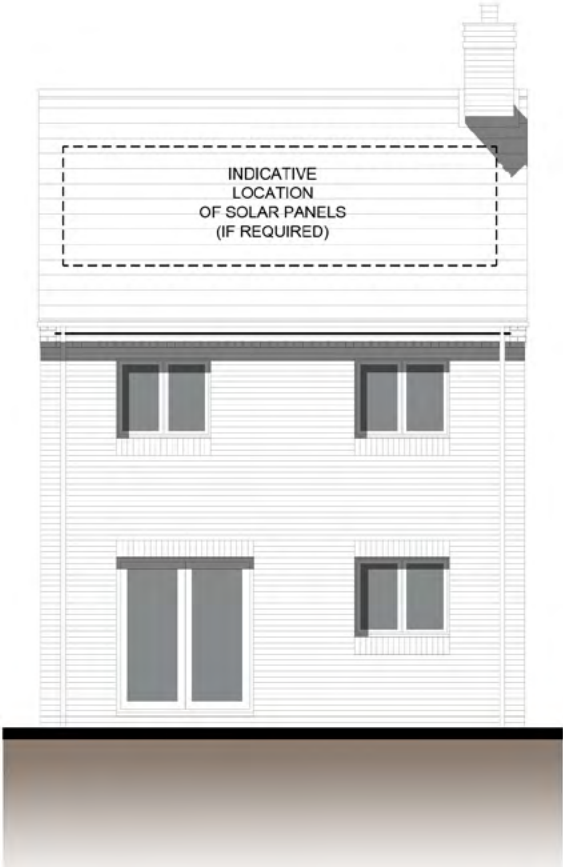
Front Elevation



Side Elevation



Ground Floor

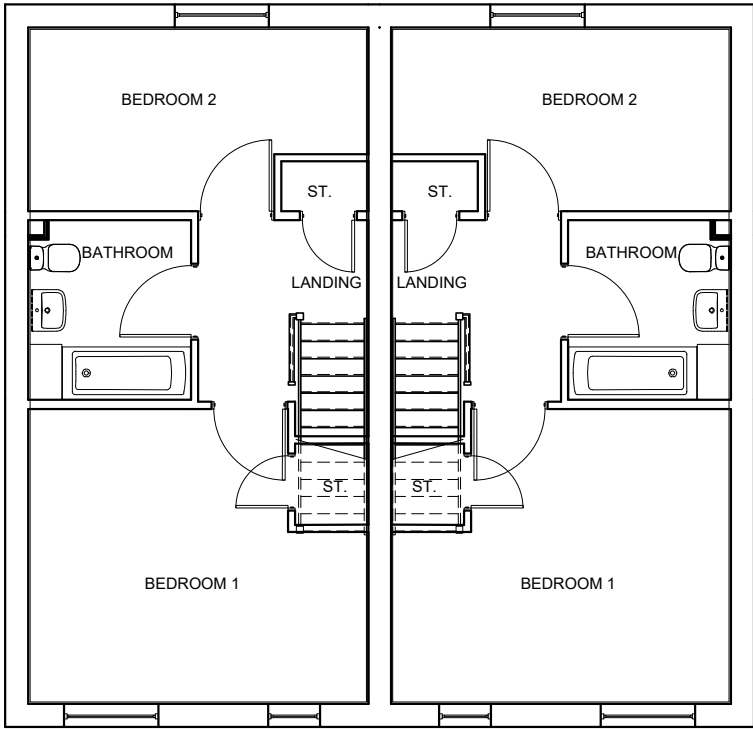


Rear Elevation



Side Elevation

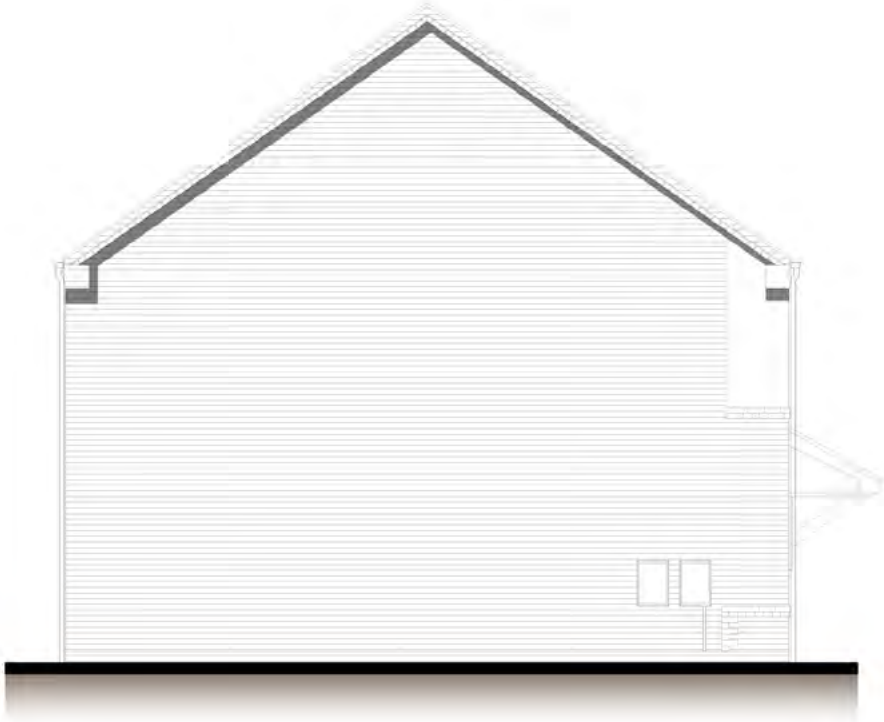




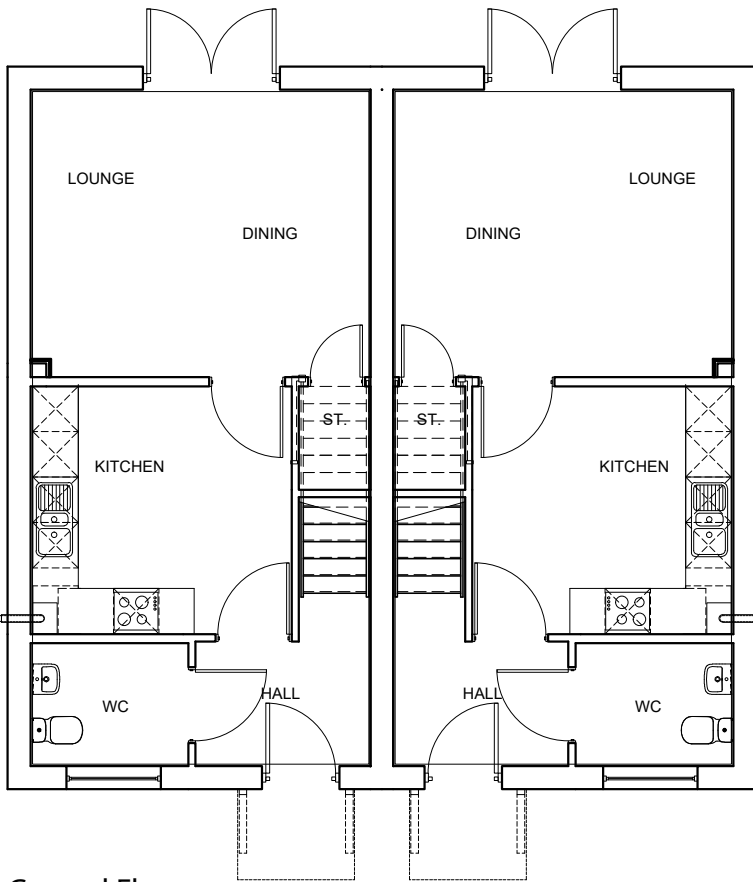
First Floor



Front Elevation



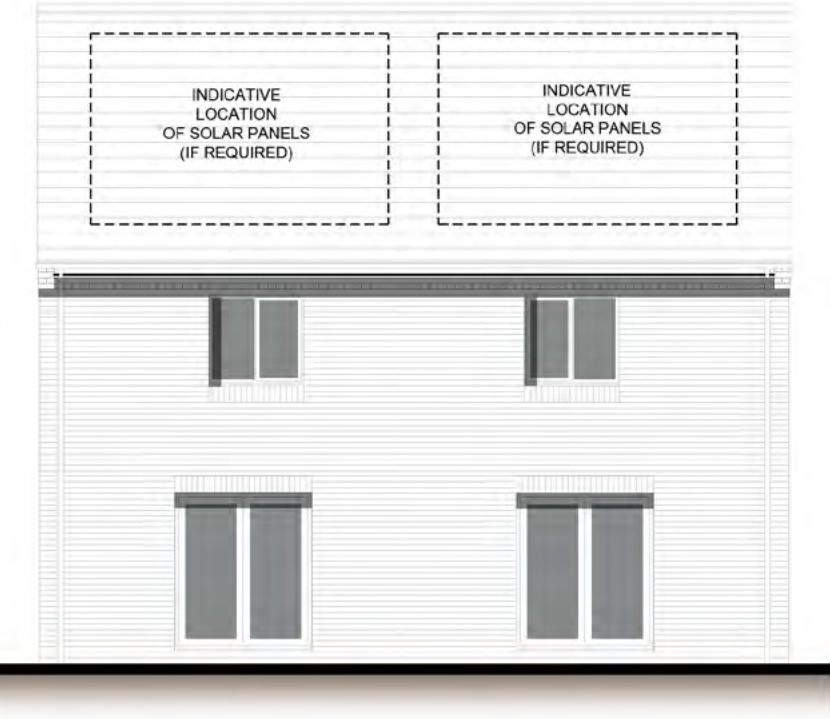
Side Elevation



Ground Floor

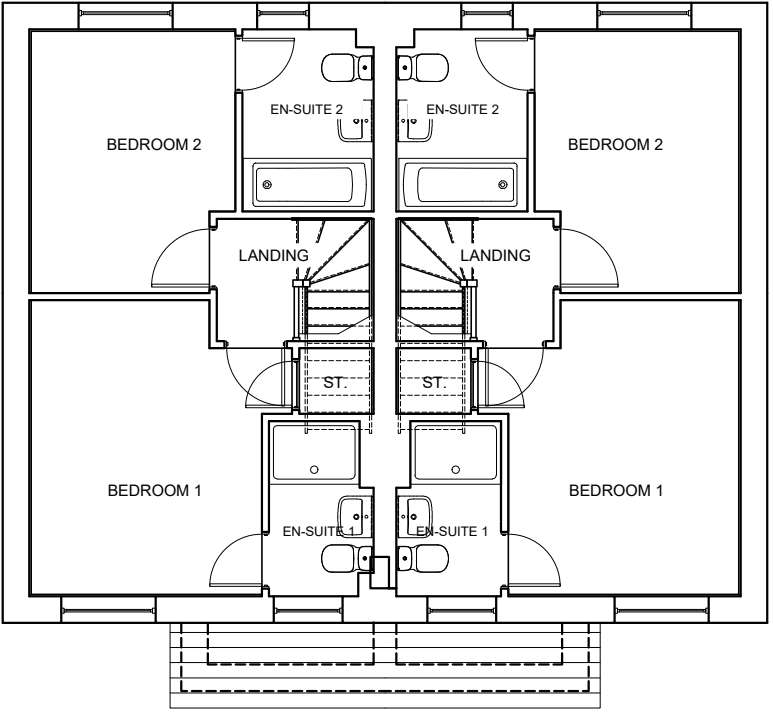


Rear Elevation



Side Elevation





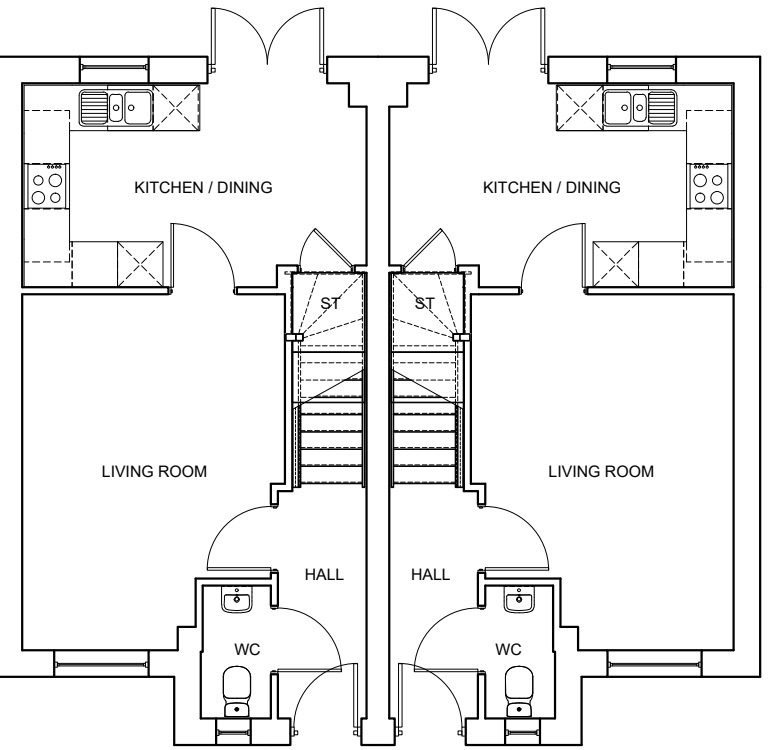
First Floor



Front Elevation



Side Elevation



Ground Floor

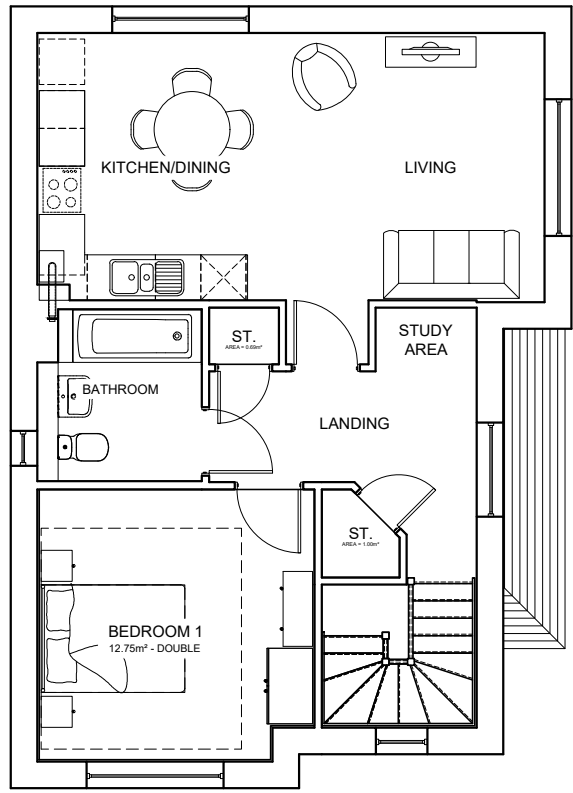


Rear Elevation



Side Elevation





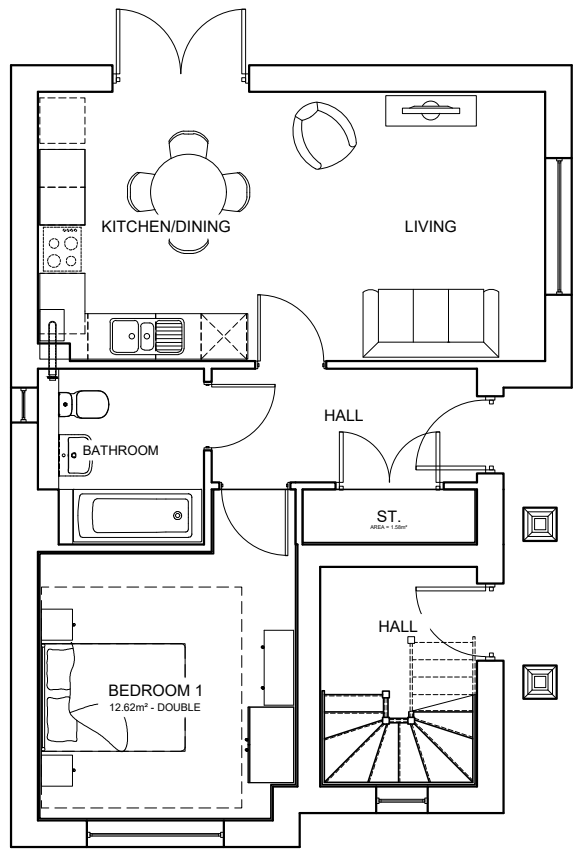
First Floor



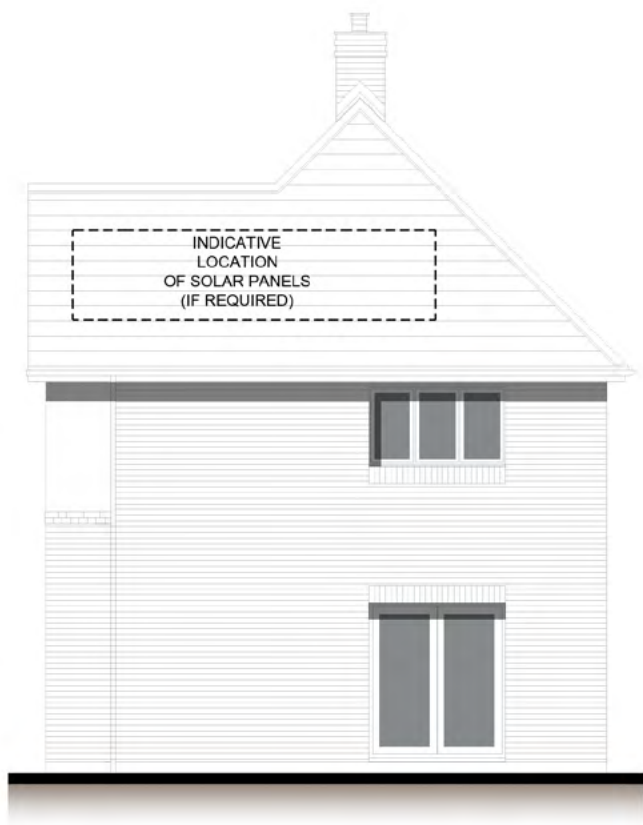
Side Elevation



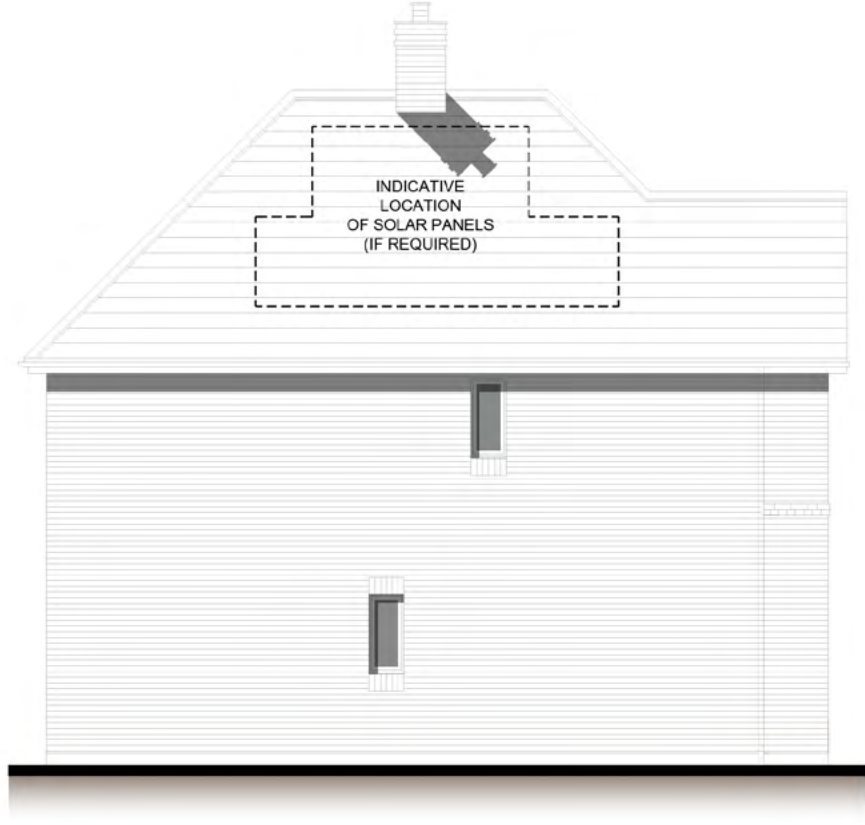
Front Elevation



Ground Floor

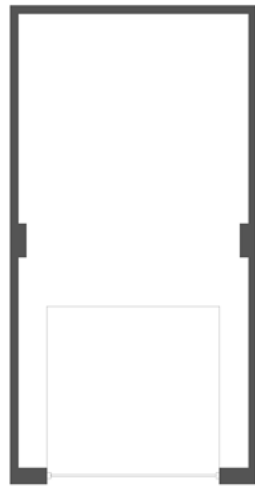


Side Elevation



Rear Elevation





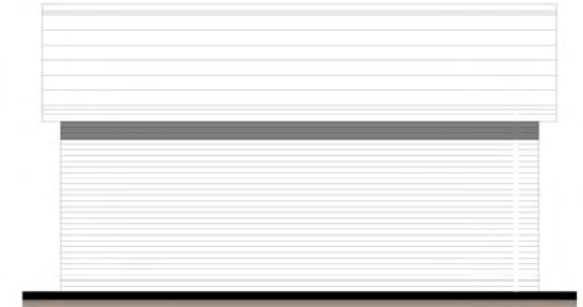
GROUND FLOOR PLAN



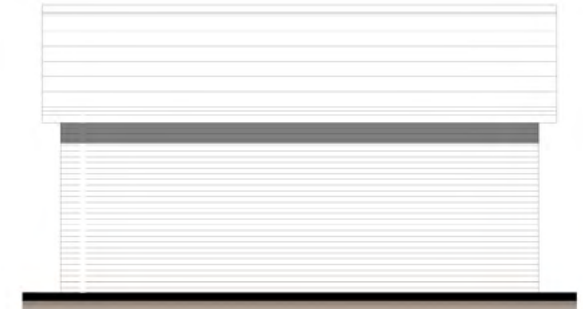
FRONT ELEVATION



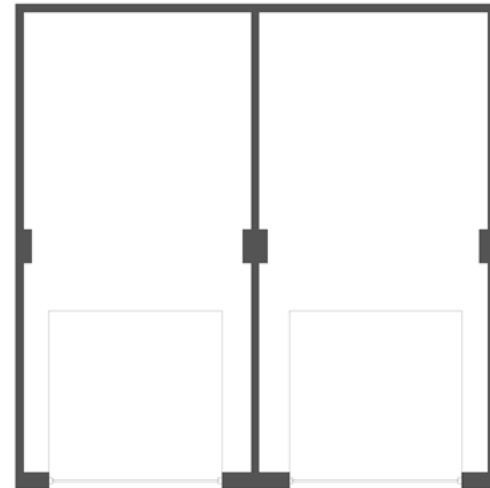
REAR ELEVATION



SIDE ELEVATION



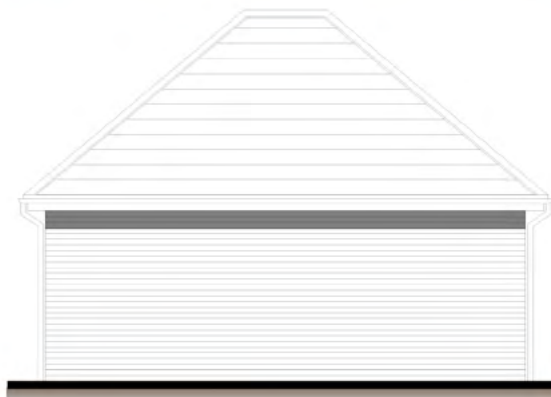
SIDE ELEVATION



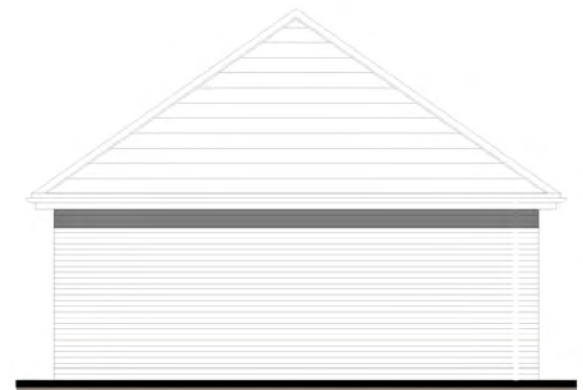
GROUND FLOOR PLAN



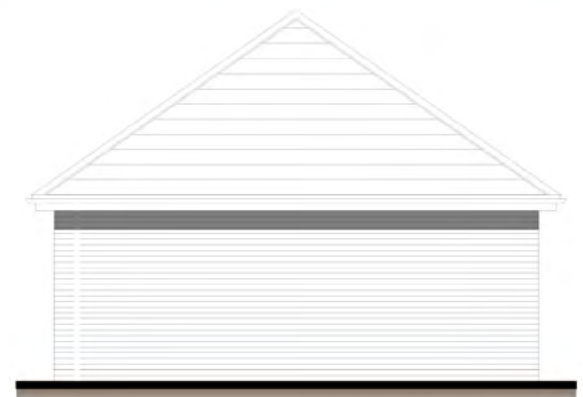
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



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Application No: 24/4287/FUL  
Application Type: Full Planning  
Location: Land South Of Old Mill Road, Sandbach, Cheshire East,  
Proposal: Residential development (use Class C3) including the creation of a new vehicular access off the A534 roundabout, landscaping, public open space, ecological enhancement area, internal access roads, garages, car parking and associated infrastructure  
Applicant: Mr Alex Wigfield, Anwyl Homes

Expiry Date: 30-May 2025

### Summary

The application site is within the Settlement Zone Line as identified by the Development Plan and has an extant planning permission for residential development.

The highways implications of the development are considered to be acceptable, and the roundabout and spine road were approved as part of application 19/3784C. The offsite highway works represent a major improvement to the highway network in Sandbach.

Due to the increased cost of the off-site highway works, there would be a reduction in the affordable housing provision on this site. As noted above the off-site highway works are a major improvement and the viability case put forward is accepted. There is no objection from the Housing Officer in terms of the proposed affordable housing provision.

The issues of noise, air quality and contaminated land are considered to be acceptable and would comply with SE 12 of the CELPS. The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.

The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The design complies with Policies SE1, SD1 and SD2 of the CELPS, the CEC Design Guide, GEN1 of the SADPD and H2 of the SNP.

The site has a challenging topography and the development is considered to be acceptable in terms of the levels changes on the site.

The drainage/flood risk implications for this proposed development are considered to be acceptable by the Councils Flood Risk Officer and no objection is raised subject to the imposition of a condition. An updated consultation response will be provided in terms of the comments from UU and the Environment Agency.

The proposed development would affect the PROW which cross the site. Given the views of the Inspectors and the SoS within the recent appeal decisions there would be no conflict with Policies SE1 and CO1 of the CELPS, Policy INF1 of the SADPD, or Policy PC5 of the SNP.



There are no objections to the application in terms of the impact upon the trees on the site or in terms of ecology. The proposal would comply with Policies SE1, SE3, SE4, SE5, and SE6 of the CELPS, policies ENV3, EN5 and ENV6 of the SADPD and policy PC4 of the SNP.

The proposed development has a better relationship with the open space/play area than the earlier revisions of this application and is now considered to be acceptable.

On the basis of the above the application complies with the Development Plan when read as whole and the application is recommended for approval.

**Summary recommendation**

**Approve subject to a Section 106 Agreement and the following conditions**

**1. Proposed Development**

- 1.1. This is a full planning application for the erection of 204 dwellings. The access will be taken from a new spine road and remodelled five arm roundabout off Old Mill Road (as previously approved as part of application 19/3784C).
- 1.2. The proposal also includes the provision of public open space, a NEAP and the diversion/realignment of the PROW which are located on the site.

**2. Site Description**

- 2.1. The application relates to two parcels of land which are located either side of the A534 and cover an area of 7.93 hectares.
- 2.2. The eastern parcel is proposed to be developed for residential purposes and the western parcel is proposed to be used for ecological enhancements.
- 2.3. The eastern parcel of land is located within the Sandbach Settlement Boundary and western parcel is located within the Open Countryside. Part of the site is also located within a wildlife corridor.
- 2.4. The eastern parcel comprises agricultural land and the former farm complex known as Fields Farm (now demolished). The site is located to the east of the A534 and to the west of residential properties that front onto Palmer Road, Condliffe Close and Laurel Close. The site has uneven land levels which rise towards the residential properties to the east. The site includes a number of hedgerows and trees which cross the site. To the north of the site is a small brook and part of the site to the north is identified as an area of flood risk.
- 2.5. There are a number of PROW which cross the eastern parcel of the application site.

**3. Relevant Planning History**

- 3.1. 23/4600C - Outline planning application for the erection of 84 new dwellings (Use Class C3) with Access, Appearance, Layout and Scale for approval – Application Undetermined
- 3.2. 23/4755C - Prior approval for the demolition of farm dwellings and outbuildings – Prior Approval Not Required 16<sup>th</sup> January 2024
- 3.3. 21/2412C - Reserved Matters for approval of access, appearance, landscaping, layout and scale following outline approval 14/1193C for the erection of 160 dwellings, car



parking, public open space and associated works – Refused 8<sup>th</sup> August 2022 - Appeal Allowed 29<sup>th</sup> April 2024

- 3.4. 19/5736C - The construction of 57 dwellings and erection of a petrol filling station (sui generis) and associated convenience store (class A1), drive-through restaurant (Class A3 / A5), drive through café (Class A1 / A3), offices, (Class B1(a)) along with the creation of associated access roads, parking spaces and landscaping – Refused 26<sup>th</sup> February 2020
- 3.5. 19/3784C - Full planning application for erection of a care home (class C2), 85 new dwellings (class C3) and creation of associated access roads, public open space and landscaping – Refused 19<sup>th</sup> December 2019 – Appeal Allowed 12<sup>th</sup> October 2020
- 3.6. 19/2539C - Hybrid Planning Application for development comprising: (1) Full application for erection of a discount foodstore (Class A1), petrol filling station (sui generis) and ancillary sales kiosk (class A1), drive-through restaurant (Class A3 / A5), drive-through coffee shop (class A1 / A3), offices (class A2 / B1) and 2 no. retail 'pod' units (class A1 / A3 / A5), along with creation of associated access roads, parking spaces and landscaping. (2) Outline application, including access for erection of a care home (class C2), up to 85 new dwellings (class C3), conversion of existing building to 2 dwellings (class C3) and refurbishment of two existing dwellings, along with creation of associated access roads, public open space and landscaping. (Resubmission of planning application ref. 18/4892C). – Refused 28<sup>th</sup> August 2019 – Appeal Dismissed 12<sup>th</sup> October 2020
- 3.7. 18/4892C - Hybrid Planning Application for development comprising: (1) Full application for erection of a foodstore (Class A1), petrol filling station (sui generis) and ancillary kiosk/convenience store (class A1), drive-through restaurant (Class A3 / A5), drive-through coffee shop (class A1 / A3), farm shop (class A1) and 2 no. retail 'pod' units (class A1 / A3 / A5), along with creation of associated access roads, parking spaces and landscaping. (2) Outline application, including access for erection of a care home (class C2), 92 new dwellings (class C3), conversion of existing building to 2 dwellings (class C3) and refurbishment of two existing dwellings along with creation of associated access roads, public open space and landscaping – Refused 1<sup>st</sup> March 2019
- 3.8. 18/2540S - EIA Screening Opinion – EIA Required 6<sup>th</sup> June 2018
- 3.9. 14/1193C - Outline planning application for up to 200 residential dwellings, open space with all matters reserved – Approved 12<sup>th</sup> October 2017
- 3.10. 13/2389C - Outline Planning Application for up to 200 Residential Dwellings, Open Space and New Access off the A534/A533 Roundabout at Land South of Old Mill Road – Appeal for non-determination – Strategic Planning Board 'Minded to Refuse' – Appeal Allowed 11<sup>th</sup> December 2014
- 3.11. 13/2767S – EIA Scoping – Decision Letter issued 7<sup>th</sup> August 2013
- 3.12. 13/1398S – EIA Screening – EIA Required
- 3.13. 12/3329C - Mixed-Use Retail, Employment and Leisure Development – Refused 6<sup>th</sup> December 2012. Appeal Lodged. Appeal Withdrawn

#### **4. National Planning Policy**

- 4.1. The National Planning Policy Framework (NPPF) was first published by the Government in March 2012 and has been through several revisions. It sets out the planning policies for



England and how these should be applied in the determination of planning applications and the preparation of development plans. At the heart of the NPPF is a presumption in favour of sustainable development. The NPPF is a material consideration for the purposes of decision making.

## **5. Development Plan Policy**

5.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires decisions on planning applications to be made in accordance with the Development Plan unless material considerations indicate otherwise. The Cheshire East Local Plan Strategy (2010 – 2030) was adopted in July 2017. The Site Allocations and Development Policies Documents was adopted in December 2022. The policies of the Development Plan relevant to this application are set out below, including relevant Neighbourhood Plan policies where applicable to the application site.

### **5.2. Relevant policies of the Cheshire East Local Plan Strategy (CELPS) and Cheshire East Site Allocations and Development Plan Policies Document (SADPD)**

- 1.SADPD Policy PG 9: Settlement boundaries
- 2.SADPD Policy GEN 1: Design principles
- 3.SADPD Policy ENV 12: Air quality
- 4.SADPD Policy ENV 14: Light pollution
- 5.SADPD Policy ENV 16: Surface water management and flood risk
- 6.SADPD Policy ENV 17: Protecting water resources
- 7.SADPD Policy ENV 2: Ecological implementation
- 8.SADPD Policy ENV 3: Landscape character
- 9.SADPD Policy ENV 4: River corridors
- 10.SADPD Policy ENV 5: Landscaping
- 11.SADPD Policy HER 1: Heritage assets
- 12.SADPD Policy HER 8: Archaeology
- 13.SADPD Policy RUR 5: Best and most versatile agricultural land
- 14.SADPD Policy HOU 1: Housing mix
- 15.SADPD Policy HOU 12: Amenity
- 16.SADPD Policy HOU 13: Residential standards
- 17.SADPD Policy HOU 14: Housing density
- 18.SADPD Policy HOU 15: Housing delivery
- 19.SADPD Policy INF 1: Cycleways, bridleways and footpaths
- 20.SADPD Policy INF 3: Highway safety and access
- 21.SADPD Policy INF 9: Utilities
- 22.SADPD Policy REC 2: Indoor sport and recreation implementation
- 23.SADPD Policy REC 3: Open space implementation
- 24.CELPS Policy MP 1: Presumption in favour of sustainable development
- 25.CELPS Policy PG 1: Overall development strategy
- 26.CELPS Policy PG 2: Settlement hierarchy
- 27.CELPS Policy PG 6: Open countryside
- 28.CELPS Policy PG 7: Spatial distribution of development
- 29.CELPS Policy SD 1: Sustainable development in Cheshire East
- 30.CELPS Policy SD 2: Sustainable development principles
- 31.CELPS Policy IN 1: Infrastructure
- 32.CELPS Policy SC 4: Residential mix
- 33.CELPS Policy SC 5: Affordable homes
- 34.CELPS Policy SE 1: Design
- 35.CELPS Policy SE 12: Pollution, land contamination and land instability
- 36.CELPS Policy SE 13: Flood risk and water management
- 37.CELPS Policy SE 2: Efficient use of land



- 38.CELPS Policy SE 3: Biodiversity and geodiversity
- 39.CELPS Policy SE 4: The landscape
- 40.CELPS Policy SE 5: Trees, hedgerows and woodland
- 41.CELPS Policy SE 6: Green infrastructure
- 42.CELPS Policy SE 7: The historic environment
- 43.CELPS Policy CO 1: Sustainable travel and transport
- 44.CELPS Policy CO 2: Enabling business growth through transport infrastructure
- 45.CELPS Policy CO 4: Travel plans and transport assessments

### 5.3. Neighbourhood Plan

The Sandbach Neighbourhood Plan was made on 21<sup>st</sup> March 2022.

PC2 – Landscape Character

PC3 – Settlement Boundary

PC4 – Biodiversity and Geodiversity

PC5 – Footpaths and Cycleways

HC1 – Historic Environment

H1 – New Housing

H2 – Design and Layout

H3 – Housing Mix and Type

H4 – Housing and an Ageing Population

IFT1 – Sustainable Transport, Safety and Accessibility

IFT2 – Parking

IFC1 – Community Infrastructure Levy

CW1 – Amenity, Play, Recreation and Sports Facilities

CW3 – Health

CC1 – Adapting to Climate Change

## 6. Relevant supplementary planning documents or guidance

- 6.1. Supplementary Planning Documents and Guidance do not form part of the Development Plan but may be a material consideration in decision making. The following documents are considered relevant to this application:
- 6.2. Ecology and Biodiversity Net Gain SPD
- 6.3. Environmental Protection SPD
- 6.4. Developer Contributions SPD
- 6.5. SuDS SPD
- 6.6. Housing SPD

## 7. Consultation Responses

- 7.1. **Environment Agency:** Updated comments are awaited on the revised Drainage Strategy. Based on the original Drainage Strategy - No objection subject to the imposition of planning conditions.
- 7.2. **Public Rights of Way (PROW):** A condition is suggested in relation to the provision of a PROW scheme and the imposition of informatives.

Also offer the following comments:



- There is an aspiration for the improvement of PROW Sandbach No 50 which extends northeast from the northern part of the site. This could act as an active travel route between the site and the town centre.
- There is also a local aspiration to formalise a link patch between PROW Sandbach No 50 and Condliffe Close (subject to landowner agreement).
- Should the application be approved, the developer should deliver the necessary improvements through a S278 Agreement or a S106 Agreement.
- There is also an aspiration to create an active travel route on the eastern side of the development site to Laurel Close and onto Mortimer Drive. This would require the creation of a route in physical construction and legal access rights. If the application is approved the developer should deliver the necessary improvements through a S278 Agreement or a S106 Agreement.

7.3. **Environmental Health:** No objection and suggest the following conditions:

- Implementation of the acoustic mitigation measures
- Implementation of the odour mitigation measures
- Provision of low emission boilers
- Contaminated land (4 conditions suggested)

7.4. **Natural England:** No objection - the proposed development will not have a significant adverse impact on statutory designated sites.

7.5. **Archaeology:** There are no further archaeological requirements associated with this site.

7.6. **Head of Strategic Transport:** No objection subject to the imposition of a condition to secure the implementation of the roundabout prior to first occupation.

7.7. **United Utilities (UU):** Updated comments are awaited on the revised Drainage Strategy/layout. Based on the original Drainage Strategy/layout - Object to the application. UU have concerns regarding the proximity of the proposed development to UU infrastructure. The applicant should provide a detailed site layout which gives the proven location of UU infrastructure, and this should be provided prior to determination.

The submitted drainage proposals are not acceptable to UU and revised information should be provided prior to determination.

7.8. **Education:** To alleviate the impact upon education provision the following contributions will be required:

- £879,516.00 (Primary education)
- £577,322.00 (Secondary education)
- £299,680.00 (SEN)

7.9. **NHS:** The proposal will have a direct impact on local healthcare services which will require mitigation. A contribution will be required.

7.10. **Flood Risk Manager:** Condition suggested.

7.11. **Head of Strategic Housing:** Following the receipt of additional information, no objection subject to the provision of 20% affordable housing which will be secured as part of a S106 Agreement.

7.12. **Active Travel England:** Refer to Active Travel England standing advice.

7.13. **Public Open Space:** Offer the following comments:



- The revised plans have secured an additional orchard garden, seating areas and an area of informal play equipment.
- The wildflower planting adjacent to FP19 will be replaced and this could lend itself to further play-on-the-go.
- Further seating could be incorporated exploiting views/vistas.
- The western mown path has been replaced by compacted gravel and this provides a circular route.
- The POS/NEAP adjacent to plots 44/45 feels restrictive. If the plan to the north-west of the NEAP could be reconfigured and planting removed, then this would create a larger area for informal activities.
- Contributions required for outdoor sport.

Conditions suggested in terms of the NEAP design, landscaping, details of play-on-the-go area, food growth/production proposals, confirmation of accessible pathways.

## **8. Views of the Town or Parish Council**

- 8.1. **Sandbach Town Council:** Object to the application. No substantial material differences have been made to the application since it was last submitted. The Town Council would also like to recognise the comments made by Cycling UK which have been submitted as part of this application.
- 8.2. **Hassall Parish Council:** Compared to the Muller scheme the proposal is wall to wall roof scapes and carparking. The number of houses on this site increases with each application. The previous retail led scheme would have created jobs and a feel of community. The current proposal does not need the extra 43 houses and needs somewhere like a pub/restaurant and this could be combined with a multi-functional community centre. The development should create some infrastructure that builds a community to create a sustainable village type of life for the future residents.

## **9. Representations**

- 9.1. Letters of objection have been received from 2 households which raise the following points:
  - The A534 roundabout is already causing traffic jams and blockages and is one of the main access routes to the M6 J17.
  - There is no investment into further infrastructure around Sandbach to support the increase in population (doctors, dentists, hospitals).
  - There needs to be investment in local infrastructure before the houses are built.
  - The loss of footpaths across the site (the provision of a paved footpath will not replace the footpaths across the fields).
  - Increase in traffic noise.
  - Impact upon air quality levels.
  - The existing roundabout and the lights at High Street/The Hill are a bottleneck for most of the day. Unable to exit Brookhouse Road.
  - The issue of the two right turn lanes (onto Palmer Road and onto The Hill) needs to be resolved.
  - Unclear as to where pedestrians will cross the new road layout. Will there be sufficient pedestrian crossing provision.
- 9.2. A letter of general observation has been received from 1 household which raises the following points:
  - Overall support the application but the increase in the size of the roundabout by 33% would encroach upon St Mary's Dell. This is an old woodland and is of natural beauty. It has biodiversity value.
  - St Mary's Dell is used by many families for walks and picnics.



- St Mary's Dell acts as a noise screen for the residents of Brook Court.
- Do not allow the loss of any trees/hedgerows at St Mary's Dell.

9.3. A representation has been received from the Sandbach Footpath Group (SFG) which supports the application and raises the following comments:

- The SFG is pleased that the applicant has paid due attention to comments and objections to previous application plans for this site. The development now has planned routes for footpaths on surfaced or grassy paths, away from pavements by public roads. Pavements have hazards such as traversing vehicles driving onto front drives and reversing out. The planned routes do not, in general, have such hazards.
- FP17 used to cross the site in a generally east-west direction. Historically, this footpath did not seem to be maintained and as a result was awkward, hazardous (e.g. broken stile and overhanging hedges) and consequently it was very rarely walked. In the current proposal the alternative path is on the south-eastern side linking Houndings Lane to FP18. This will be a popular walking route, being away from the farm tractors and other vehicles on Houndings Lane. SFG supports this new route and hopes it comes to fruition. Hopefully, CEC PROW will see fit to officially adopt this footpath route.
- FP18, going from Houndings Lane towards the northern end of the site to meet FP50, has not been altered to any noticeable extent, so SFG supports this, providing that an acceptable walking surface is laid down for the full extent of FP18.
- FP19 used to go centrally through the site and previous applications have attempted to route it along pavements with the resultant hazards of vehicle access to dwellings. SFG is pleased to see the new route, shown by Anwyl to the west of the site, which will be a far better and safer route than any pavement alternative. Again, it is to be hoped that CEC PROW will see fit to officially adopt this footpath route. SFG has one comment on this new route, concerning the incline where there is a double bend at the northern end. SFG suggest that this be surfaced so that in wet conditions, it is not too slippery.
- FP50 appears to be substantially unchanged, so SFG supports this route. It will, however, be very frequently used, acting as the main outlet from the site for other footpaths. Due to this frequent use, SFG suggests that a good surface be laid down for the full extent of FP50.
- SFG suggests that one or more litter bin(s) be provided near the play area, with an appropriate, regular and permanent emptying regime set in place.
- The estate roads and housing may alter the land drainage so, please can a footpath inspection and maintenance regime be set up. The intention being that if any muddy areas appear, particularly after wet weather, suitable drainage and surfacing can be done, retrospectively to completion of the Anwyl estate.
- Please can all stiles, previously on site, be dismantled and removed to be replaced, if necessary, with more accessible footpath furniture.

9.4. Representations have been received from Cycling UK which raise the following points:

- It is unclear where the cycle links documents can be found as part of this application (this is condition 21 of application 19/3784C).
- To fulfil condition 21 of the appeal decision (19/3784C) it is suggested that Anwyl Homes as the landowner permit cycling on footpath 18 over a short distance. There is no bylaw or Traffic Regulation Order that expressly prohibits cycling on the route and permitting cycling would be a workable solution.
- The section between the stile on FP18 and Laurel Close - The 'adopted road' begins only on the carriageway of Laurel Close. The short section is owned neither by the developer nor the council, though it is assumed that it is maintained by the council. Please identify a way how cycling could be formalised here.
- The stile between FP18 and Laurel Close - The stile should be removed to create a gap, without access restrictions. This would align with item 92 of the minutes of Cabinet, 9th of March 2021.



- Man-made physical barriers - As a means to enshrine this [access] into policy, Cheshire East adopted a Policy for Structures in March 2010 relating to path furniture. This policy uses the least restrictive principle for improving the network as a whole.”. Furthermore, the benefits to other groups, parents with pushchairs or the disabled, are referenced frequently in the ROWIP, e.g. at 5.3.6: “Further, improving access for disabled people brings benefits to all users, in particular those with pushchairs or young children, those who walk with dogs and the older population.” Any type of gate would compromise access.
- Cycle parking - There seem to be 12 one bedroom flats (model Disley), all of which would require cycle parking. This should be provided.
- Assurances should be provided that cycles are allowed to travel on footpath 18 from plot 60 to Laurel Close.
- Clarification should be provided in terms of cycle access to Houndings Lane.
- There is a shortfall of 8 cycle spaces for the apartment blocks.
- Floorplans of the cycle sheds should be provided together with the make and model of the shed.
- The Yeovil type flat should have a cycle stand (Shed with a Sheffield Hoop).
- Clarification of cycle storage to plots 60-63.
- Wall mounted bike loops within the detached garages. The make and model is required.

## 10. **Officer Appraisal**

### *Principle of Development and Key issues*

- 10.1. The application relates to two parcels of land to either side of the A534. The eastern parcel of the site is covered by planning permission 19/3784C which relates to the southern part (and has lawfully commenced), this includes a new roundabout access and the erection of 85 dwellings and a care home to the south of the site.
- 10.2. Application 23/4600C for two parcels of site which were not covered by application 19/3784C for the erection of 84 dwellings, has a resolution to approve by the Strategic Planning Board, but a S106 Agreement is yet to be completed.
- 10.3. Reserved Matters application 21/2412C (which was submitted in relation to outline approval 14/1193C) covers the majority of the site and remains extant (160 dwellings).
- 10.4. The eastern parcel of the application site lies within the Sandbach Settlement Boundary.
- 10.5. Policy PC3 (Settlement Boundary) of the SNP identifies that new development involving housing will be supported in principle within the Sandbach Settlement Boundary.
- 10.6. Policy H1 (New Housing) states that within the settlement boundary developments to meet the housing requirement established in the Cheshire East Local Plan will be delivered through existing commitments and sites allocated within the CELPS. Additionally Policy H1 supports other development within the Settlement Boundary and this includes proposals that accord with CELPS Policy PG2 including, small scale (up to 30 homes) and windfall sites.
- 10.7. The site lies within the settlement zone boundary so conforms with Policies PG9 of the SADPD and PC3 of the SNP. Policy H1 of the SNP is concerned with the proposed scale of development appropriate to Sandbach's function as a Key Service Centre. The reference to small scale (up to 30 units) and windfall sites is not an exhaustive list due to the use of the word ‘including’. Policy H1 of the SNP could include larger sites provided they are considered of an appropriate scale.



10.8. In this case the site is covered by an extant planning permission. The Council has not resisted development on this site due to it not being of an appropriate scale in the past and this has not been an issue raised by the Inspectors as part of the previous appeal decisions on this site. It is therefore concluded that the principle of development on this site within the settlement boundary of Sandbach is acceptable.

### **Housing Mix**

10.9. Policy SC4 of the submission version of the CELPS requires that developments provide an appropriate mix of housing (however this does not specify a mix). In this case the development would provide the following mix:

- 39 x one bedroom dwellings
- 25 x two bedroom dwellings
- 87 x three bedroom dwellings
- 53 x four bedroom dwellings

10.10. The proposed dwellings would be 2-2.5 storeys in height and the apartment blocks would be 3 storeys in height.

10.11. Policy HOU1 of the SADPD states that housing development should deliver a range and mix of house types, sizes and tenures. All major developments should respond to housing need, and this includes the indicative house types and tenures and sizes identified at Table 8.1.

10.12. The proposals above do not strictly comply with Table 8.1. However, the proposal clearly provides a mix of house types, and the development would not be dominated by larger house types. The mix is considered to be appropriate.

10.13. Policy HOU3 states that all housing developments providing more than 30 homes should provide a proportion of serviced plots where there is evidence of unmet demand. The Council currently has a sufficient supply of self and custom build units as identified within the Councils Annual Monitoring Report so there is no evidence of unmet demand.

10.14. Policy HOU8 of the SADPD states that in order to meet the needs of the Borough's residents and to deliver dwellings that are capable of meeting people's changing circumstances over their lifetime, the following accessibility and wheelchair standard will be applied to major developments:

- At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings; and
- At least 6% of the dwellings in housing developments should comply with the requirement m4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings

10.15. The applicant has submitted information to show compliance with the above standards and this will be secured via the imposition of planning conditions.

10.16. In terms of dwelling sizes, it is noted that HOU8 of the SADPD requires that new housing developments comply with the Nationally Described Space Standards (NDSS). The applicant has confirmed that all dwellings across the entire development are NDSS compliant.



## Affordable Housing

- 10.17. This is a proposed development of 204 dwellings within the settlement boundary of a Key Service Centre therefore in order to meet the Council's Policy on Affordable Housing (30% provision, split 65% rented and 35% intermediate tenure) there is a requirement for 62 dwellings to be provided as affordable homes (40 rented units and 22 intermediate units).
- 10.18. The current number of those on the Cheshire Homechoice waiting list with Sandbach as their first choice and at the highest level of need (Bands A-C) is 140 (this data is from November 2024). There is a need for 1–4-bedroom units (62 x one bed, 37 x two bed, 27 x three bed and 14 x four bed).
- 10.19. The applicant has raised viability issues and this is due to the delivery of the highway improvement works (the new roundabout, the highway widening and the Toucan crossing). The works will be delivered in full by the applicant and the cost associated with these works is £2,426,504. These highway works are a major improvement to the road network in Sandbach and are supported by the Head of Strategic Transport.
- 10.20. The viability case put forward by the applicant has been assessed and is accepted. As a result of this there is a reduction in the affordable housing provision with this development. The applicant has put forward three options.
- 10.21. The first option would provide 30% affordable housing at a non-compliant tenure mix (39% rented and 61 % intermediate tenure) and the intermediate tenure housing discount was 80% of open market value and was not policy compliant. This would not deliver the rental need which meets the need in Sandbach.
- 10.22. The remaining options are as follows:
- Option 2 - 20% Affordable Provision (40 units) with a 67.5% to 32.5% tenure split between Affordable Rent and Shared Ownership.
    - Affordable Rent
      - 13 x 1 bed apartments
      - 8 x 2 bed houses
      - 6 x 3 bed houses
    - Shared Ownership
      - 12 x 1 bed apartments
      - 1 x 2 bed house
  - Option 3 - 18% Affordable Provision (37 units) all for Affordable Rent.
    - Affordable Rent
      - 25 x 1 bed apartments
      - 8 x 2 bed houses
      - 4 x 3 bed houses
- 10.23. A mix of house sizes is required to address the high need for rental in Sandbach. The Council's ambition is for rented affordable dwellings to be truly affordable. Rents will need to be set in line with paragraph 6.18 of the Housing SPD, where they are no more than Local Housing Allowance rates for Affordable Rent or Regulator of Social Housing target rents for Social Rent– whichever is lowest, this is inclusive of additional service charges.



- 10.24. Based on the information on housing need in Sandbach, the housing officer has confirmed that Option 2 is their preference, and this would be secured as part of a S106 Agreement.

### **Highways Implications**

- 10.25. As noted above the access to the site including the new spine road and remodelled five-arm roundabout at the A533/A534 junction was approved as part of application 19/3784C. The development proposed as part of this application would utilise this access, with access to each parcel provided from a central spine road that connects with the Old Mill Road roundabout.
- 10.26. The main internal spine road is 6.7m wide and has 3m shared pedestrian/cycle route to one side and 2m footpath to the other side.
- 10.27. There is a number of side road priority junctions to be provided along the spine road which are acceptable in design terms, these minor roads are either a standard 4.8m wide road with footways or a shared surface road. Frontage residential development along the spine road is provided, this development assists in reducing traffic speeds along the main principal road.
- 10.28. The level of parking provision is set out within the CELPS (1 space for the 1 bed units, and 2 spaces for the 2,3 and 4 bed units). The submitted design complies with these standards and can be accepted.
- 10.29. The connectivity of the site to external footway/cycleways and access to extant bus services has been previously agreed at appeal, as indicated earlier the internal road system has provided pedestrian and cycle facilities which can be adopted. The application proposes to divert PROW so that they circle the site. This network of paths would provide external connections to Houndings Lane and Laurel Close.
- 10.30. The traffic impact of the development was previously considered in the application for 200 units, this application for 204 units has a very similar trip generation. Updated capacity assessment of the access roundabout has been undertaken with recent traffic flows and the improvement scheme in place which shows that in 2030 the roundabout would work within capacity levels.
- 10.31. This full application is similar to a previously approved residential development, the internal layout accords with design standards and can be adopted as public highway. This application relies upon the improvement of the A534/A533 roundabout to mitigate the traffic impact of the development and this improvement will be required prior to occupation of any of the dwellings. The off-site highway works represent a major improvement to the highway network in Sandbach and are supported by the Head of Strategic Transport.
- 10.32. The proposed development complies with policies CO2 of the CELPS, INF3 of the SADPD and H1, PC5, IFT1 and IFT2 of the SADPD.

### **Amenity**

- 10.33. Policy HOU13 of the SADPD includes reference to separation distances as follows:
- 21 metres for typical rear separation distance
  - 18 metres for typical frontage separation distance
  - 14 metres for a habitable room facing a non-habitable room



- 10.34. The main properties affected by this development are those to the east of the site fronting onto Condliffe Close, Palmer Road and Laurel Close.
- 10.35. The dwelling on plot 1 would have a separation distance of 20m to the nearest corner of 15 Condliffe Close. Due to the off-set relationship the impact is considered to be acceptable.
- 10.36. The apartments at plots 15-18 are two-stories in height and there would be separation distance of 7m to the rear boundary of the dwellings at 7-11 Condliffe Close. There would be a separation distance varying from 15m-20m to the rear elevations of these properties. Given the angled nature of the existing and proposed dwellings and level changes the relationship is considered to be acceptable. This is subject to a condition to secure obscure glazing to the first-floor windows facing north-east.
- 10.37. The proposed dwellings on plots 19 and 24 are positioned so that they would not have a direct facing relationship with any adjoining dwellings.
- 10.38. The proposed dwelling on plot 23 would have a separation distance of between 16m – 19m to the rear elevation of No 72 Palmer Road. This relationship would be acceptable as the only principal window is at ground floor level. A condition will be imposed in relation to the first-floor window.
- 10.39. The side elevation of the dwelling on plot 59 would have a separation distance of 19-10m to the side elevation of the dwelling at 8 Laurel Close. This relationship would be acceptable as the only principal window is at ground floor level. A condition will be imposed in relation to the first-floor window.
- 10.40. The apartments at plots 60-63 would have a separation distance of 9m from the front elevation of No 8 Laurel Close. The relationship is angled and off-set with no direct facing relationship and is considered to be acceptable.
- 10.41. Plot 68 is off-set from the boundary with No 15 Laurel Close and there is a separation distance of 11-15m. This relationship would be acceptable.
- 10.42. The impact upon neighbouring amenity would comply with policies HOU12 and HOU13 of the SADPD.

### **Noise**

- 10.43. The applicant has submitted a Noise Impact Assessment (NIA) in support of this application. The NIA considers the impact of the noise from road traffic and Houndings Lane Farm on the proposed development has been assessed in accordance with BS8233:2014 Guidance on Sound Insulation and Noise Reduction for Buildings.
- 10.44. The report recommends noise mitigation measures (acoustic fencing to the rear gardens of certain plots and a glazing specification and trickle vent to other plots) designed to achieve BS8233: 2014 and WHO guidelines; to ensure that future occupants of the properties are not adversely affected by noise from road traffic and the farm.
- 10.45. Subject to the imposition of a condition relating to noise mitigation measures there is no objection in terms of the noise impact upon the future occupiers.

### **Odour Control**



10.46. A scheme of odour abatement / control / mitigation has been submitted with the application which has been designed to ensure that odours associated with the day-to-day work on the farm do not cause a significant loss of amenity to occupiers of the proposed development. This has been considered by the Councils Environmental Health Officer who has no objection to the application subject to the imposition of a condition to secure ventilation for certain plots).

### **Air Quality**

10.47. The applicant has submitted an Air Quality Assessment in support of this application. The report considers whether the development will result in increased exposure to airborne pollutants, particularly as a result of additional traffic and changes to traffic flows. The assessment models NO<sub>2</sub> (Nitrogen Dioxide), PM<sub>10</sub> and PM<sub>2.5</sub> (Particulate Matter) impacts from additional traffic associated with this development and the cumulative impact of committed development within the area.

10.48. A number of modelled scenarios have been considered within the assessment. These were:

- Scenario 1 – Verification Year (2022);
- Scenario 2 – 2029 ‘without proposed development’
- Scenario 3 – 2029 ‘with proposed development’

10.49. The assessment concludes that the impact of the future development on the chosen receptors will be *negligible* with regards to all the modelled pollutants.

10.50. Poor air quality is detrimental to the health and wellbeing of the public and also has a negative impact on the quality of life for sensitive individuals. It is therefore considered appropriate that mitigation should be sought in the form of direct measures to reduce the adverse air quality impact. The Environmental Health Officer recommends the imposition of conditions relating to the imposition of a Travel Plan and low emission boilers.

### **Contaminated Land**

10.51. Residential developments are a sensitive end use and could be affected by any contamination present or brought onto the site. The application area has a history of agricultural and former pond use and therefore the land may be contaminated.

10.52. A Phase I Contaminated Land Assessment has been submitted in support of this application which identifies potential for contaminated land on this site. The Environmental Health Officer has considered the contents of the report and advised that she has no objection to the application subject to the imposition of planning conditions.

### **Construction Impacts**

10.53. The issue of disruption caused by the construction can be controlled via the imposition of a condition relating to a Construction Management Plan.

### **Design**

10.54. The site has extant planning permissions in place and therefore the principle of residential is established.

10.55. The location of the site on the southern side of Old Mill Road, does potentially create a barrier to movement and connectivity on foot/by cycle, however, a Toucan Crossing would



be provided on Old Mill Road as part of the highway's works for application 19/3784C. Provision is made for ease of movement within the site with the primary street incorporating a combined footpath and cycleway.

- 10.56. Within the site, the main issue regarding connectivity is how the three PROW are being accommodated. The diversion of Public Rights of Way FP17 and FP19 is proposed, whilst FP18 follows the eastern edge of the site. The proposal would provide a very similar level of natural surveillance of the PROW network to that which has previously been approved.
- 10.57. As noted above, the site would comply with the NDSS. The housing mix is appropriate and there would be 74% of the units on the site with 1-3 bedrooms and 31.3% of the units with 1 or 2 bedrooms. The affordable units are tenure blind.
- 10.58. The site has a challenging level change (in parts there is a 13m drop from east to west) and this has previously formed a reason for refusal. Site levels information (including comparative cross sections) has been provided and clarified. It confirms the requirement for retention within the site given the challenging site levels, most notably in the NW part of the site, where a retention structure is proposed alongside the realigned FP19. The proposed structure would range between 1.8 to 3.8 metres (107m in length). The applicant has stressed the previous approval of retention structures, constraints that require this approach and their willingness to finalise the detail of this and associated boundary design via condition.
- 10.59. The housing area to the either side of the Avenue are still subject to levels changes within rear gardens requiring the provision of retaining walls, but the design does limit the impact of levels changes visible within the public realm. The provision of retaining walls within rear gardens is a feature which has been present within all previous approvals on this site.
- 10.60. The site delivers different character areas of architecture in the form of the spine character area and the fringe character area which helps to give some variation to the proposed development.
- 10.61. The Design Officer has raised some concerns regarding the quality of the apartment buildings, but they have been modified to have a dual aspect for visible side elevations. More generally, the quality of the architectural response does revert to a more standard house type range (compared to the more bespoke approach adopted within the previously submitted scheme for the northern half of the site). The applicant has stated that these house types have been developed to respond to the cues in the CEC Design Guide, and it is accepted that aspects of the detailing/materiality within the range are characteristic within parts of Sandbach.
- 10.62. The avenue tree planting to be secured via the previous planning permissions is important to the character and success of this proposal. The submitted plans show that avenue tree planting would be secured, and this would be particularly successful along the main avenue.
- 10.63. The streets are generally contained by continuous frontage with front doors and primary frontages addressing streets with corner turning designs marking junctions and corners.
- 10.64. The main areas of open space/NEAP would be overlooked, and this represents an improvement from the previous appeal approval (21/2412C).
- 10.65. The proposed car parking meets the CEC standards and is generally quite well handled. There would be limited frontage parking within the development.



10.66. With the benefit of further refinement, clarification and the willingness of the developer to manage the detailed design of the retaining structure/boundary in the northwestern part of the site, the BHL assessment indicates a better performing scheme in design terms (the red ratings have been replaced with ambers and there has been an increase in the number of green scores within the development). There are still areas where the scheme could have been improved to create better place quality, but, on balance, the scheme is now supported from a design perspective, subject to conditions. The proposed development would comply with Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD, H2 of the SNP and guidance contained within the NPPF.

### **Landscape**

10.67. The application has been the subject of amendments and improvements in terms of the landscape layout. The amendments include clarification of the levels on the site, the location and surfacing of the footpath network within the site, additional tree planting within the avenue and streets, improvements in the layout and planting with the open space.

10.68. The Council's Landscape Architect has stated that the applicant has reacted positively to most of his previous comments. The Landscape Architect is satisfied with the design generally, although there needs to be more delicate detailing regarding the landscaping within the site, landscape management, details of the western footpath/safety fences and vehicle protection measures that are appropriate (all of which can be conditioned).

### **Public Rights of Way**

10.69. The proposed development would affect PROW Nos 17, 18, 19 & 50.

10.70. FP18 (located along the eastern boundary) would be retained along its current route within a 5m wide corridor (although there are some minor pinch points where this falls marginally below 5m). The level plans show that FP18 would be at a similar level to the nearest dwellings. The approach to FP18 is considered to be acceptable.

10.71. In terms of FP19 this runs through the centre of the site and Circular 1/09 indicates that revisions to routes *'should avoid the use of estate roads wherever possible and preference should be given to the use of made up estate paths through landscaped or open space areas away from vehicular traffic'*.

10.72. This application proposes the diversion of FP19 along the western boundary of the site. This would provide a pedestrian route without any potential conflict with vehicles. The treatment of FP19 is therefore considered to be acceptable.

10.73. In terms of FP17, the section through the farmyard is described in the Inspectors' decision letter at paragraph 44 for applications 19/2539C and 19/3784C states as follows;

*'Footpath 17 is not easy to navigate as it involves tackling an overgrown stile. It also passes close to a ménage and through the former farmyard of Fields Farm part of which is now used for the storage of contractor's materials. This is not typical farmyard clutter. The route, for much of its length, is not pleasant'*

10.74. The Inspector then went on to state at paragraph 46 that *'No concerns were raised at the inquiry about the realignment of Footpath 17 through the development which is understandable given its existing characteristics. The passage through residential avenues and the square would be an improvement on the existing route'*. This application proposes a diversion of FP17 so that it would loop around the southern boundary of the site, this would represent an improvement compared to the extant planning permissions.



- 10.75. FP50 is located at the far north of the site and joins FP18 and FP19. This footpath would be the subject of a minor diversion with surfacing along part of its length. This also represents an improvement compared to the extant planning permissions.
- 10.76. The requests by the PROW Officer to other footpaths within the vicinity of the site are noted. In this case, none of the existing applications have secured these contributions and the roundabout access and spine road have a detailed approval as part of application 19/3784C. The requested contributions are not considered to be reasonable or necessary.
- 10.77. The proposed development would comply with Policies SE1 and CO1 of the CELPS, Policy INF1 of the SADPD, and Policy PC5 of the SNP.

### **Public Open Space**

#### **10.78. On Site Provision**

- 10.79. Policy SE6 of the Cheshire East Local Plan Strategy provide a clear policy basis to require new developments to provide or contribute to Children's Play Space, Amenity Green Space, Green Infrastructure Connectivity and Allotments.
- 10.80. The public open space provision within the development has been the subject of discussions and amendments during the course of this application. Improvements have been made in terms of the amount of amenity green-space, separation distances to the NEAP, the addition of play-on-the-go equipment, surfacing of the footpaths and their siting.
- 10.81. Although the POS Officer has raised concern over the constrained nature of parts of the POS, there is no objection raised subject to the imposition of planning conditions.

#### **Outdoor Sport**

- 10.82. The development will increase demand on existing outdoor facilities. As such a financial contribution towards off site provision will be required. The financial contribution is required at a rate of £1,564.54 per family dwelling or £782.27 per bed space in apartments (to a maximum of £1,564.54 per apartment). The funds would be required on or prior to commencement of development and would be used in line with the Council's adopted Playing Pitch and Outdoor Sports Strategy.

### **Trees**

- 10.83. The Congleton Borough Council (Hassall Road, Houndings Lane) TPO 1979 affords protection to one individual Ash (T3 of the TPO and T19 of Arboricultural Impact Assessment) adjacent to the boundary with 8 Laurel Close. The remaining trees are not protected, including various semi mature and early mature groups of mixed broadleaf trees, a group of mature Oak and Sycamore to the north of Houndings Lane Farm, two individual Limes trees, a group of trees located centrally within the site associated with the now demolished farm buildings and two individual Oak trees located to the boundary with Houndings Lane to the south.
- 10.84. The submitted Arboricultural Impact Assessment (AIA) confirms the development will require the loss of eight category C (low quality and value) Sycamore and Holly trees, one Alder (T20) due to poor condition and the partial or full loss of various groups of trees (G1-G8). The AIA states that the proposed losses can be compensated by new / replacement planting and biodiversity enhancements through landscape proposals.



- 10.85. The Councils Tree Officer agrees that the proposed tree losses will have only a slight adverse impact on visual amenity which is restricted to the site and immediate surroundings.
- 10.86. New hard surfacing will encroach into Root Protection Areas (RPA) of retained trees T4, T5, T6 and T7) for the proposed car park adjacent to Plot 149; Lime (T18) for the proposed access/driveway to Plot 45; Ash (T19) and footpath link to the eastern boundary.
- 10.87. Having regard to BS5837:2012, the proposed encroachment represents only a small percentage of the available Root Protection Area (RPA) and does not exceed 20% of unsurfaced ground. The Councils Tree Officer agrees with the detail provided in the supporting Arboricultural Method Statement (AMS) which will provide for arboricultural supervision and appropriate no dig methodology for footpath construction. This will safeguard working methods for any encroachment within the RPA's affected.
- 10.88. The proposed driveway and footpath to facilitate access to Plots 116/117 will significantly encroach into the RPA of two unprotected Oak (T8 and T9). The proposed encroachment is addressed in the supporting AMS by the incorporation of a 'no dig' driveway using Cellweb Tree Root Protection (TRP) and porous tarmac. The AMS Whilst the use of Cellular Confinement Systems (CCS) as a load bearing surface over tree roots can in most cases overcome the adverse impact of standard roadway construction, the suitability of such installations particularly if the road is required to be to an adoptable standard will require further analysis by the highway engineer. The highways engineer has confirmed that the adoption will end at the turning head, so the no dig construction would be acceptable in this location.
- 10.89. The AIA has not identified and issues relating to shading from retained trees and nuisance. The relationship of the apartments (Plot 142-153) east of Sycamore (T3) has potential for shading of the plot during the afternoon, however the Councils Tree Officer has confirmed that he is happy with this relationship.
- 10.90. The proposed utilities have not been considered as part of the AIA. A proposed drainage plan has been submitted in support of this application which indicates there are no significant implications for retained trees.
- 10.91. The proposals include avenue planting along the main spine road, hedgerow planting and native woodland planting to enhance the A534 and Houndings Lane Farm boundaries. The proposed planting would provide the appropriate mitigation for the loss of trees within the site and therefore accord with Policy SE 5 of CELPS.
- 10.92. The impact upon the trees on the site is considered to be acceptable.

## **Ecology**

### Statutory Designated Sites

- 10.93. The application site falls within Natural England's SSSI impact risk zones. Natural England have been consulted as part of this application and have not raised any objections in terms of the potential impacts of the proposals upon designated sites.

### Mandatory Biodiversity Net Gain

- 10.94. This application is subject to Mandatory Biodiversity Net Gain under the Environment Act.



- 10.95. The submitted BNG report concludes that the proposed development would result in a net gain of 22.67% for area-based habitats, 11.96% for hedgerows and 10.09% for watercourses.
- 10.96. The delivery of a net gain is dependent upon additional habitat creation measures on land within the redline of the application, but which is located on the opposite side of the A534 to the main development parcels.
- 10.97. Biodiversity Net Gain will be secured via the imposition of planning conditions.

#### Ecological Network

- 10.98. The application site falls within a Restoration Area of the Cheshire East Ecological Network which forms part of the SADPD. Policy ENV1 therefore applies to the determination of this application.
- 10.99. Whether the application leads to an enhancement of the CEC ecological network can be assessed through the use of the biodiversity metric described above.
- 10.100. This planning application provides an opportunity to incorporate features to increase the biodiversity value of the development in accordance with Local Plan Policy SE 3. The Council's Ecologist recommends that the applicant submits an ecological enhancement strategy prior to the determination of the application or if planning permission is granted a condition should be attached which requires the submission of an ecological enhancement strategy.

#### Hedgerows

- 10.101. There are a number of native hedgerows on site. Native Hedgerows are a priority habitat and hence a material consideration. The submitted AIA identifies the need for hedgerows to be removed to facilitate the proposed development. The applicant's ecological consultant has referred to a Hedgerow Regulations assessment undertaken in respect of application 18/4892C which concludes that the hedgerows on site were not important under 'archaeology and History' or 'Wildlife and Landscape' Criteria.

#### Bats

- 10.102. A number of trees on site have been identified as offering potential for roosting bats. The submitted arboricultural impact assessment identifies the need for a number of trees to be removed to facilitate the proposed development, which includes the removal of a number of trees with potential to support roosting bats. These trees have been surveyed with no evidence of roosting bats recorded.
- 10.103. The buildings previously present on site were found to support bat roosts during surveys undertaken in support of earlier applications at this site. All buildings have now been demolished. The applicant has advised that the implementation of mitigation for the demolition of the building is outside of their control. They have however offered to prove bat boxes on site within a month of development commencing. This can be dealt with through the imposition of an ecological enhancement condition.

#### Hedgehogs

- 10.104. There are historical records of this priority species being present on the application site. Consequently, there is a risk that this species may occur on site on at least a transitory basis. The proposed development would result in a moderate impact upon this species, if



present, due to the loss of extensive areas of low suitability habitat and smaller areas of higher value habitat and the risk of animals being harmed during site clearance operations.

- 10.105. If planning consent is granted, conditions can be imposed to minimise the risk of hedgehog being harmed. Features for this species can be secured through the ecological enhancement condition discussed above.

#### Watercourse Safeguards

- 10.106. The application site is located near a watercourse. In order to protect the watercourse, the applicant should provide a Construction Environment Management Plan and this can be secured via the imposition of a planning condition.

#### Other Protected Species

- 10.107. No evidence of activity was recorded during the submitted survey, but the submitted Ecological Appraisal concludes that there is a possibility that other protected species may use the site on an occasional basis for foraging purposes. The proposed development would pose a low risk to other protected species due to the lack of any evidence of their presence.

#### Great Crested Newts (GCN)

- 10.108. The submitted Preliminary Ecological Appraisal recommends that Great Crested Newt impact assessment must be undertaken to investigate the potential impacts of the proposed development upon this protected species.

- 10.109. There is only a single potential pond with any connectivity to the application site. The applicant's ecological consultant has confirmed that this is a slurry lagoon. Therefore, this species is not reasonable likely to be affected by the proposed development.

#### 10.110. Water Vole and Otter

- 10.111. No evidence of water voles was recorded during the latest survey, which is consistent with previous surveys. This species is not reasonable likely to be affected by the proposed development.

- 10.112. Whilst no evidence of otter was recorded, this species is known to be present in the wider area and was recorded on site during surveys undertaken to inform a 2019 application. This species is likely to pass along Arclid Brook on a transitory basis. No features offering shelter or protection for otters were however recorded on site.

- 10.113. The proposed access road crossing Arclid Brook is likely to have an impact on otter as a result of loss of connectivity and increased risk of road traffic collisions. In order to mitigate this effect, the applicant must submit proposals for the incorporation of a mammal ledge under the culvert and suitable protective fencing to limit the risk of otters crossing the proposed road.

#### Nesting Birds

- 10.114. If planning consent is granted a standard condition is required to safeguard nesting birds.



### Non-native Invasive Plant Species

- 10.115. A number of non-native invasive plant species are present on site. If planning consent is granted a condition can be imposed for the submission and implementation of a method statement for the control of these species.

### **Flood Risk/Drainage**

- 10.116. The application site is located largely within Flood Zone 1 (low probability of flooding) although the far north of the site around the existing watercourse is identified as Flood Zone 2 (medium probability of flooding) and 3 (high probability of flooding). The proposed buildings would all be located within Flood Zone 1, but part of the access is within Flood Zones 2 & 3 and the watercourse would be culverted under the proposed access (as noted elsewhere in this report the access was approved as part of the previous approvals).
- 10.117. In this case the Environment Agency have considered the application and raised no objection. Since then, the Drainage Strategy has been revised to resolve concerns raised by the Councils Flood Risk Officers. Updated comments are awaited from the Environment Agency based upon the revised Drainage Strategy, this will be provided as part of an update report.
- 10.118. United Utilities originally objected to the application due to the impact upon their infrastructure. The layout has been amended, and a revised Drainage Strategy has been provided. Updated comments are awaited from United Utilities based upon the revised Drainage Strategy/layout, this will be provided as part of an update report.
- 10.119. The Councils Flood Risk Officer has stated that he has no objection in principle to this application subject to the imposition of planning conditions.
- 10.120. As a result, the development is acceptable in terms of its drainage and flood risk implications.

### **Education**

- 10.121. The proposed development of 179 dwellings (excluding the one bed units) is expected to generate:
- 44 - Primary children
  - 21 - Secondary children
  - 4 - SEN children
- 10.122. The development is expected to impact on school places in the locality. Contributions which have been negotiated on other developments are factored into the forecasts both in terms of the increased pupil numbers and the increased capacity at schools in the area as a result of agreed financial contributions. The analysis undertaken has identified that a shortfall of school places still remains.
- 10.123. The children expected from this development will exacerbate the shortfall. To alleviate forecast pressures, contributions of £879,516 (Primary), £577,332 (Secondary) and £299,680 (SEN) will be required to mitigate the impact of this development and these contributions will be secured as part of a S106 Agreement.

### **Health Infrastructure**



10.124. The potential impact upon healthcare provision in Sandbach is noted and comments from the NHS states that the patient lists are increasing at Ashfields Primary Care Centre and Haslington Surgery. In order to mitigate the impact of this development a contribution has been requested, and this will be secured as part of a S106 Agreement. In order to mitigate the impact of this development a contribution of £211,015 will be required and this will be secured as part of a S106 Agreement (this figure is based on the earlier scheme of 203 dwellings. The proposal is now 204 dwellings and an update has been requested).

### **Climate Change**

10.125. Policy ENV7 of the SADPD requires that all 'major' residential development schemes should provide for at least 10% of their energy needs from renewable or low carbon energy generation on site unless the applicant can clearly demonstrate that having regard to the type of development and its design, this is not feasible or viable.

10.126. In this case the applicant has provided a plan to show that all of the units within the development will be fitted with solar panels and this will be controlled via the imposition of a planning condition.

### **CIL Compliance**

10.127. In order to comply with the Community Infrastructure Regulations 2010 it is necessary for planning applications with planning obligations to consider the issue of whether the requirements within the S106 satisfy the following:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

10.128. The development would result in increased demand for education provision in Sandbach where there is limited spare capacity. In order to increase capacity of the local schools which would support the proposed development, a contribution towards education provision is required. This is considered to be necessary and fair and reasonable in relation to the development.

10.129. The development would provide on-site POS/NEAP which will require a scheme of management and would require outdoor sport mitigation in accordance with Policies within the CELPS. This is considered to be necessary and fair and reasonable in relation to the development.

10.130. The development would result in increased population which would require medical care provision. The contribution towards the NHS is in accordance with Policies within the CELPS. This is considered to be necessary and fair and reasonable in relation to the development.

10.131. On this basis the S106, recommendation is compliant with the CIL Regulations 2010.

## **11. Planning Balance/Conclusion**

11.1. The application site is within the Settlement Zone Line as identified by the Development Plan and has an extant planning permission for residential development.



- 11.2. The highways implications of the development are considered to be acceptable, and the roundabout and spine road were approved as part of application 19/3784C. The offsite highway works represent a major improvement to the highway network in Sandbach.
- 11.3. Due to the increased cost of the off-site highway works, there would be a reduction in the affordable housing provision on this site. As noted above the off-site highway works are a major improvement and the viability case put forward is accepted. There is no objection from the Housing Officer in terms of the proposed affordable housing provision.
- 11.4. The issues of noise, air quality and contaminated land are considered to be acceptable and would comply with SE 12 of the CELPS. The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU12 and HOU13 of the SADPD.
- 11.5. The design of the proposed development has been the subject of revised plans and is now of an acceptable design. The design complies with Policies SE1, SD1 and SD2 of the CELPS, the CEC Design Guide, GEN1 of the SADPD and H2 of the SNP.
- 11.6. The site has a challenging topography and the development is considered to be acceptable in terms of the levels changes on the site.
- 11.7. The drainage/flood risk implications for this proposed development are considered to be acceptable by the Councils Flood Risk Officer and no objection is raised subject to the imposition of a condition. An updated consultation response will be provided in terms of the comments from UU and the Environment Agency.
- 11.8. The proposed development would affect the PROW which cross the site. Given the views of the Inspectors and the SoS within the recent appeal decisions there would be no conflict with Policies SE1 and CO1 of the CELPS, Policy INF1 of the SADPD, or Policy PC5 of the SNP.
- 11.9. There are no objections to the application in terms of the impact upon the trees on the site or in terms of ecology. The proposal would comply with Policies SE1, SE3, SE4, SE5, and SE6 of the CELPS, policies ENV3, EN5 and ENV6 of the SADPD and policy PC4 of the SNP.
- 11.10. The proposed development has a better relationship with the open space/play area than the earlier revisions of this application and is now considered to be acceptable.
- 11.11. On the basis of the above the application complies with the Development Plan when read as whole and the application is recommended for approval.

## 12. **Recommendation**

**APPROVE subject to a S106 Agreement with the following Heads of Terms:**

<b>S106</b>	<b>Amount</b>	<b>Triggers</b>
<b>Affordable Housing</b>	Affordable housing	20% Affordable Provision (40 units) with a 67.5% to 32.5% tenure split between Affordable Rent and Shared Ownership.



<b>Amenity Green Space and Play Provision</b>	On site provision of Open Space and a NEAP.  Scheme of Management to be submitted and approved	Shall be provided prior to the first occupation of 30% of the dwellings on the site.
<b>Outdoor Sports Contribution</b>	£299,609.41	To be paid prior to the occupation of the 120 <sup>th</sup> dwelling
<b>NHS</b>	£211,015 (sum to be confirmed)	To be paid prior to the first occupation of the 120 <sup>th</sup> dwelling
<b>Education</b>	£879,516.00 (Primary) £577,332.00 (Secondary) £299,680.00 (SEN)	- Primary to be provided prior to first occupation of the 50 <sup>th</sup> dwelling  - Secondary to be provided prior to first occupation of the 15 <sup>th</sup> dwelling  - SEN to be provided prior to first occupation

And the following conditions:

1. Standard Time – 3 years
2. Approved Plans
3. At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings.
4. At least 6% of the dwellings in housing developments should comply with the requirement m4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.
5. Submission and approval of a scheme for acoustic mitigation
6. Submission and approval of a scheme for odour mitigation
7. Low emission boiler provision
8. Phase II Contaminated Land report to be provided
9. Contaminated land verification
10. Contaminated land – importation of soil
11. Contaminated land – unexpected contaminated land
12. Construction Management Plan to be submitted and approved
13. Materials to be submitted and approved
14. Cycle parking provision to be submitted and approved
15. Submission and approval of a tree protection scheme and Arboricultural Method Statement
16. Submission of a scheme for the provision of Biodiversity Net Gain
17. Submission, approval and implementation of a management plan to ensure the delivery and monitoring of the BNG measures
18. Submission and approval of a scheme for the removal of non-native invasive species
19. Hedgehog mitigation (Reasonable Avoidance Measures)
20. Submission and approval of a Construction Environment Management Plan
21. Submission and approval of a scheme for a mammal ledge
22. Nesting birds – timing of works



23. Lighting to be submitted and approved.
24. Ecological Enhancement Management Plan to be submitted and approved.
25. Submission and approval of a drainage strategy.
26. Prior to the first occupation of the development the improved roundabout access and off-site highway works shall be fully implemented and operational.
27. 10% of energy needs to be from renewable or low carbon energy
28. Obscure glazing requirement – Apartments at plots 15-18 first-floor windows facing north east and first floor side windows on plots 23 and 59.
29. Boundary Treatment – including any fencing to the PROW, the drainage basin and any highway safety barriers
30. Detailed designs of the retaining structures to be submitted and approved.
31. Landscaping (including food growth/production) to be submitted
32. Landscaping to be implemented
33. Landscaping Management Strategy to be submitted and approved
34. Hard landscaping to be submitted and approved.
35. Details of the themed NEAP equipment and play-on-the-go equipment to be submitted and approved.

In order to give proper effect to the Committee's intent and without changing the substance of its decision, authority is delegated to the Head of Planning in consultation with the Chair of the Strategic Planning Board (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.

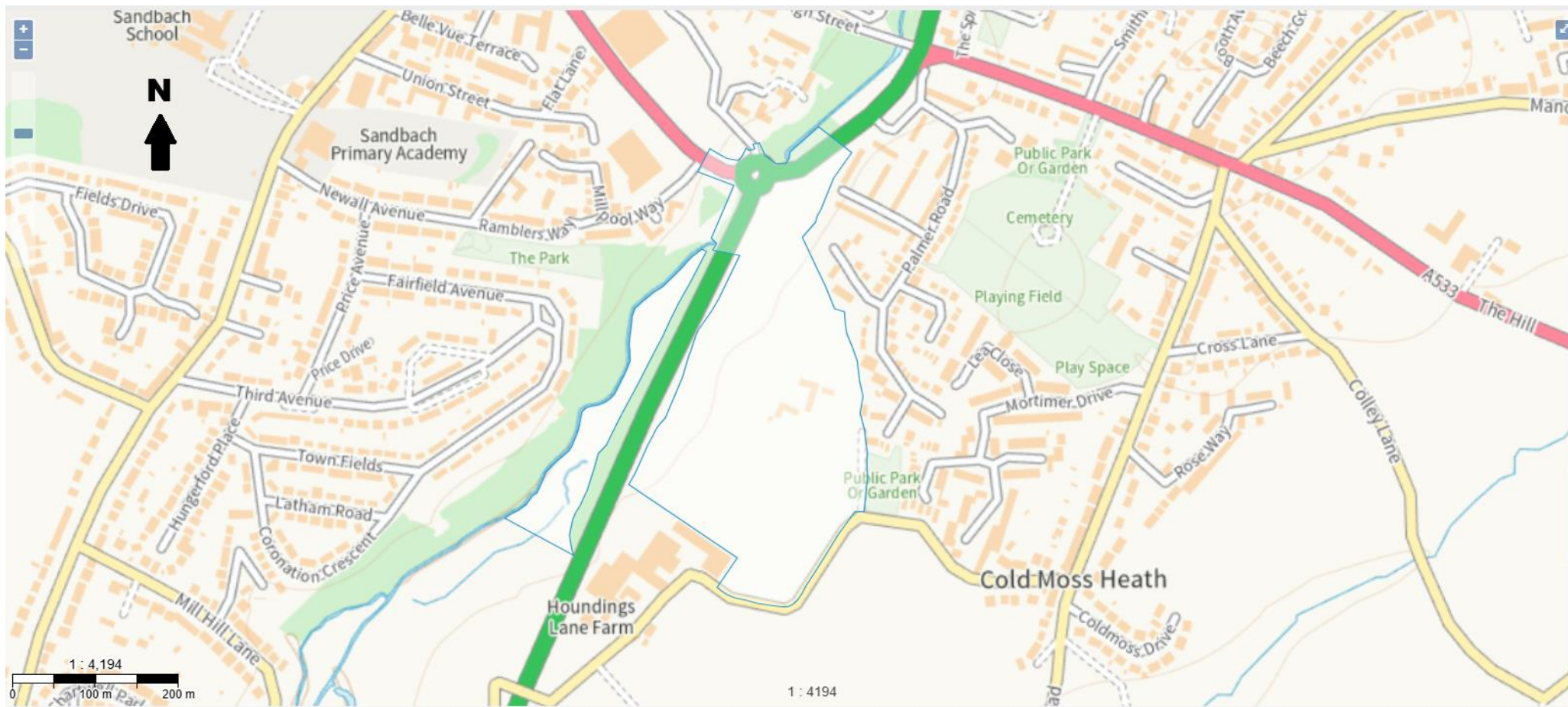
Should the application be the subject of an appeal, approval is given to enter into a S106 Agreement with the following Heads of Terms

<b>S106</b>	<b>Amount</b>	<b>Triggers</b>
<b>Affordable Housing</b>	Affordable housing	20% Affordable Provision (40 units) with a 67.5% to 32.5% tenure split between Affordable Rent and Shared Ownership.
<b>Amenity Green Space and Play Provision</b>	On site provision of Open Space and a NEAP.  Scheme of Management to be submitted and approved	Shall be provided prior to the first occupation of 30% of the dwellings on the site.
<b>Outdoor Sports Contribution</b>	£299,609.41	To be paid prior to the occupation of the 120 <sup>th</sup> dwelling
<b>NHS</b>	£211,015 (sum to be confirmed)	To be paid prior to the first occupation of the 120 <sup>th</sup> dwelling
<b>Education</b>	£879,516.00 (Primary) £577,332.00 (Secondary) £299,680.00 (SEN)	- Primary to be provided prior to first occupation of the 50 <sup>th</sup> dwelling



		<ul style="list-style-type: none"> <li>- Secondary to be provided prior to first occupation of the 15<sup>th</sup> dwelling</li> <li>- SEN to be provided prior to first occupation</li> </ul>
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24/4287/FUL

Land South Of Old Mill Road,  
Sandbach,  
Cheshire.



Disclaimer  
On-site works from this drawing  
All contractors must visit the site and be responsible for taking and checking dimensions.  
All construction information should be taken from signed dimensions only.  
Any discrepancies between drawings, specifications and site conditions must be brought to the attention of the surveying office.  
This drawing is for planning purposes only. It is not intended to be used for construction purposes. Whilst all reasonable efforts are used to ensure drawings are accurate, Aspire Planning and Design Ltd accept no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

ACCOMMODATION SCHEDULE									
Name	IS	Bed	Storey	Unit No	Unit m <sup>2</sup>	Unit m <sup>2</sup>	Unit m <sup>2</sup>	Unit m <sup>2</sup>	Total
Private Housing (164)									
Cartmel	CART	4 Bed	2.5	14	1554	21756			
Osmeiries	OSMAY DA	4 Bed	2	3	1515	4545			
Osmeiries DA	OSMAY	4 Bed	2	14	1515	21210			
Marford - M4[2]	MARF	4 Bed	2	22	1329	29238			
Eaton	ELXT	3 Bed	2.5	22	1180	25960			
Shorndon	SNOW	2 Bed	2.5	8	1060	8480			
Longford - M4[3]	LONG	3 Bed	2	8	1149	9192			
Ainsdale M4[2]	AINS	3 Bed	2	1	1109	1109			
Brinkdale	BRK	3 Bed	2	22	1101	24222			
Doddleston B	DOOL-B	3 Bed	2	5	1056	5280			
Eccleston	ECOL	3 Bed	2	5	1056	5280			
Burton	BURT	2 Bed	2	4	756	3024			
Newton	NEWT	3 Bed	2	15	1003	15045			
AF3-1	AF3-1	3 Bed	2	2	1003	2006			
AF3-4	AF3-4	3 Bed	2	1	1045	1045			
Maxley - M4[3]	MAXL	2 Bed	2	4	866	3464			
Disley - M4[2]	DISL	1 Bed GF	2	3	542	1626			
Disley	DISL	1 Bed GF	2	3	569	2067			
Disley 4 - M4[2]	DISL4	1 Bed GF	2	2	542	1084			
Disley 4	DISL4	1 Bed GF	2	2	569	1138			
Disley 4 - M4[2]	DISL4	1 Bed GF	2	2	529	1058			
Disley 4	DISL4	1 Bed GF	2	2	555	1110			
Private Housing Total:				143 Units		174341 m <sup>2</sup>			
Affordable Housing (40)									
AF3-1	AF3-1	3 Bed	2	2	1003	2006			
AF3-4	AF3-4	3 Bed	2	3	1045	3135			
AF2-1 - M4[2]	AF2-1	2 Bed	2	8	911	7288			
Maxley - M4[3]	MAXL	2 Bed	2	1	866	866			
Yeovil (3)	YEOV	3 Bed	2	1	1039	1039			
Yeovil (1)	YEOV	1 Bed	2	1	662	662			
Apartment 1 - M4[2]	APT 1	1 Bed GF	1	4	542	2168			
Apartment 2 - M4[2]	APT 2	1 Bed GF	1	4	539	2156			
Apartment 1	APT 1	1 Bed	3	8	542	4336			
Apartment 2	APT 2	1 Bed	3	8	539	4312			
Affordable Housing Total:				40 Units		27968 m <sup>2</sup>			
Grand Total:				204 Units		217307 m <sup>2</sup>			
Gross Site Area:				7.93 ha		19.59 ac			
Site Statistics:									
SSR		0.47 ha		1.17 ac					
POS		2.08 ha		5.14 ac					
Boulevard		0.18 ha		0.44 ac					
Nett Site Area:									
		5.20 ha		12.84 ac					
Gross Density:		25.74 Un/ha		10.41 Un/ac					
Nett Density:		39.27 Un/ha		15.89 Un/ac					
Gross Footage:									
		2546.90 m <sup>2</sup> /ha		11094.28 Un/ac					
Nett Footage:									
		3886.07 m <sup>2</sup> /ha		16928 ft <sup>2</sup> /ac					
*Note - All Areas Approx. Abbreviations Ac = Acres   ha = Hectares   m <sup>2</sup> = square metres   Un = units   m <sup>2</sup> = square metres   SSR = Single Sided Road   POS = Public Open Space   Det = Detached   Apt = Apartment   Int = Integral   Sgl = Single   Oth = Other									



Proposed Layout Key	
	Red Edge Boundary extracted from the Assessment Layout (see A115-1020 m <sup>2</sup> )
	Plot Number
	Denotes Existing Buildings
	Denotes proposed realignment of P1017 crossing through the development
	Denotes Affordable Housing. Refer to Affordable Housing layout for more
	Bin collection point
	Bin storage point
	Cycle storage. Details to be confirmed
	Proposed location of NEAP. Refer to landscaping proposals for further details
	Location of M4[2] compliant house type - 62 No. units (20% provision)
	Location of M4[3] compliant house type - 13 No. units (30% provision)
	Existing trees and hedges to be retained
	Existing trees and hedges to be removed

References

- S278 Roundabout Details - Eddisons Proposed Roundabout Improvement Plan. PRQP-F01 Rev A dated May '24
- CG Plan - Licence no. 100022432
- Topographical Survey - extracted from Powers & Titman dg. 6275-01 dated 05.04.23
- Red Edge Boundary - provided by BS dated 08.08.24
- Drainage - TBC
- Tree Survey - Ascerta Tree's for Renterdon dwg P.1808.23.02 dated 05.04.23

General Notes

This drawing needs to be read in conjunction with the following plans:

- Planning layout
- Landscaping layout

1:500 0 5 10 15 25m

ANWYL  
thoughtful homes

Project  
**OLD MILL ROAD  
SANDBACH**

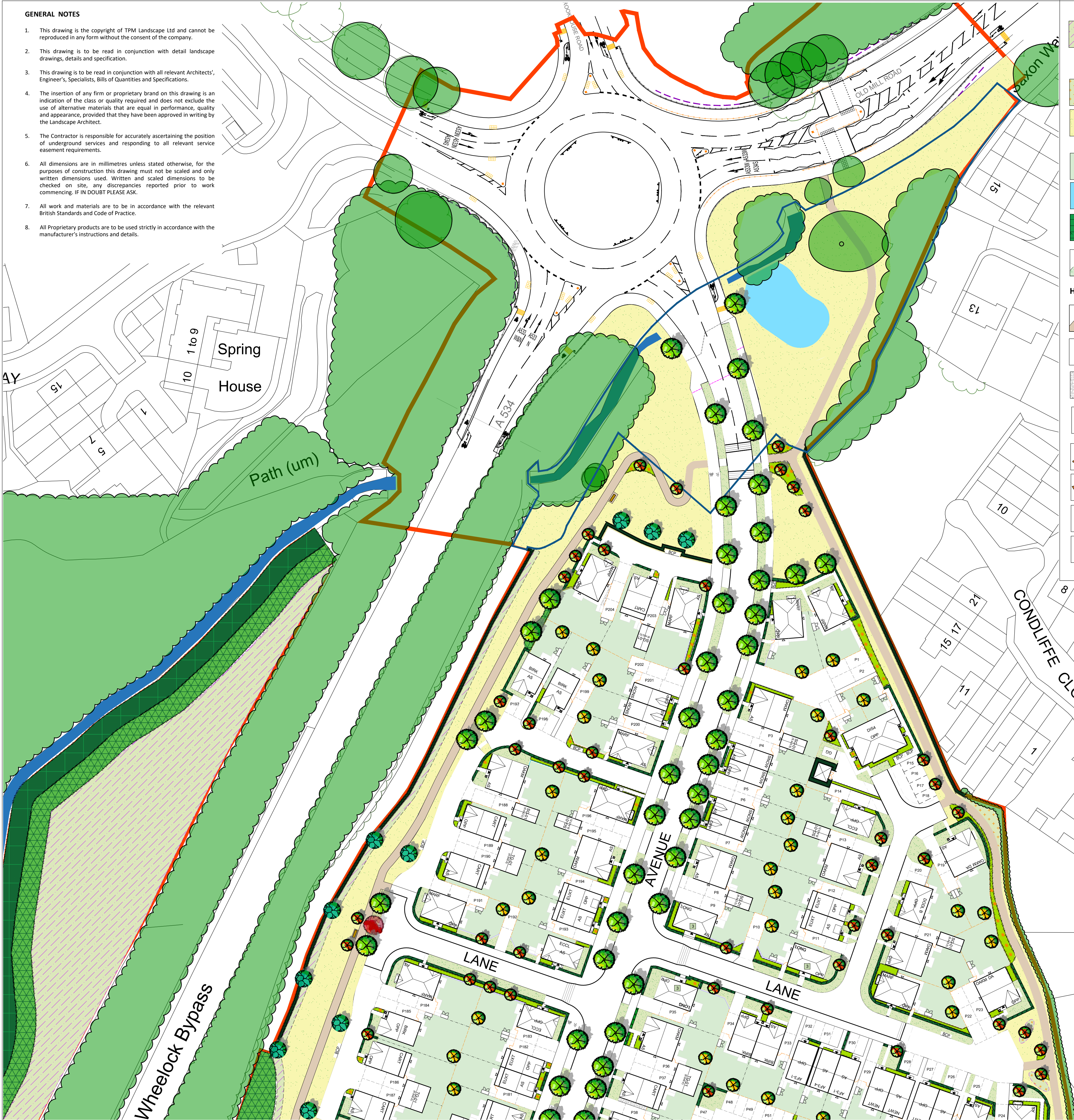
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LAYOUT**

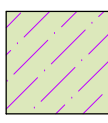
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Aspire Planning & Design Limited  
The Steam Mill, Sandbach, Cheshire, CW9 3AH  
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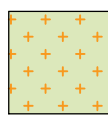


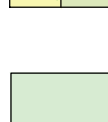
GENERAL NOTES

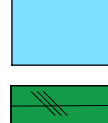
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3. This drawing is to be read in conjunction with all relevant Architects', Engineer's, Specialists, Bills of Quantities and Specifications.
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5. The Contractor is responsible for accurately ascertaining the position of underground services and responding to all relevant service easement requirements.
6. All dimensions are in millimetres unless stated otherwise, for the purposes of construction this drawing must not be scaled and only written dimensions used. Written and scaled dimensions to be checked on site, any discrepancies reported prior to work commencing, IF IN DOUBT PLEASE ASK.
7. All work and materials are to be in accordance with the relevant British Standards and Code of Practice.
8. All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.

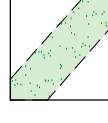


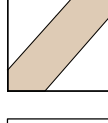
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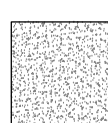
**Proposed Wildflower Meadow**  
To be Special General Purpose Meadow Mixture (EM3), supplied by Emorsgate or similar approved. Including 20% native wild flowers and 80% slow growing grasses.
- 

**Proposed Bulb Planting**  
To provide seasonal interest.
- 


**Proposed Grass Areas**  
Species rich grassland in POS area. Front garden to be turf.  
Note: To be managed through regular grass cut
- 

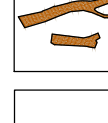
**Proposed Grass in Back Gardens**  
Back gardens to client specification.
- 


**Proposed Pond**
- 


**Proposed Marginal Plants**  
Mix of marginal plants to wetland area.
- 


**Proposed Informal Footpath in POS area**  
Mown grass path.
- HARD LANDSCAPE**




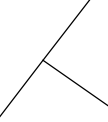
**Proposed Footpath**  
Compacted gravel path or colored Tarmac.
- 

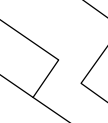
**Proposed Seat**
- 


**Proposed Gravel**
- 

**Proposed Public Art**  
Located in the southeastern POS area, specified by others.
- 

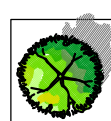
**Proposed Raised Timber Planks**  
To have smooth flat surface
- 

**Proposed Large Fallen Tree Trunks**  
To have smooth surface
- 

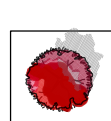
**Proposed Boulders with specimens**
- 

**Proposed Timber Stepping Trunks**
- LEGEND
- 

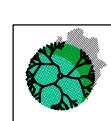
**Existing Trees and Hedge to be Retained**  
Trees to be retained and protected in line with BS5837:2012.



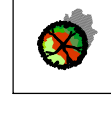
**Proposed Avenue Trees**  
Trees to be planted as 20-25cm girth, Semi-mature, 4.5-5m high. Trees to be planted with a double timber stake secured with a rubber tree tie.



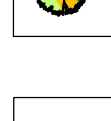
**Proposed Feature Trees**  
Feature tree with vibrant autumn colour. Trees to be planted as 20-25cm girth, Semi-mature, 4.5-5m high. Trees to be planted with a double timber stake secured with a rubber tree tie.




**Proposed Native Trees**  
Trees to be planted as 14-16cm, Extra-heavy Standard, 3-4m high. Trees to be planted with a double timber stake secured with a rubber tree tie.



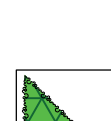
**Proposed Small Trees**  
Trees to be planted as 10-12cm girth or multi-stem specimens, 3-3.5m high and secured with single stake and suitable rubber ties.




**Proposed Back Graden Trees**  
Trees to be planted as 10-12cm girth, Selected Standard, 2.5-3.5m high. Trees to be staked and secured with suitable rubber ties.



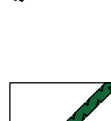
**Proposed Fruit Trees**  
Trees to be planted as 10-12cm girth, 2-3m high and secured with single stake and suitable rubber ties. Fruit tree species should be suitable to the local climate and soil conditions including apple, pear, plum, or cherry.



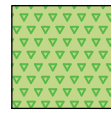
**Proposed Shrub Planting**  
Ornamental shrub planting, to be planted in 3-4L containers at 3-4 p/m<sup>2</sup>, and enhanced by feature specimens in 10-20L pots.



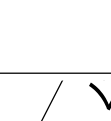
**Proposed Native Rich-species Scrub Mix**  
To be planted as bare root stock, 60-80cm, planted at 2/m<sup>2</sup>.




**Proposed Native Woodland Mix**  
To be planted as bare root stock, 100-120cm, planted at 1/m<sup>2</sup>.



**Proposed Native Hedgerows**  
Native hedge mix, planted at 100-120cm, bare root stock, in a double staggered row at 400mm centres.



**Proposed Ornamental Hedgerows**  
Evergreen hedgerows to be planted in 10L containers at a rate of 3-4 per lin. metre.



**Proposed Wildflower Meadow Attenuation Pond**  
To be Emorsgate EM8F Wild Flowers for Wetland, supply by Emorsgate or similar approved. Sowing rate 1.5/gm<sup>2</sup>.
- | REVISION NOTES |    |   |          |
|----------------|----|---|----------|
| Rev            | By | Description   | Date     |
| K              | RN | Updated as per latest layout, Replaced Wildflower meadows with Grass.       | 13.05.25 |
| J              | TS | Added footpath surface to POS path within council land and minor amendments | 08.05.25 |
| I              | TS | Updated in line with the latest layout                                      | 07.05.25 |
| H              | TS | Updated in line with the latest layout and the LPA comments                 | 06.05.25 |
| G              | TS | Updated in line with the ecologist comments                                 | 18.03.25 |
| F              | TS | Updated in line with the ecologist comment                                  | 11.03.25 |
| E              | TS | Updated in line with the latest layout and ecologist / client comments      | 06.03.25 |
| D              | TS | Updated in line with the latest layout and comments                         | 24.02.25 |
| C              | TS | Updated in line with the ecologist's comments for BNG                       | 11.10.24 |
| B              | TS | Updated in line with the new layout (Red-line boundary has been updated)    | 03.10.24 |
| A              | TS | Updated in line with the new layout and comments                            | 13.09.24 |
- Client  
**Anwyl Homes**

Project  
**Old Mill Lane, Sandbach**

Description  
**Extract of Landscape Masterplan (1 of 2)**

Status  
**For Approval**

Scale @ A1  
**1:500**

Job number  
**4513**

Drawn  
**TS**

Drawing number  
**102**

Checked  
**CT**

Date  
**23.08.24**

Revision  
**K**
- tpm landscape**  
chartered landscape architects  
address: 4th Floor Studio 10 Little Lower St Manchester M1 1HR  
tel: 0161 235 0600 fax 0601 email info@tpmlandscape.co.uk
- refers to 4513 103
- Page 157





LEGEND

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To have smooth flat surface
- Proposed Large Fallen Tree Trunks**  
To have smooth surface
- Proposed Boulders with specimens**
- Proposed Timber Stepping Trunks**

GENERAL NOTES

- This drawing is the copyright of TPM Landscape Ltd and cannot be reproduced in any form without the consent of the company.
- This drawing is to be read in conjunction with detail landscape drawings, details and specification.
- This drawing is to be read in conjunction with all relevant Architects', Engineer's, Specialists, Bills of Quantities and Specifications.
- The insertion of any firm or proprietary brand on this drawing is an indication of the class or quality required and does not exclude the use of alternative materials that are equal in performance, quality and appearance, provided that they have been approved in writing by the Landscape Architect.
- The Contractor is responsible for accurately ascertaining the position of underground services and responding to all relevant service easement requirements.
- All dimensions are in millimetres unless stated otherwise, for the purposes of construction this drawing must not be scaled and only written dimensions used. Written and scaled dimensions to be checked on site, any discrepancies reported prior to work commencing. IF IN DOUBT PLEASE ASK.
- All work and materials are to be in accordance with the relevant British Standards and Code of Practice.
- All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.

REVISION NOTES

Rev	By	Description	Date
J	RN	Updated as per latest layout, Replaced Wildflower meadows with Grass.	13.05.25
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Client

Anwyl Homes

Project

Old Mill Lane, Sandbach

Description

Extract of Landscape Masterplan (2 of 2)

Status

For Approval

Scale @ A1	Drawn	Checked	Date
1:500	TS	CT	23.08.24
Job number	Drawing number	Revision	
4513	103	J	

**tpm landscape**  
chartered landscape architects

address: 4th Floor Studio 10 Little Lever St Manchester M1 1HR  
tel: 0161 235 0600 fax 0601 email: info@tpmlandscape.co.uk





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# OLD MILL ROAD

SANDBACH

## HOUSE TYPE PACK

**FEBRUARY 2025**

For planning purposes only  
Housetype Scales: 1:100/1:200@A3



**SPINE**  
NTS@A3



Character Areas

- Spine
- Fringe



THE DISLEY  
1B2P

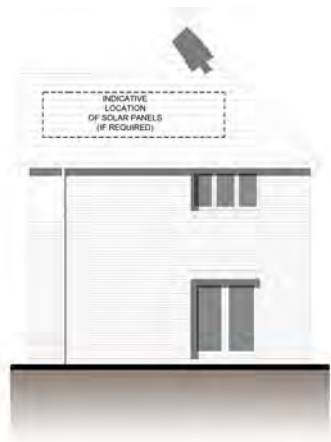
GROSS : 542ft² / 689ft² / 50.3m² / 64m²



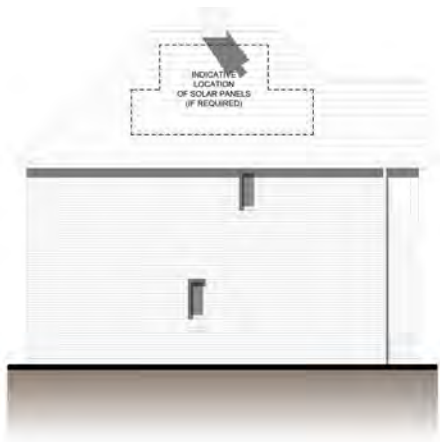
FRONT ELEVATION@1:100



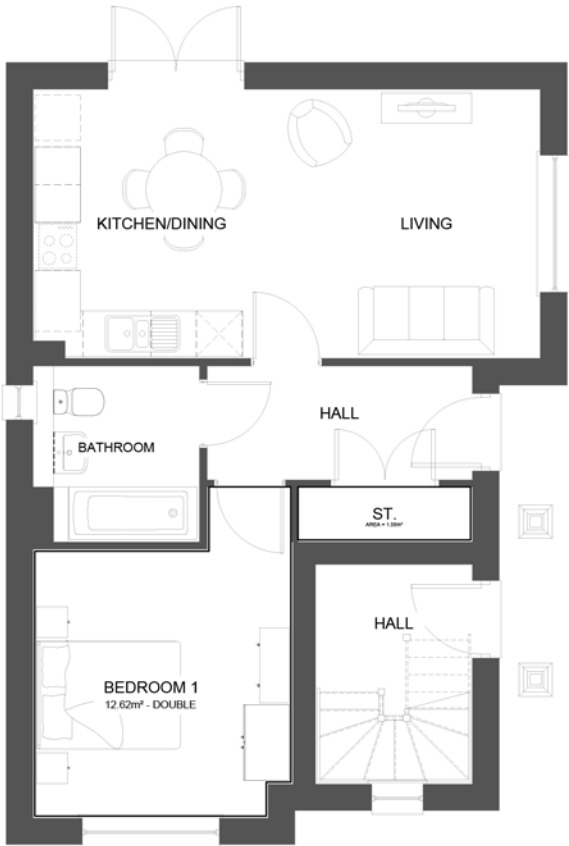
FRONT ELEVATION@1:100



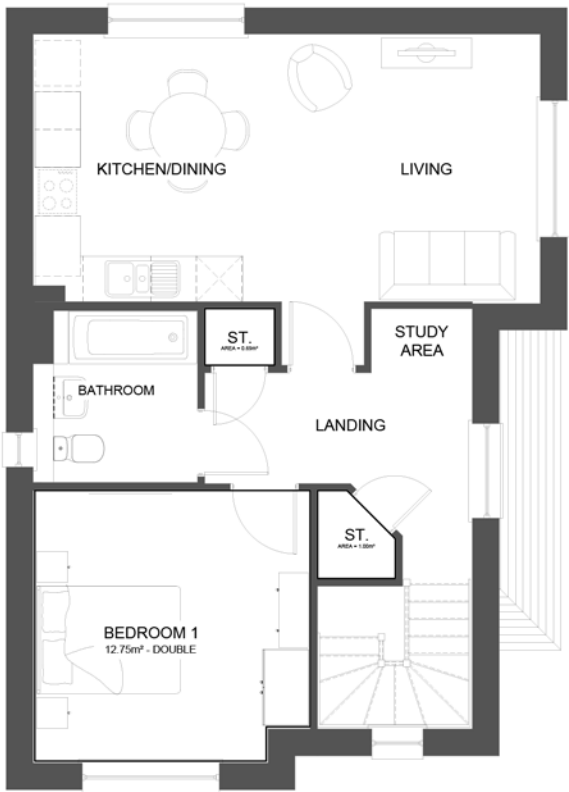
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



NDSS

FF  
GF

M4(2)

M4(3)



THE NEWTON

3B4P

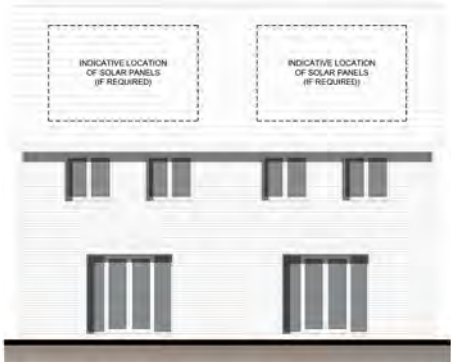
GROSS : 1003ft<sup>2</sup> / 93.1m<sup>2</sup>



FRONT ELEVATION@1:100



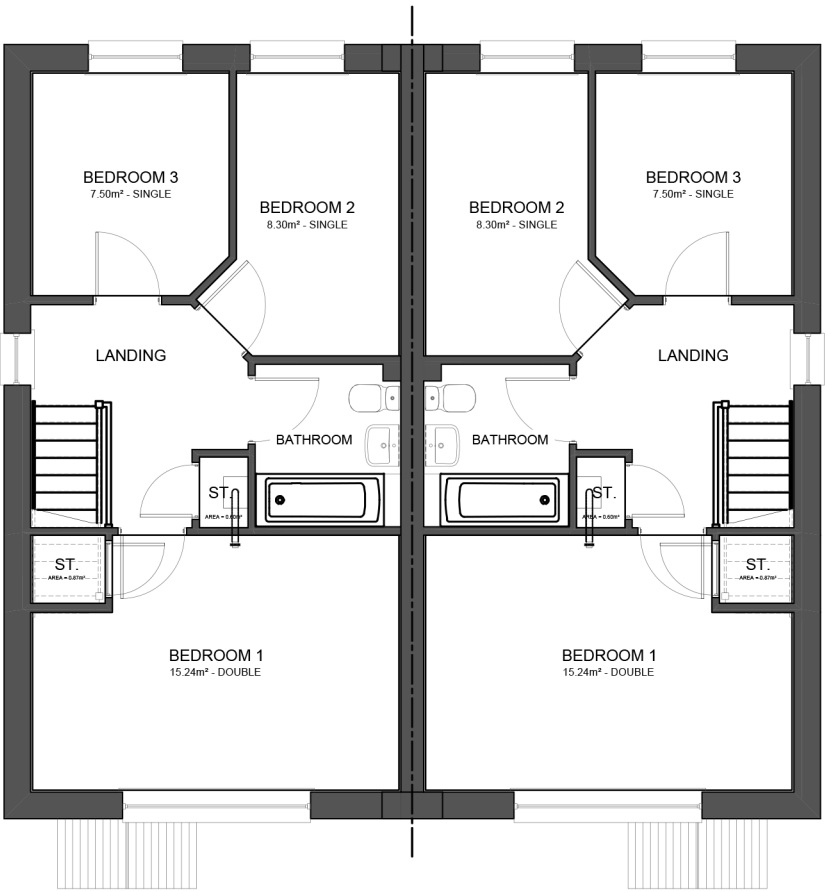
SIDE ELEVATION@1:200



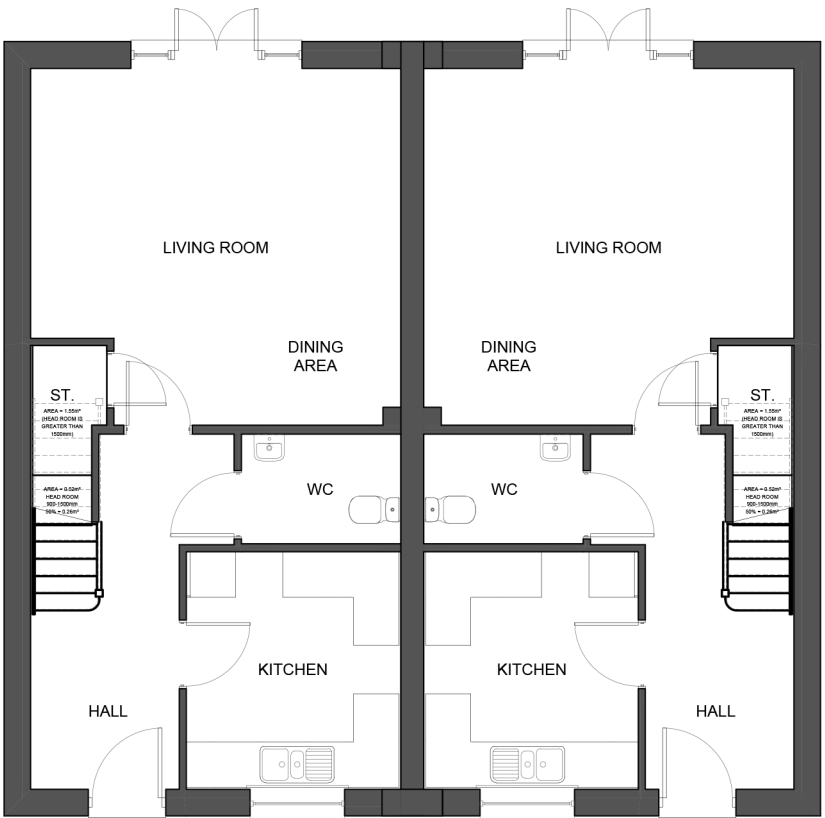
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
ECCLESTON  
3B5P

GROSS : 1056ft² / 98.1m²



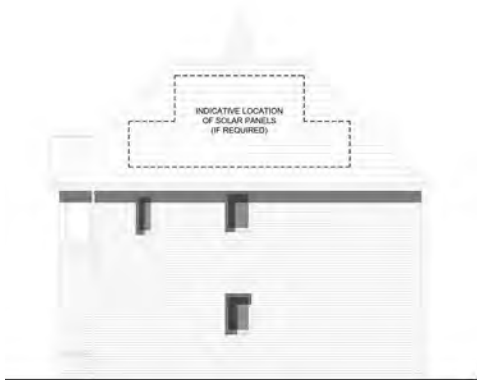
FRONT ELEVATION@1:100



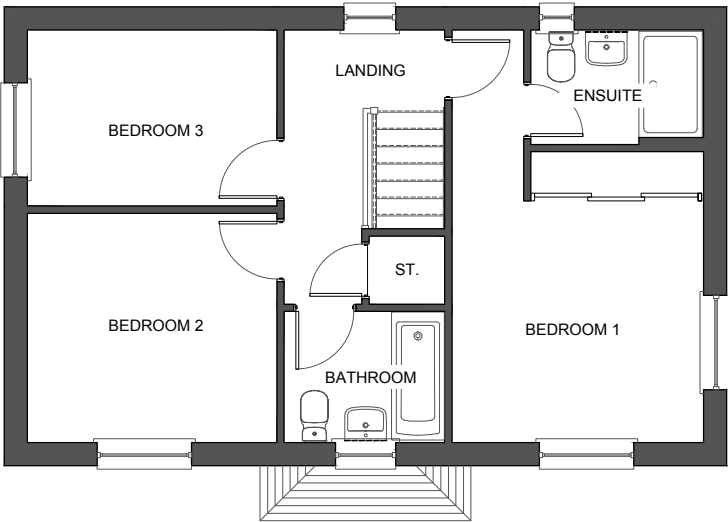
SIDE ELEVATION@1:100



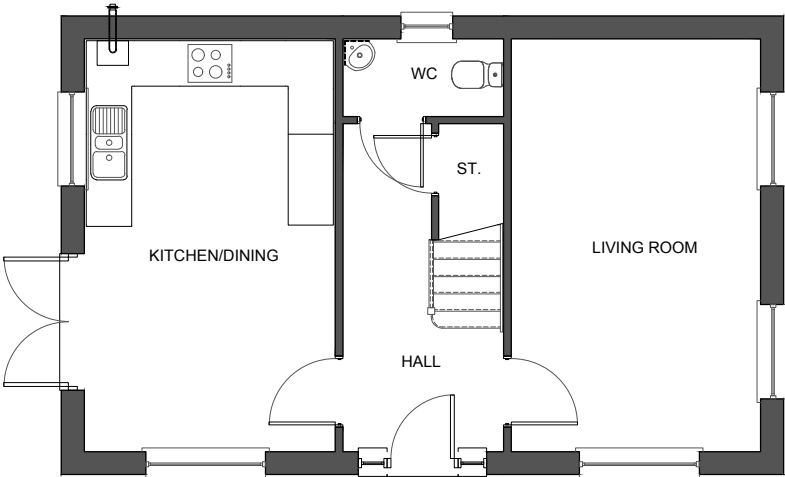
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
DODLESTON  
3B5P

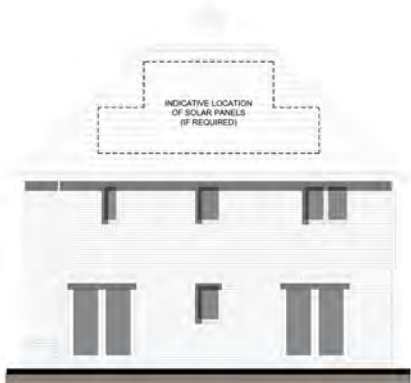
GROSS : 1056ft² / 98.1m²



FRONT ELEVATION@1:100



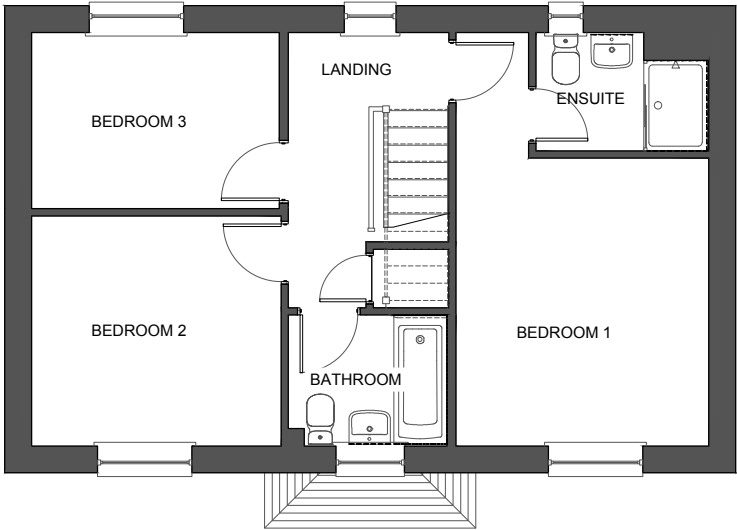
SIDE ELEVATION@1:200



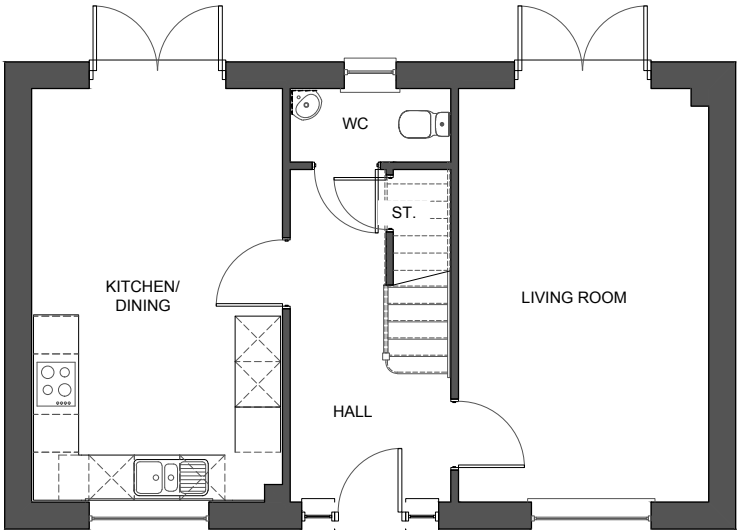
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



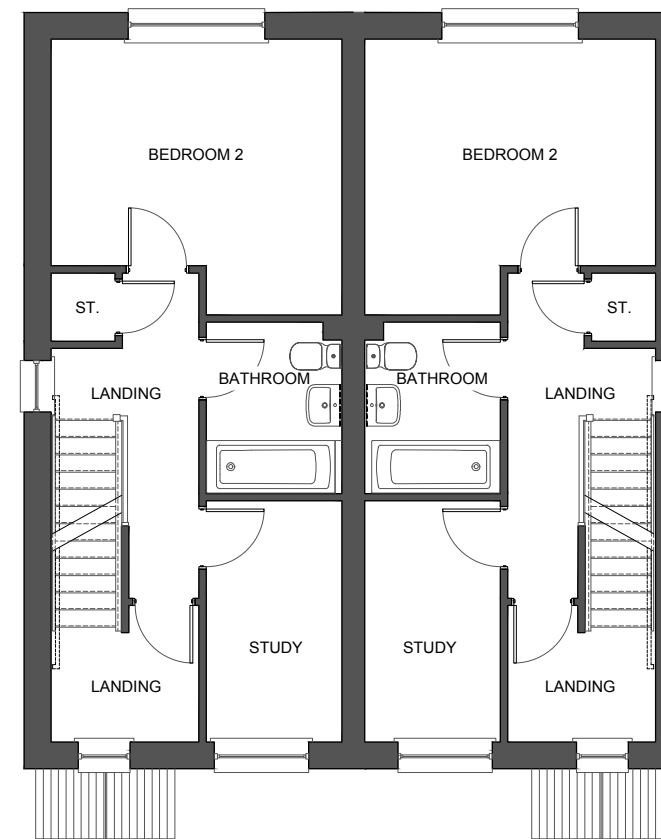


# THE SNOWDON 2B4P

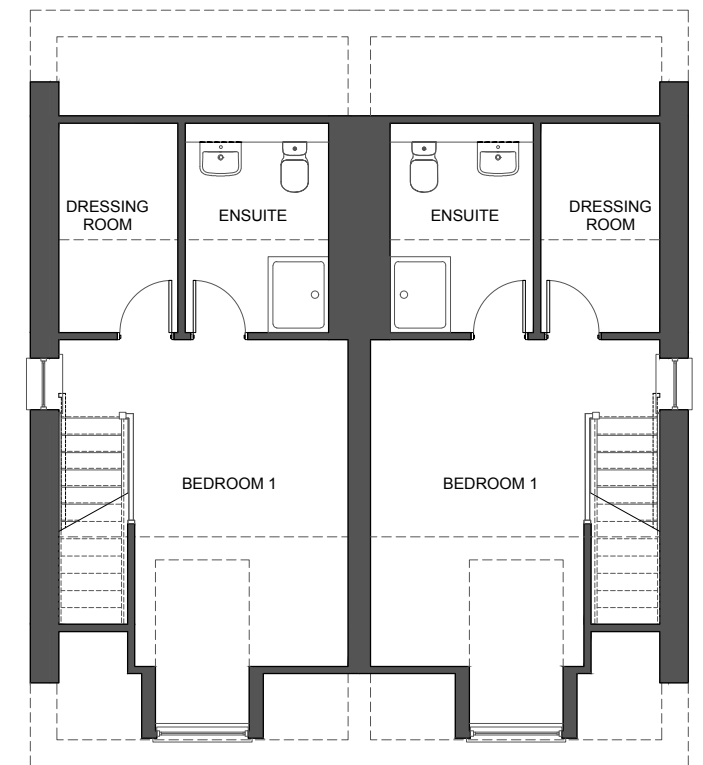
GROSS: 1060ft<sup>2</sup> / 98.4m<sup>2</sup>



FRONT ELEVATION@1:100



FIRST FLOOR PLAN@1:100



SECOND FLOOR PLAN@1:100



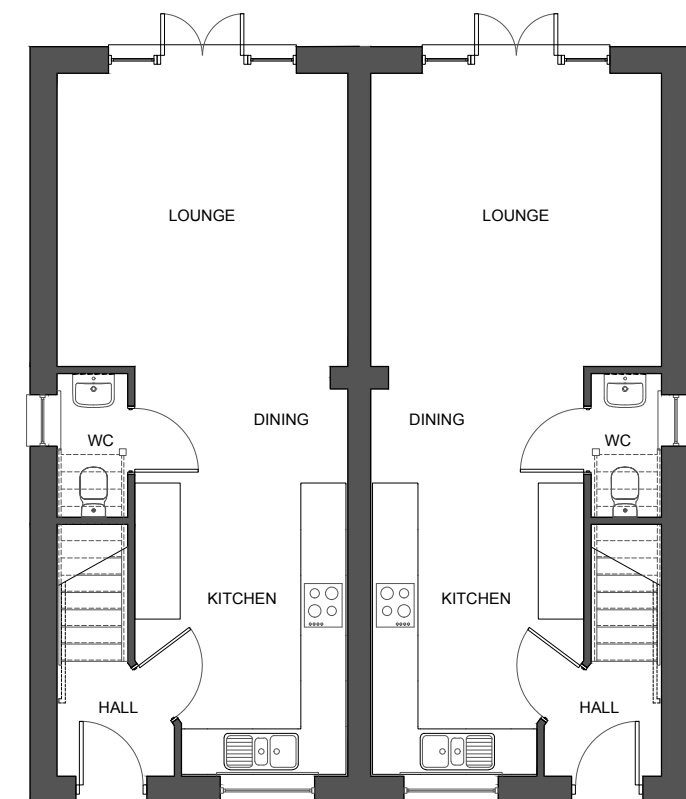
SIDE ELEVATION@1:200



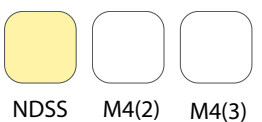
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



GROUND FLOOR PLAN@1:100





THE  
BIRKDALE  
3B5P

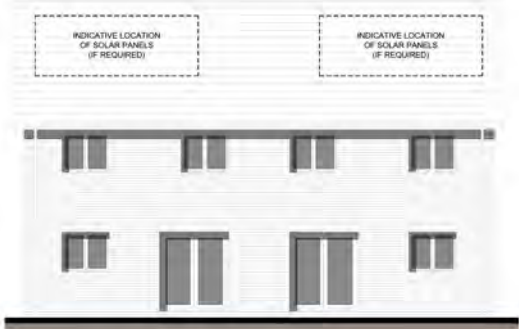
GROSS: 1101ft<sup>2</sup> / 102.2m<sup>2</sup>



FRONT ELEVATION@1:100



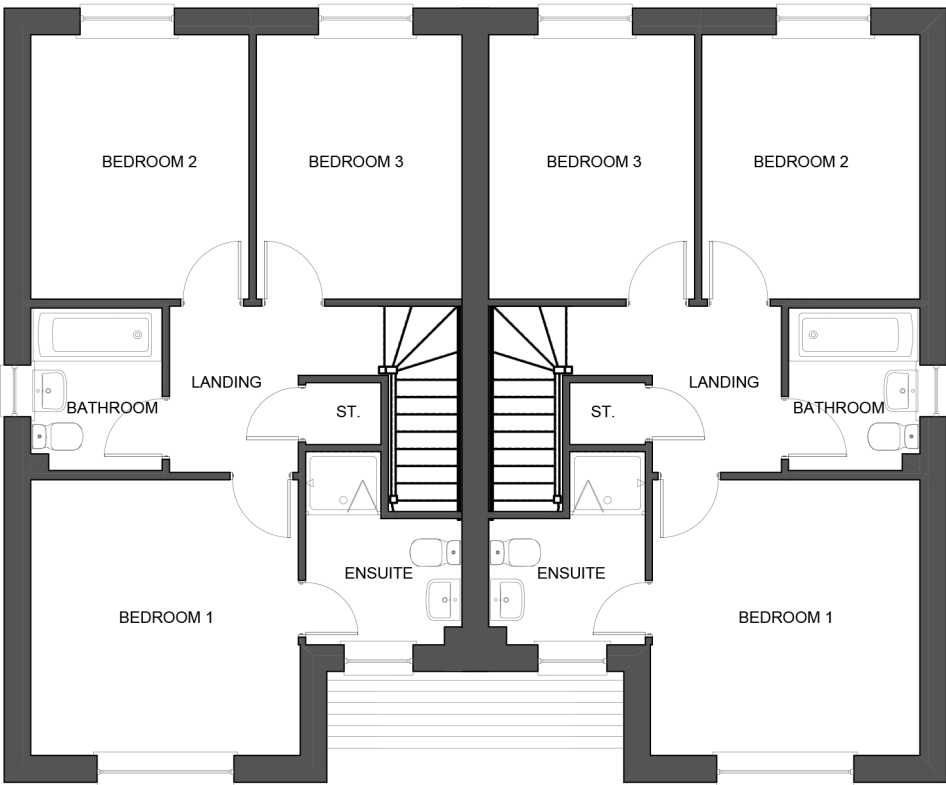
SIDE ELEVATION@1:200



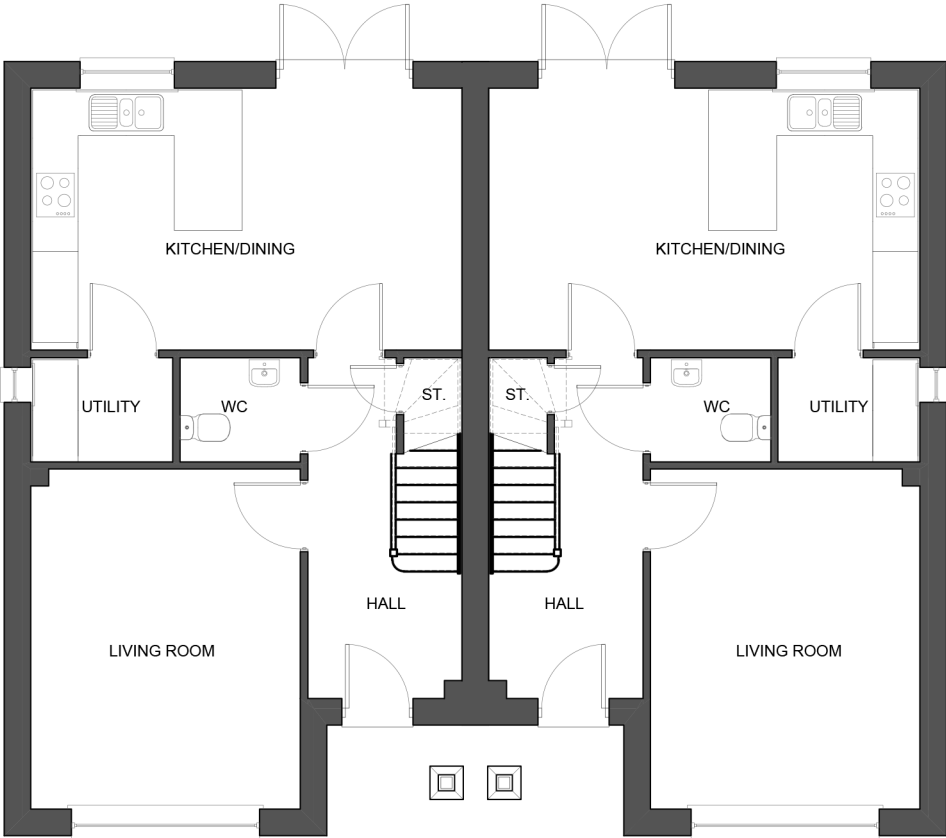
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
AINSDALE  
3B6P

GROSS: 1109ft<sup>2</sup> / 103m<sup>2</sup>



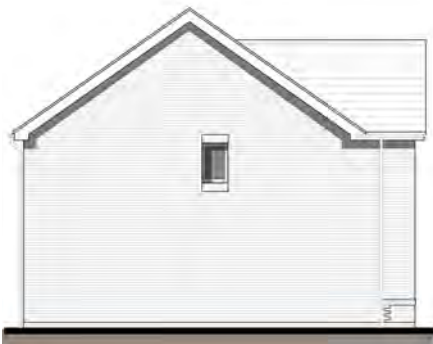
FRONT ELEVATION@1:100



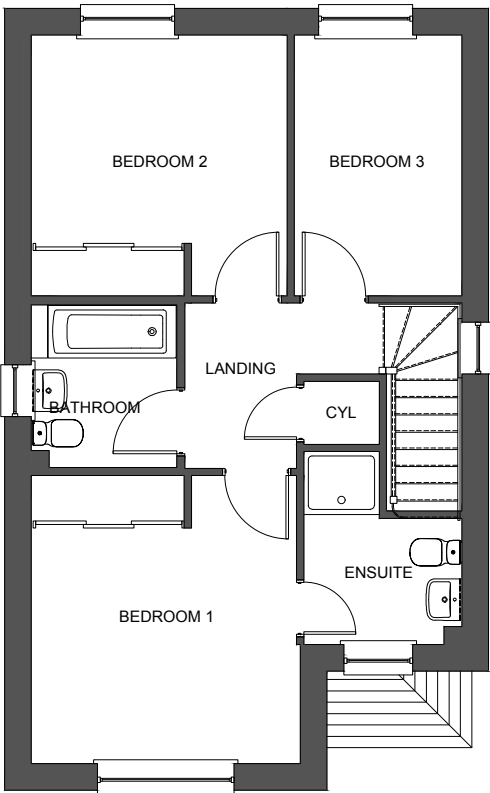
SIDE ELEVATION@1:200



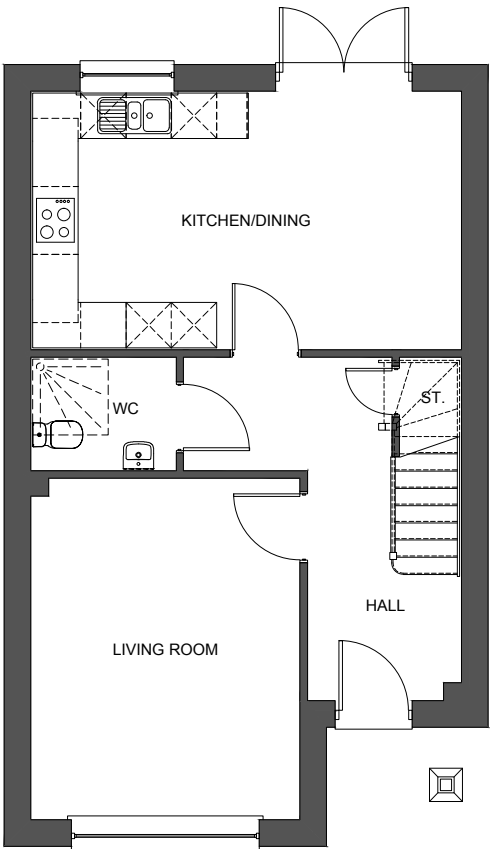
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





# THE LONGFORD 3B6P

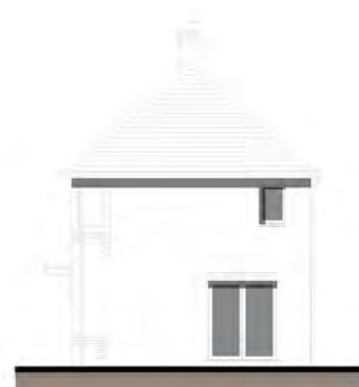
GROSS: 1149ft<sup>2</sup> / 106.74m<sup>2</sup>



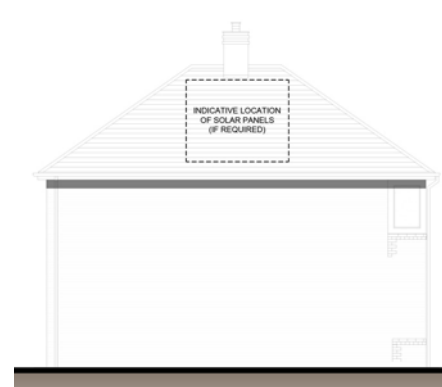
FRONT ELEVATION@1:100



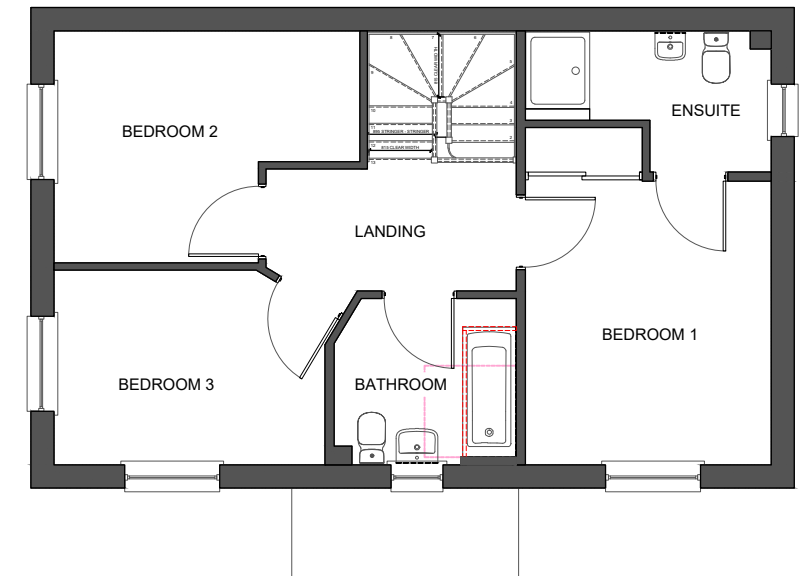
SIDE ELEVATION@1:100



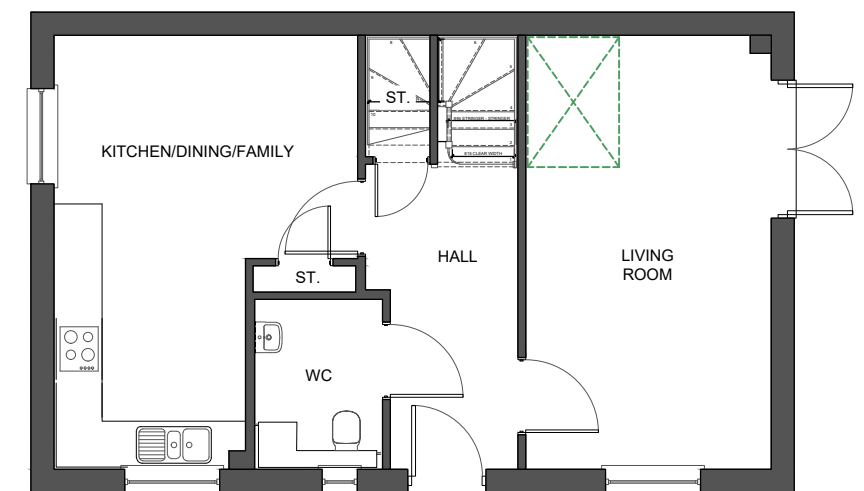
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



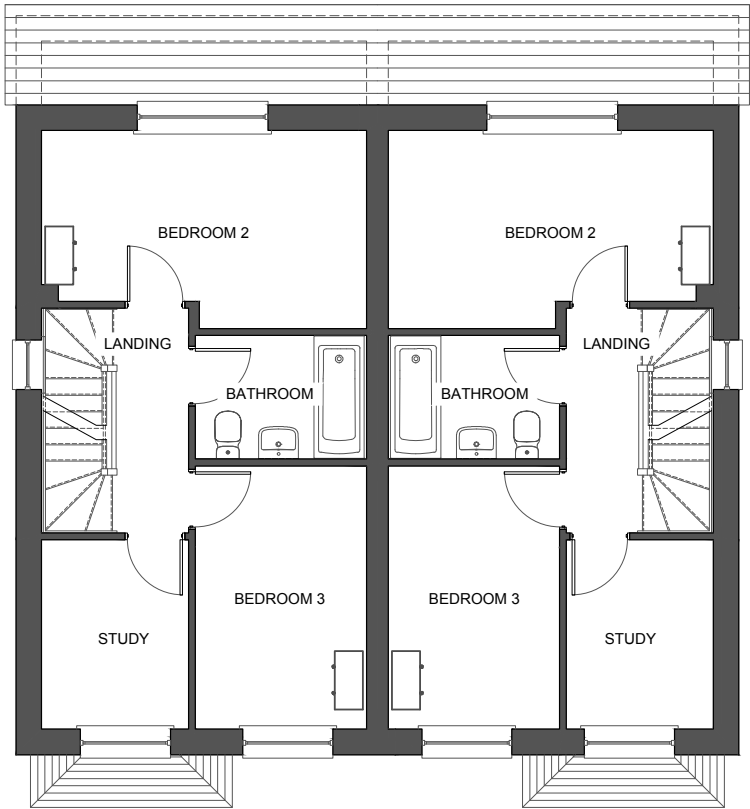


THE  
EUXTON  
3B6P

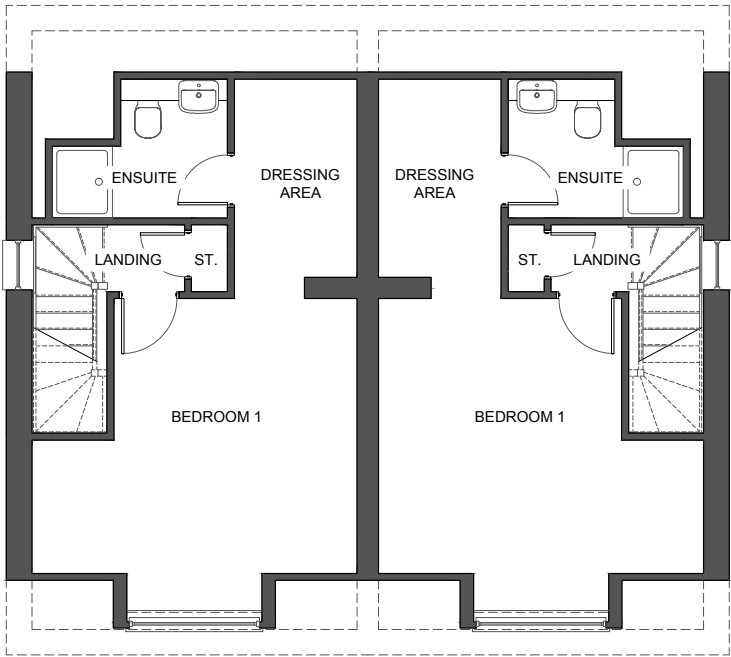
GROSS: 1180ft<sup>2</sup> / 109.6m<sup>2</sup>



FRONT ELEVATION@1:100



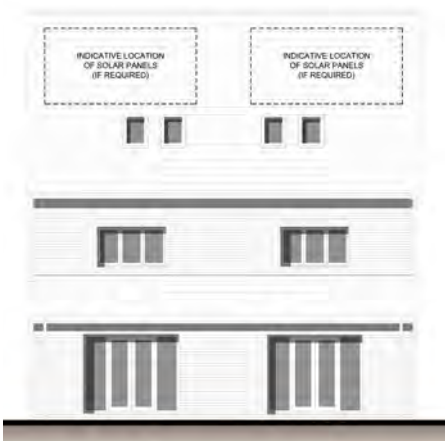
FIRST FLOOR PLAN@1:100



SECOND FLOOR PLAN@1:100



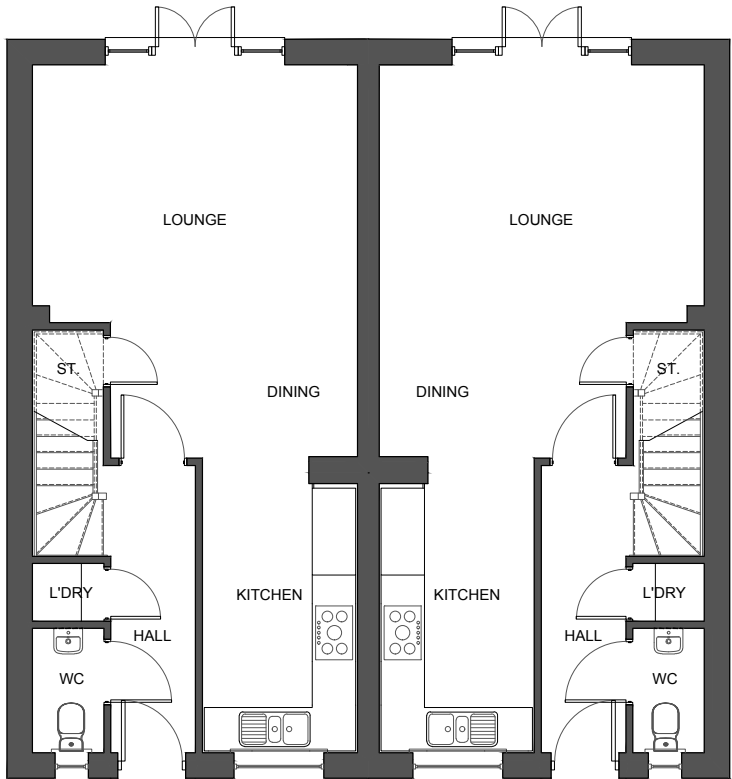
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



SIDE ELEVATION@1:200



GROUND FLOOR PLAN@1:100





THE  
MARFORD  
4B7P

GROSS: 1329ft² / 123.5m²



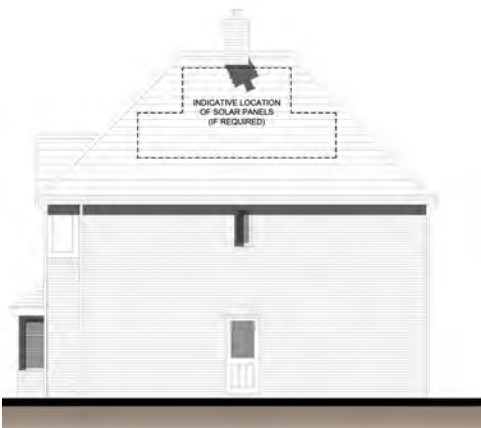
FRONT ELEVATION@1:100



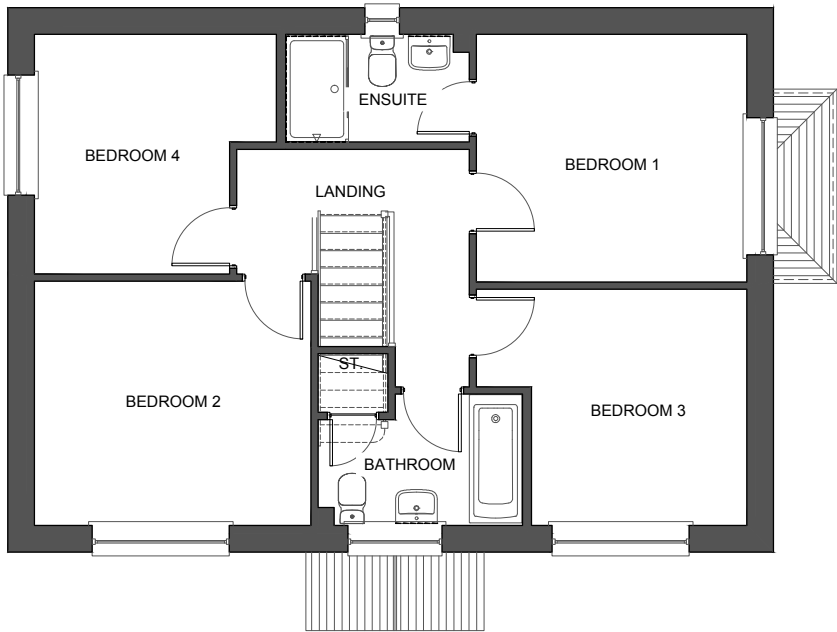
SIDE ELEVATION@1:100



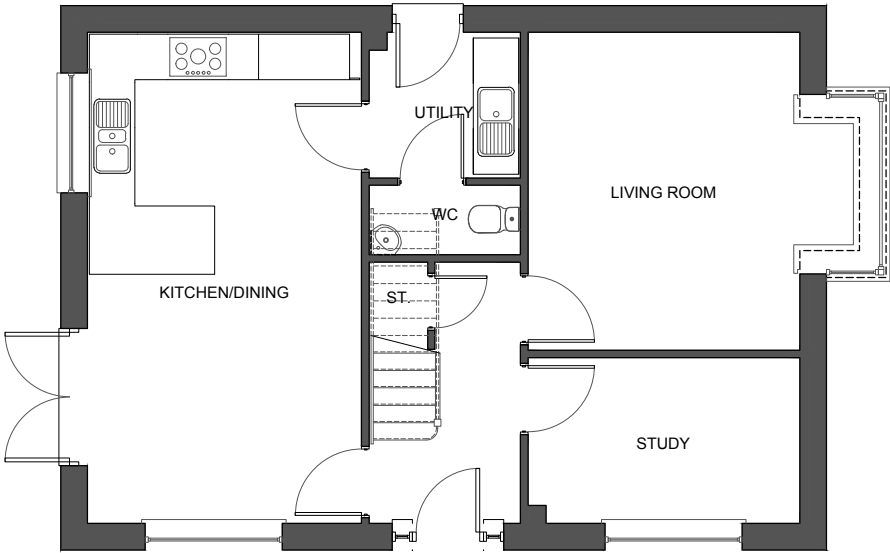
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
MARFORD  
4B7P

GROSS: 1329ft<sup>2</sup> / 123.5m<sup>2</sup>

LOTS 2 AND 201 ONLY



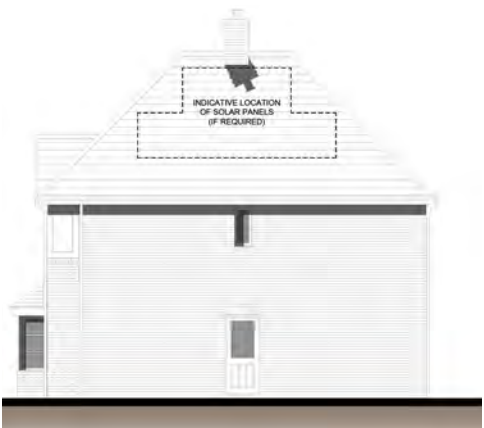
FRONT ELEVATION@1:100



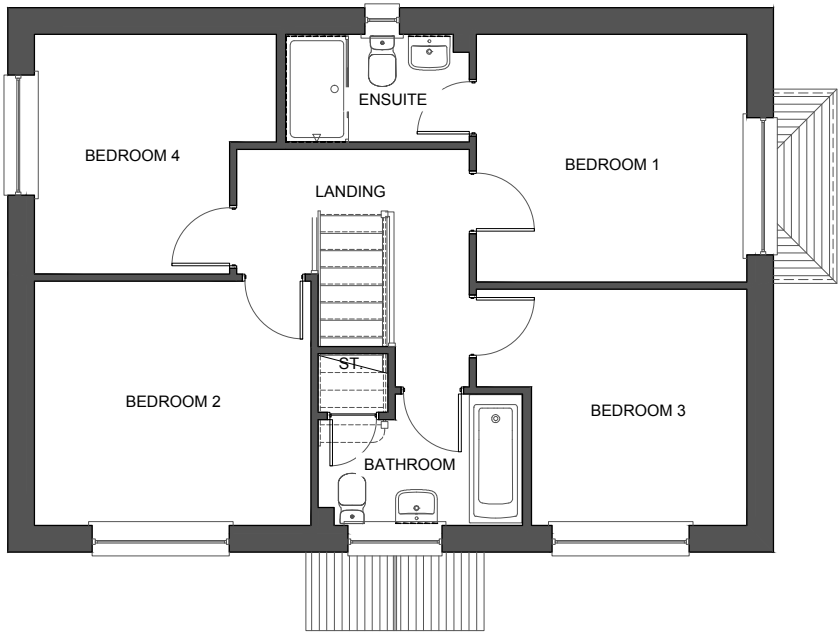
SIDE ELEVATION@1:100



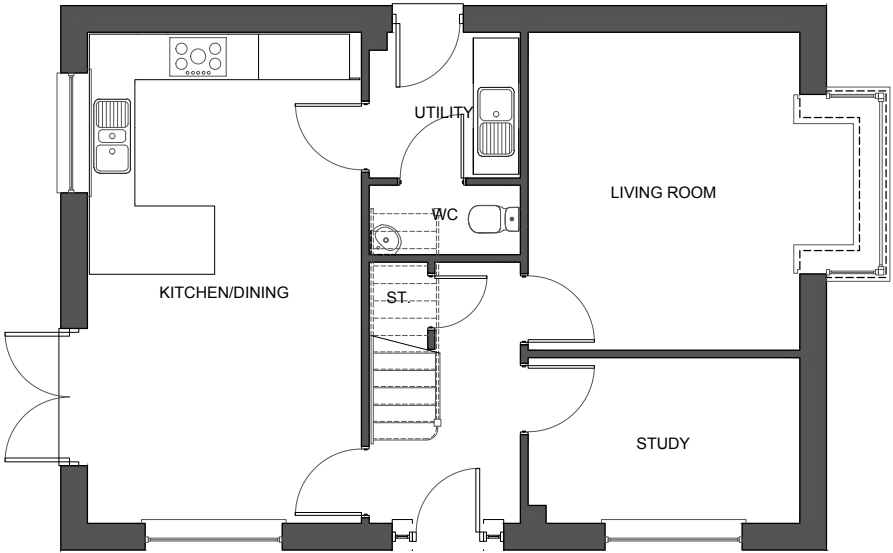
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
OAKMERE  
4B8P

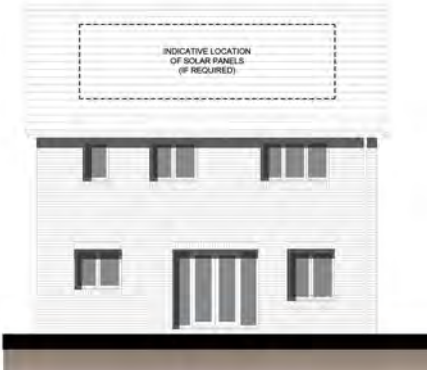
GROSS: 1515ft<sup>2</sup> / 140.7m<sup>2</sup>



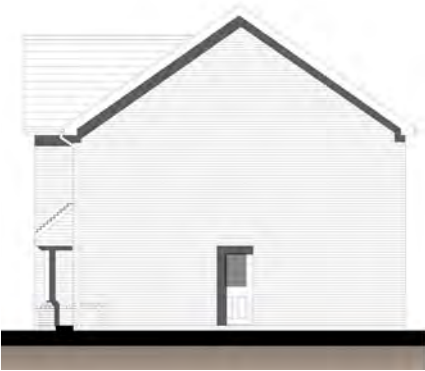
FRONT ELEVATION@1:100



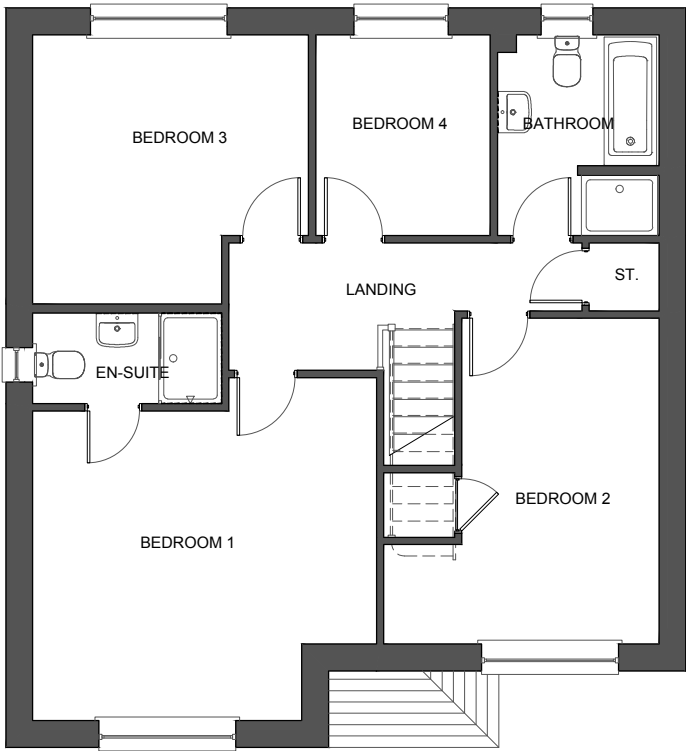
SIDE ELEVATION@1:200



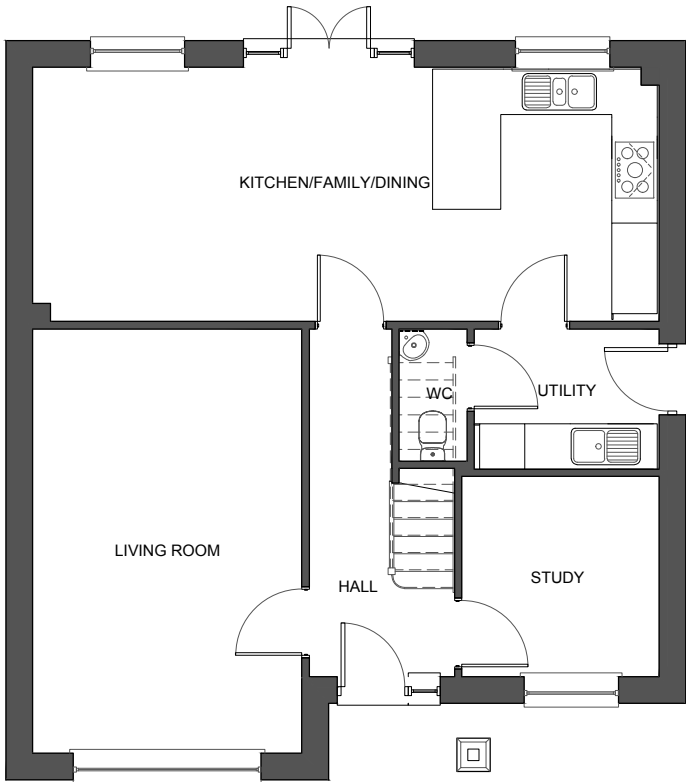
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





GROSS: 1554ft<sup>2</sup>/ 144.3m<sup>2</sup>





APARTMENTS

1B2P

GROSS: 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS: 542ft<sup>2</sup> / 50.3m<sup>2</sup>



FRONT ELEVATION@1:100



NDSS

FF  
GF

M4(2)

M4(3)



APARTMENTS

1B2P

GROSS: 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS: 542ft<sup>2</sup> / 50.3m<sup>2</sup>



REAR ELEVATION@1:100



NDSS

FF  
GF

M4(2)

M4(3)



APARTMENTS

1B2P

GROSS: 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS: 542ft<sup>2</sup> / 50.3m<sup>2</sup>



SIDE ELEVATION@1:100



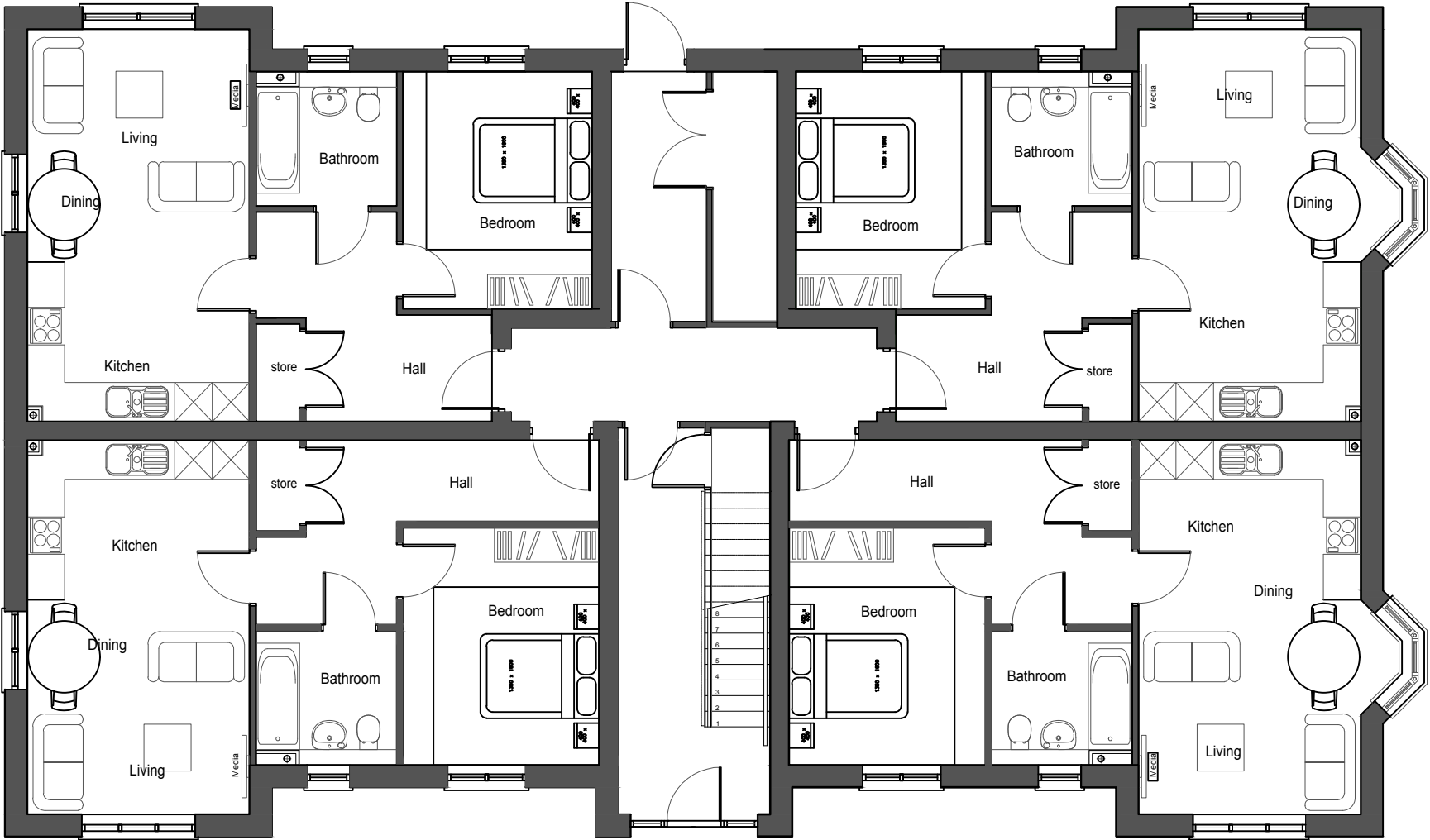
SIDE ELEVATION@1:100





APARTMENTS  
1B2P

GROSS : 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS : 542ft<sup>2</sup> / 50.3m<sup>2</sup>



GROUND FLOOR PLAN@1:100



NDSS

FF  
GF

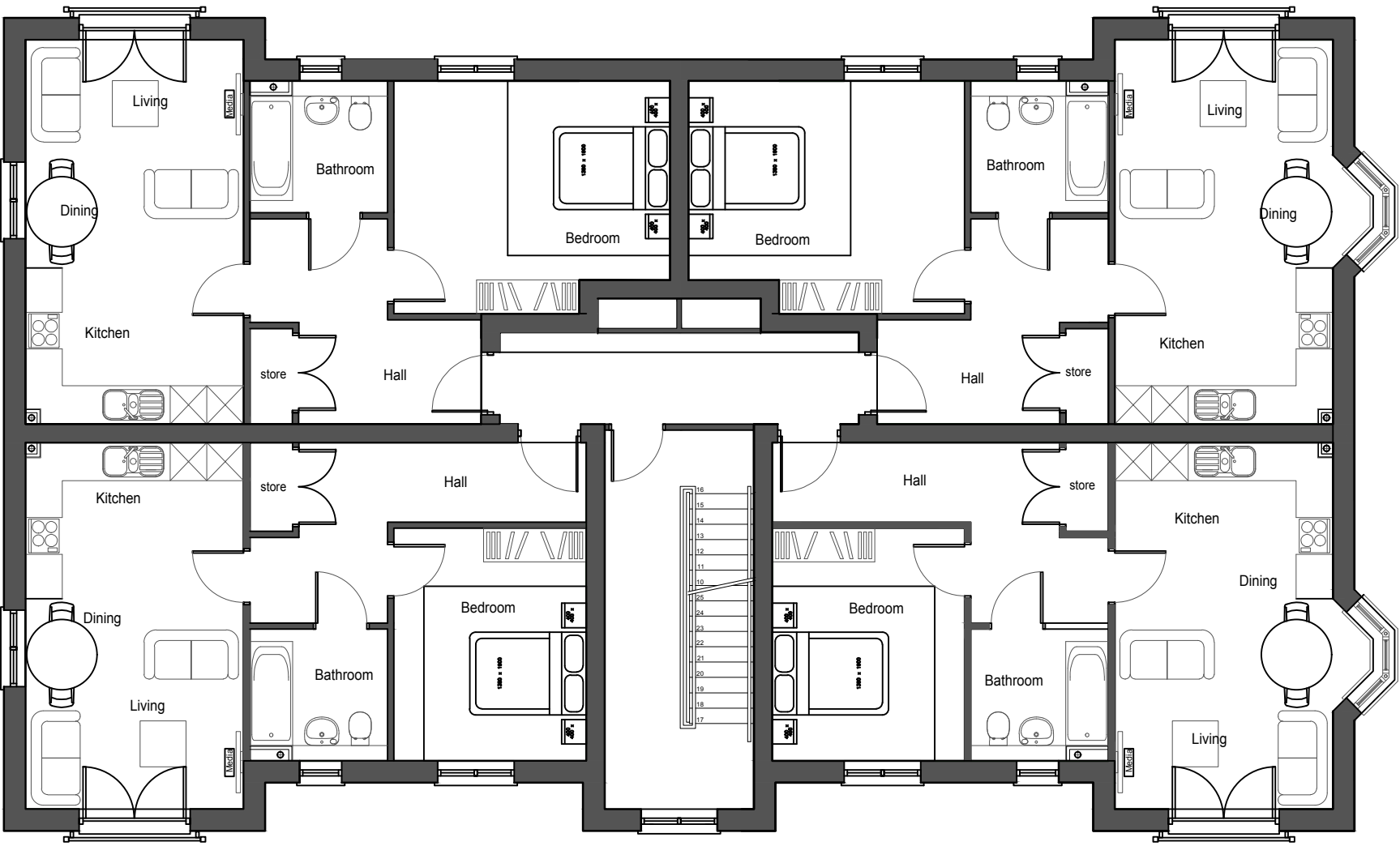
M4(2)

M4(3)



APARTMENTS  
1B2P

GROSS: 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS: 542ft<sup>2</sup> / 50.3m<sup>2</sup>



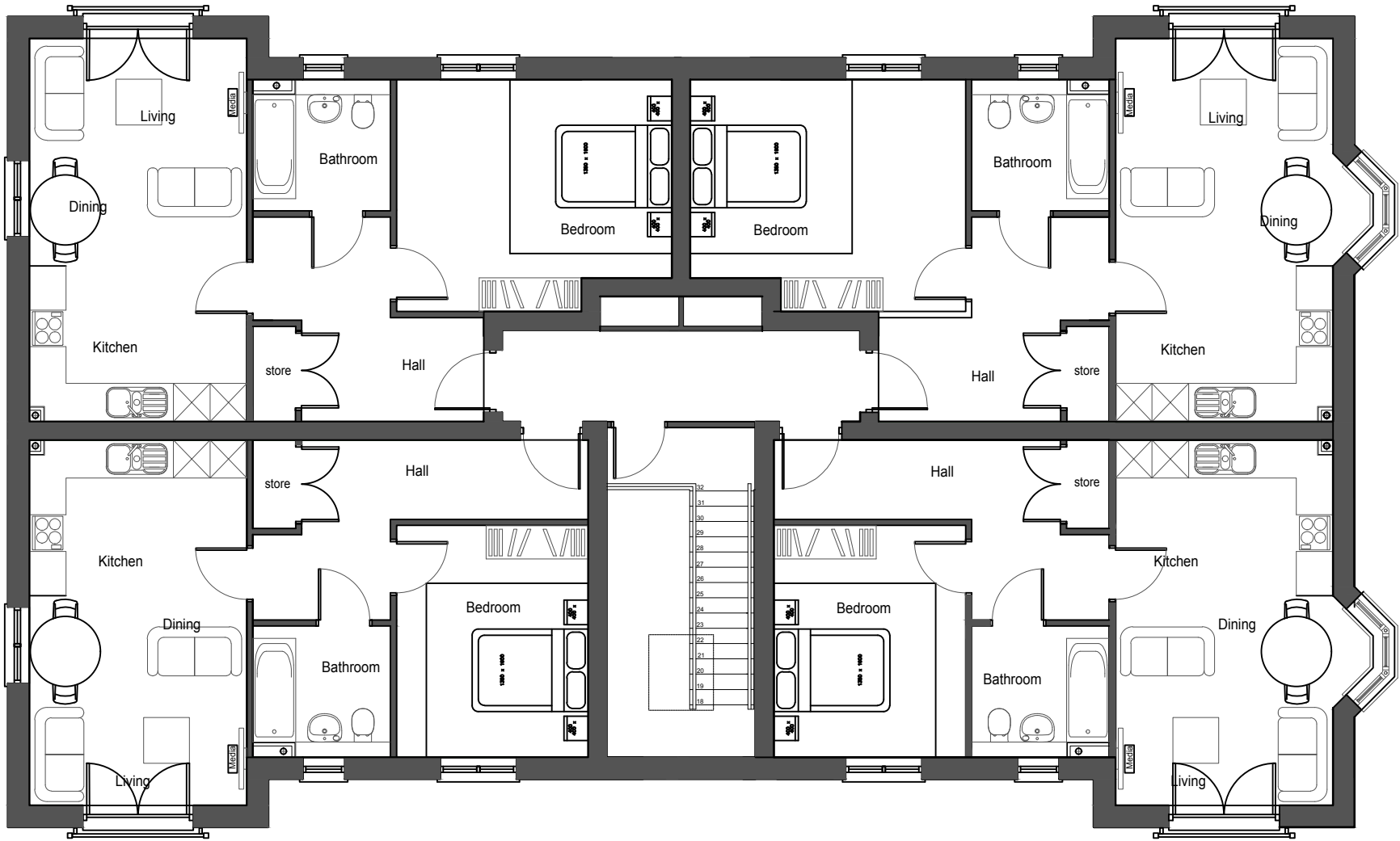
FIRST FLOOR PLAN@1:100





APARTMENTS  
1B2P

GROSS : 539ft<sup>2</sup> / 50m<sup>2</sup>  
GROSS : 542ft<sup>2</sup> / 50.3m<sup>2</sup>



Second Floor Plan 1:50

SECOND FLOOR PLAN@1:100





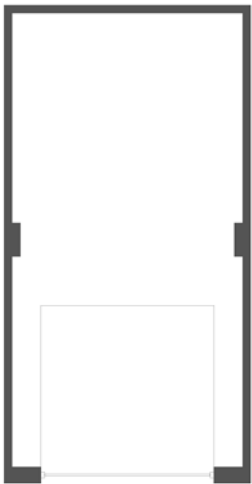
GARAGES



FRONT ELEVATION@1:100



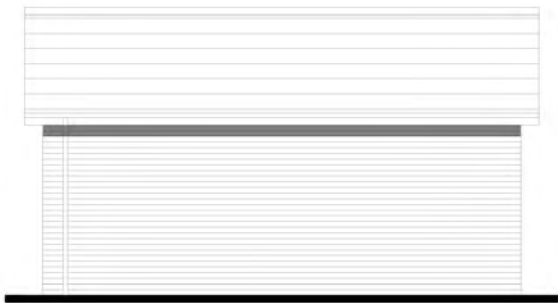
SIDE ELEVATION@1:100



GROUND FLOOR PLAN@1:100



REAR ELEVATION@1:100



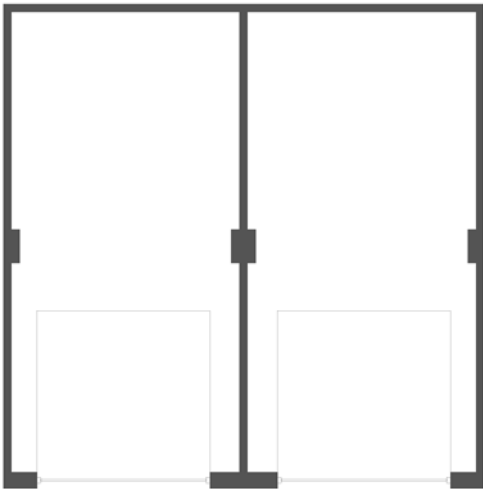
SIDE ELEVATION@1:100



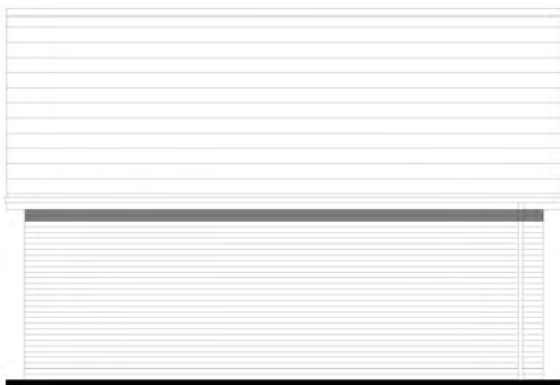
FRONT ELEVATION@1:100



SIDE ELEVATION@1:100



GROUND FLOOR PLAN@1:100



REAR ELEVATION@1:100



SIDE ELEVATION@1:100





FRINGE  
NTS@A3



Character Areas

- Spine
- Fringe



THE  
DISLEY  
1B2P

GROSS: 542ft<sup>2</sup> / 689ft<sup>2</sup> / 50.3m<sup>2</sup> / 64m<sup>2</sup>



FRONT ELEVATION@1:100



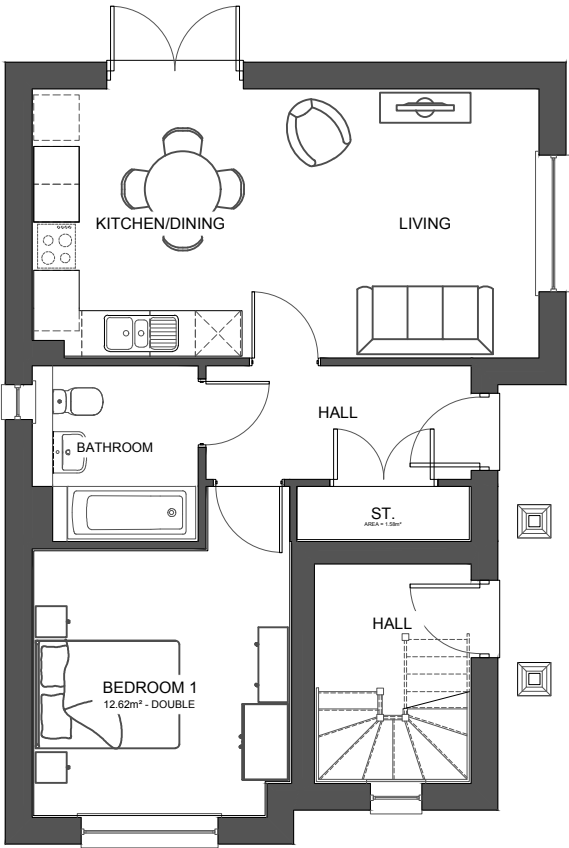
FRONT ELEVATION@1:100



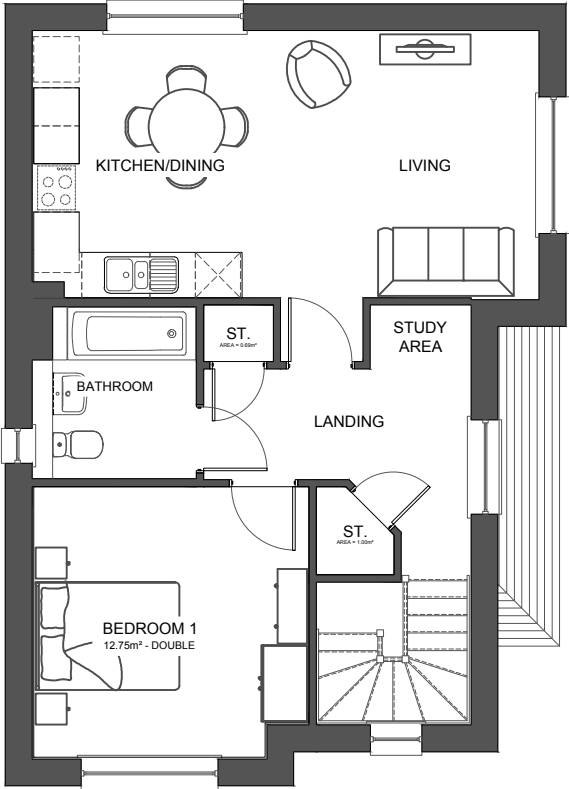
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



# THE YEOVIL 1B2P/3B5P

GROSS: 662ft<sup>2</sup> / 61.50m<sup>2</sup>  
GROSS: 1039ft<sup>2</sup> / 96.52m<sup>2</sup>



SIDE ELEVATION@1:100



FRONT ELEVATION@1:100



REAR ELEVATION@1:200



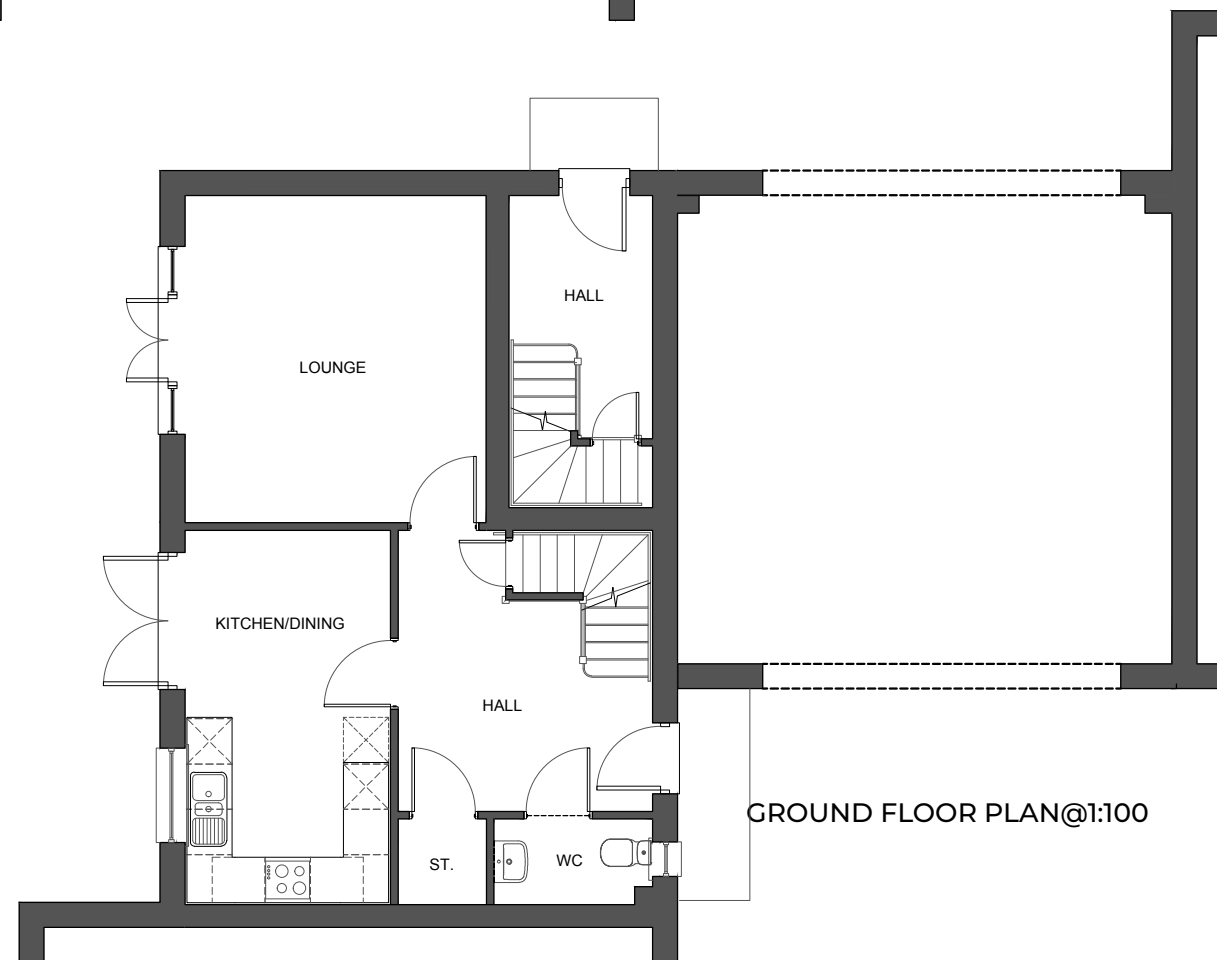
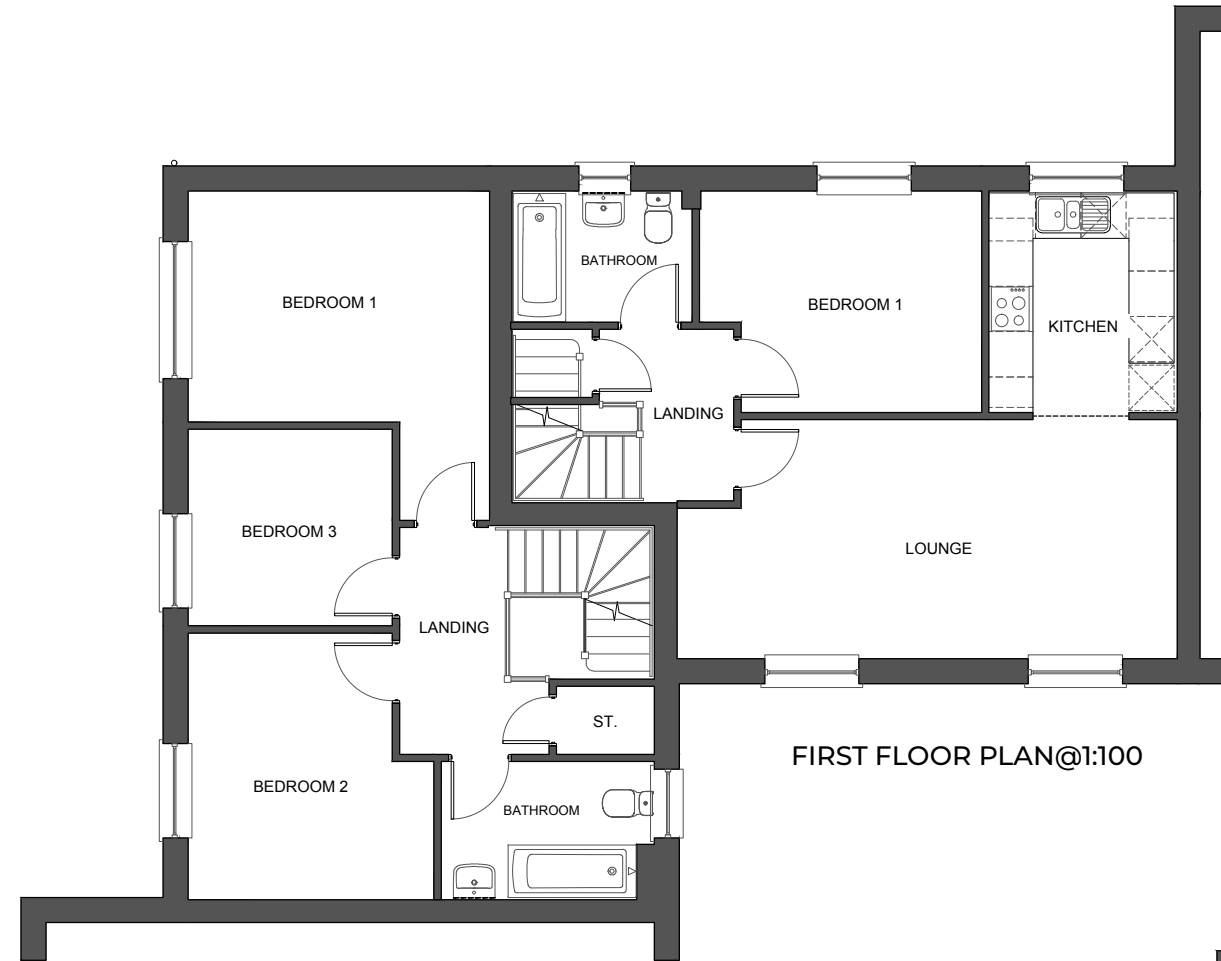
FRONT ELEVATION@1:200





# THE YEOVIL 1B2P/3B5P

GROSS: 662ft<sup>2</sup> / 61.50m<sup>2</sup>  
GROSS: 1039ft<sup>2</sup> / 96.52m<sup>2</sup>





THE  
DISLEY 4  
1B2P/1B1P

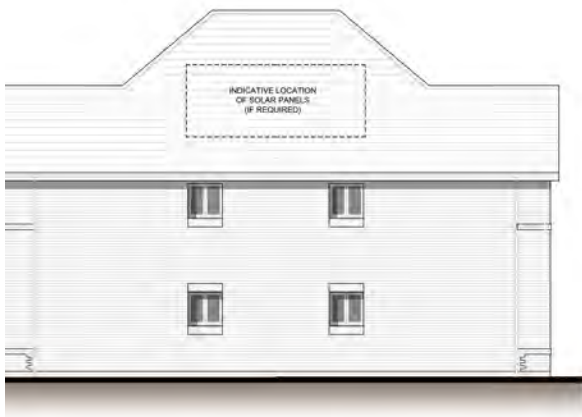
GROSS : 542ft<sup>2</sup> / 509ft<sup>2</sup> / 50.4m<sup>2</sup> / 47.2m<sup>2</sup>  
GROSS : 689ft<sup>2</sup> / 655ft<sup>2</sup> / 64m<sup>2</sup> / 60.8m<sup>2</sup>



FRONT ELEVATION@1:100



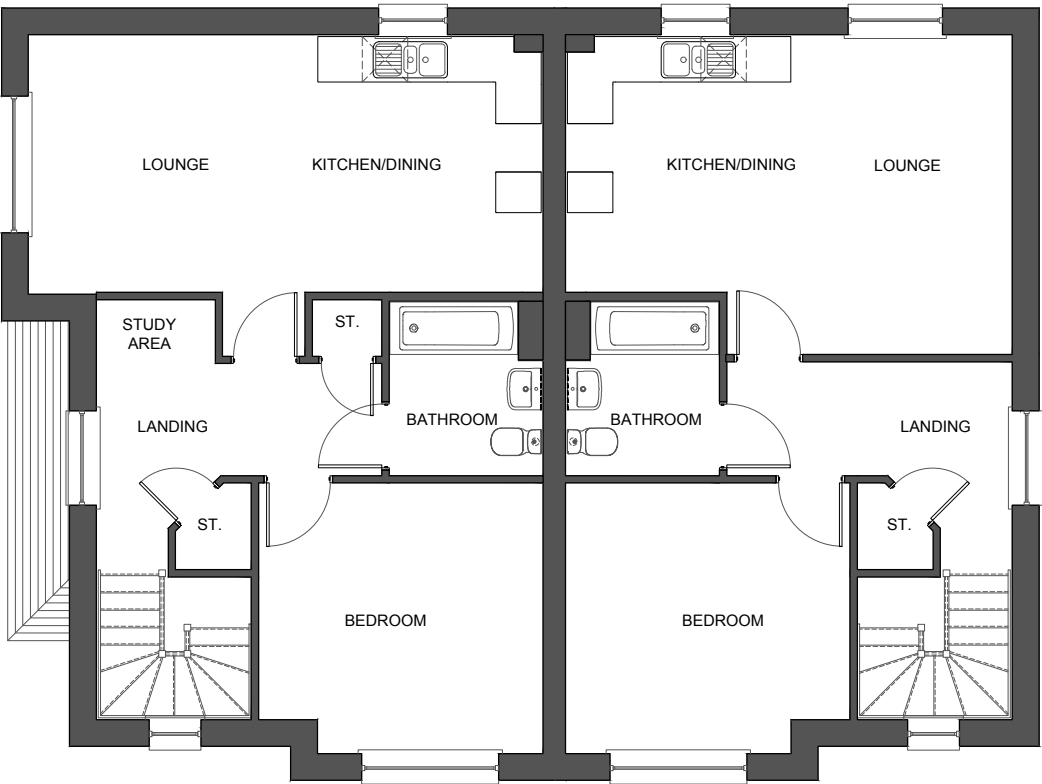
FRONT ELEVATION@1:100



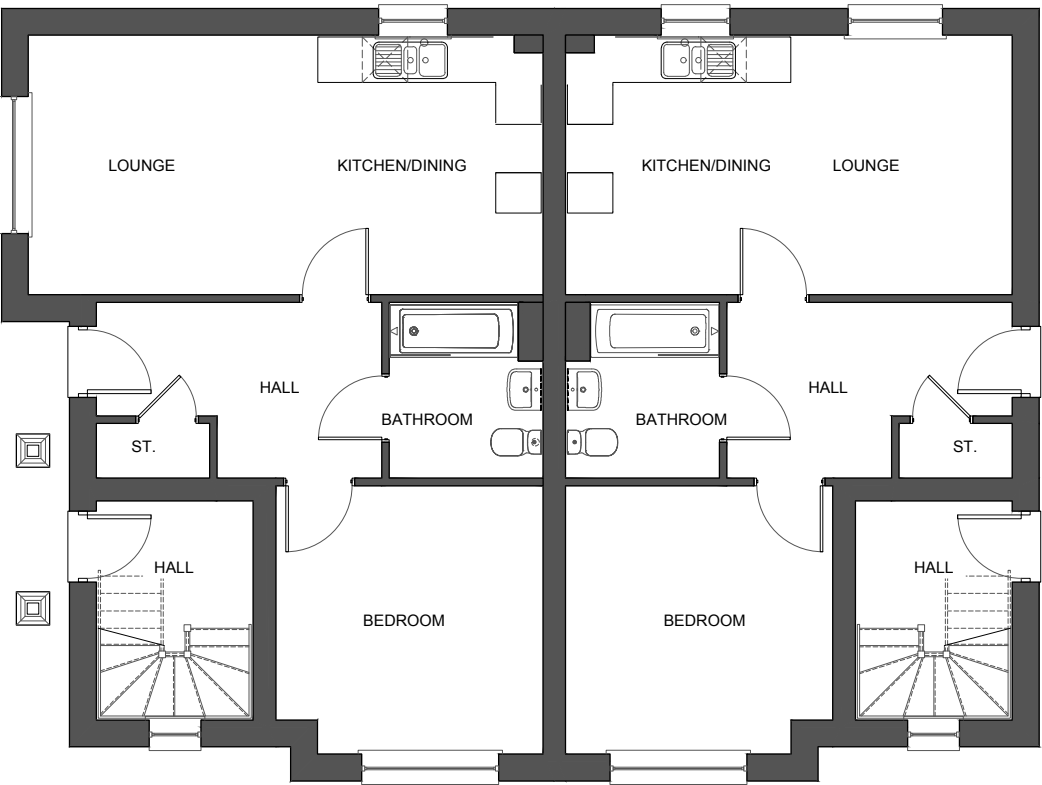
REAR ELEVATION@1:200



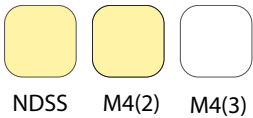
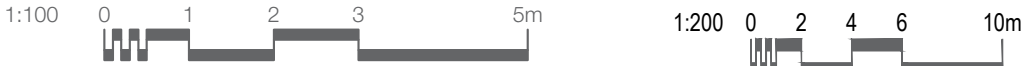
SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





# THE BURTON SEMI 2B3P

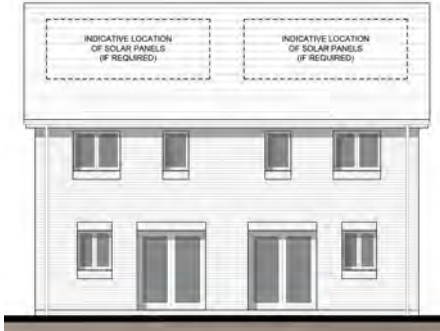
GROSS: 756ft<sup>2</sup> / 70.2m<sup>2</sup>



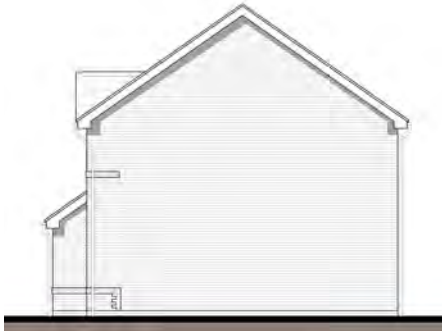
FRONT ELEVATION@1:100



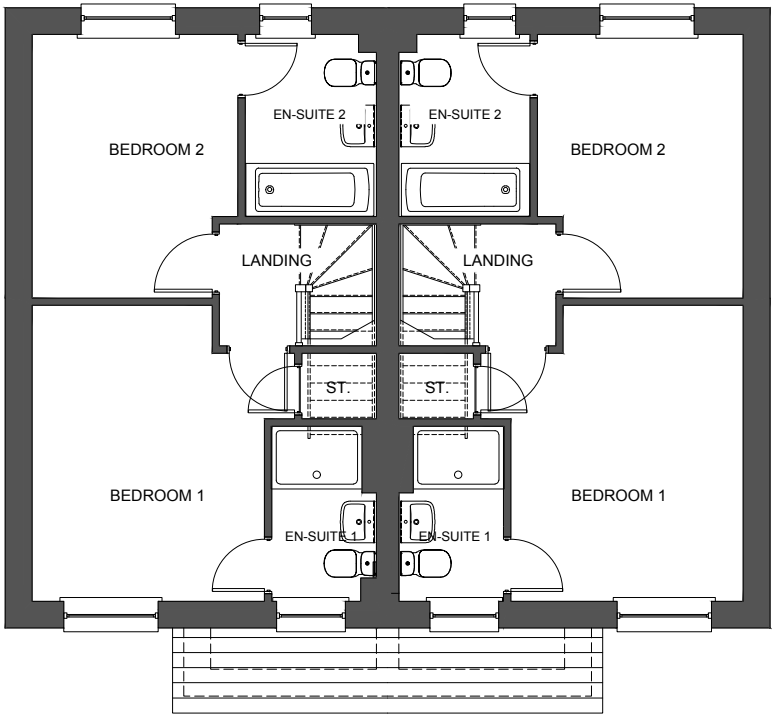
SIDE ELEVATION@1:200



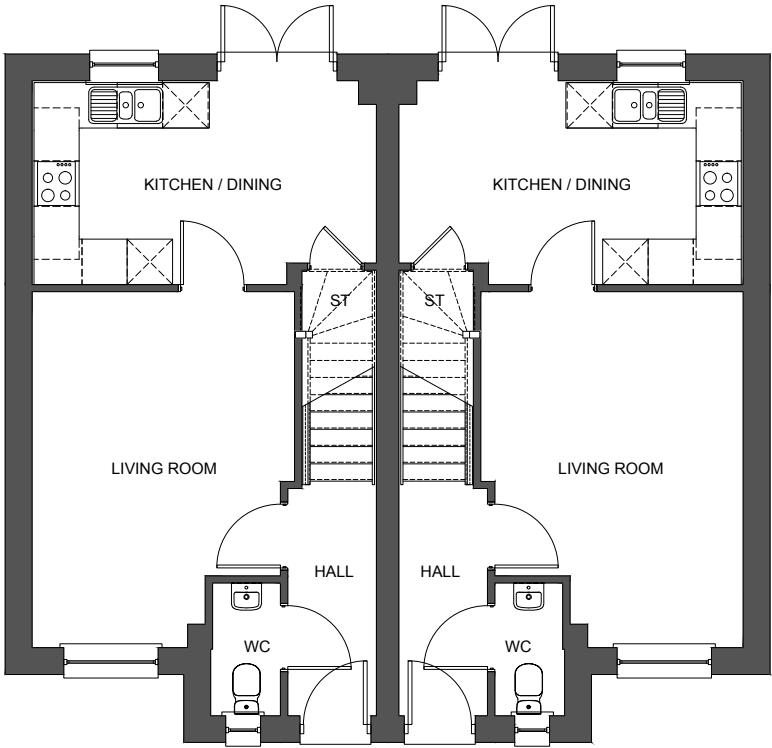
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



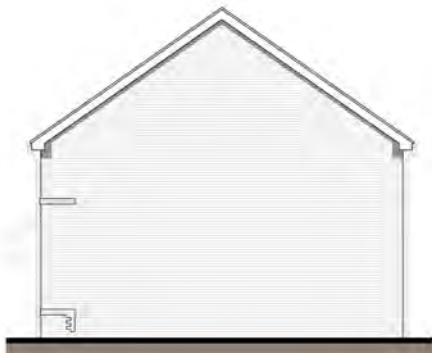


THE MAXLEY  
2B4P

GROSS : 866ft² / 80.4m²



FRONT ELEVATION@1:100



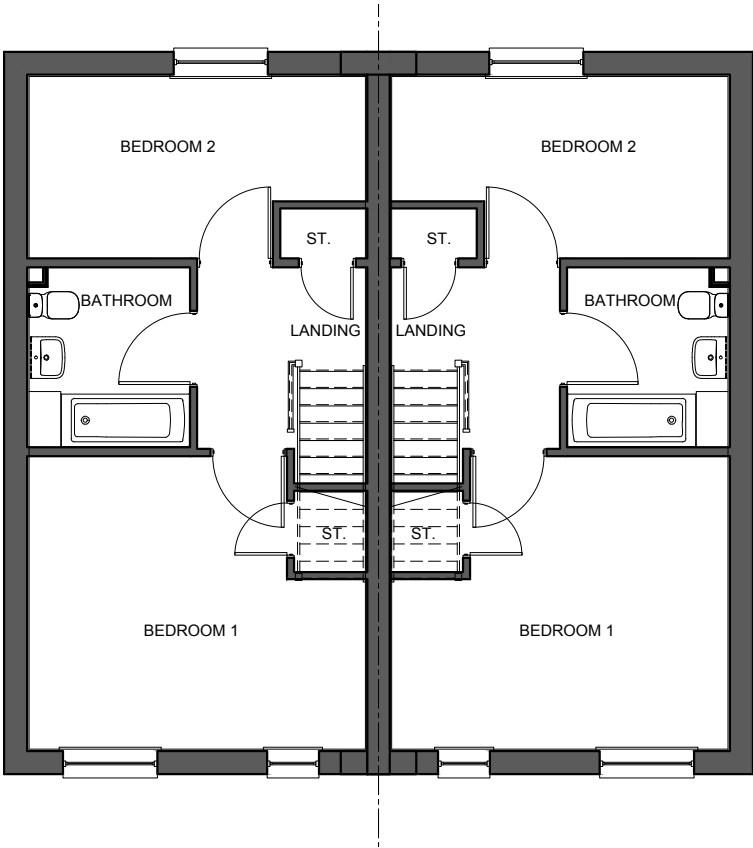
SIDE ELEVATION@1:200



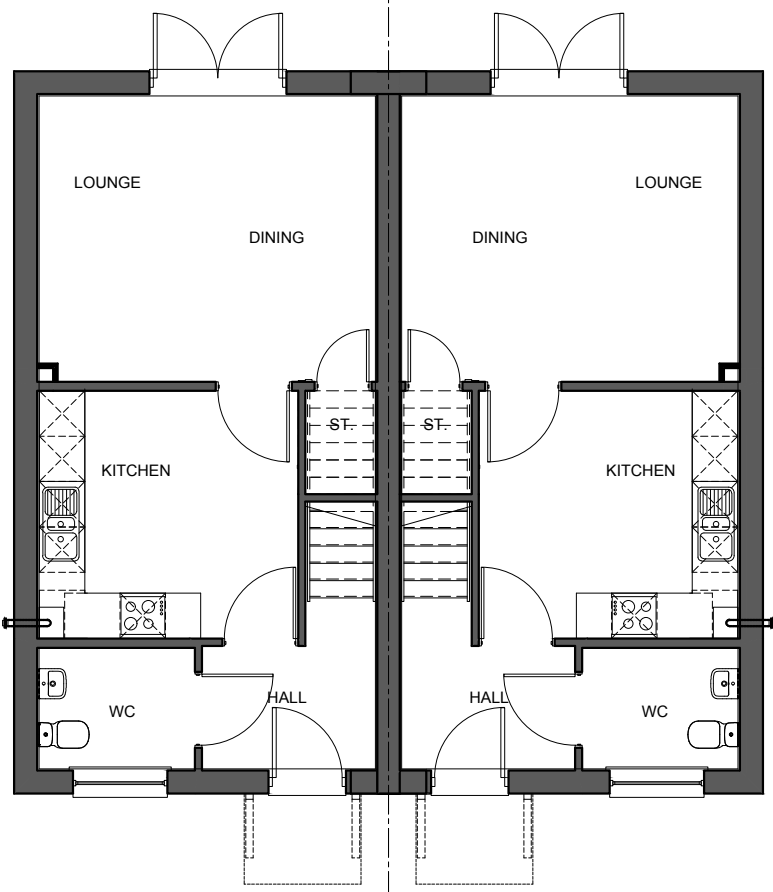
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



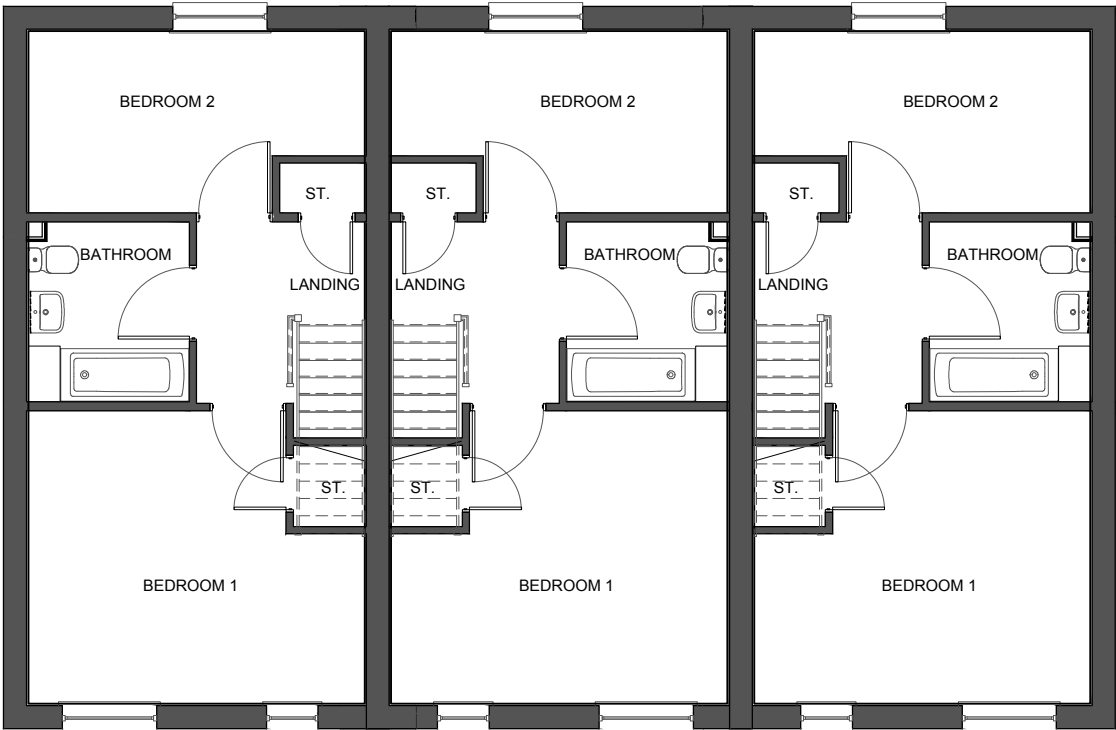


THE MAXLEY  
2B4P

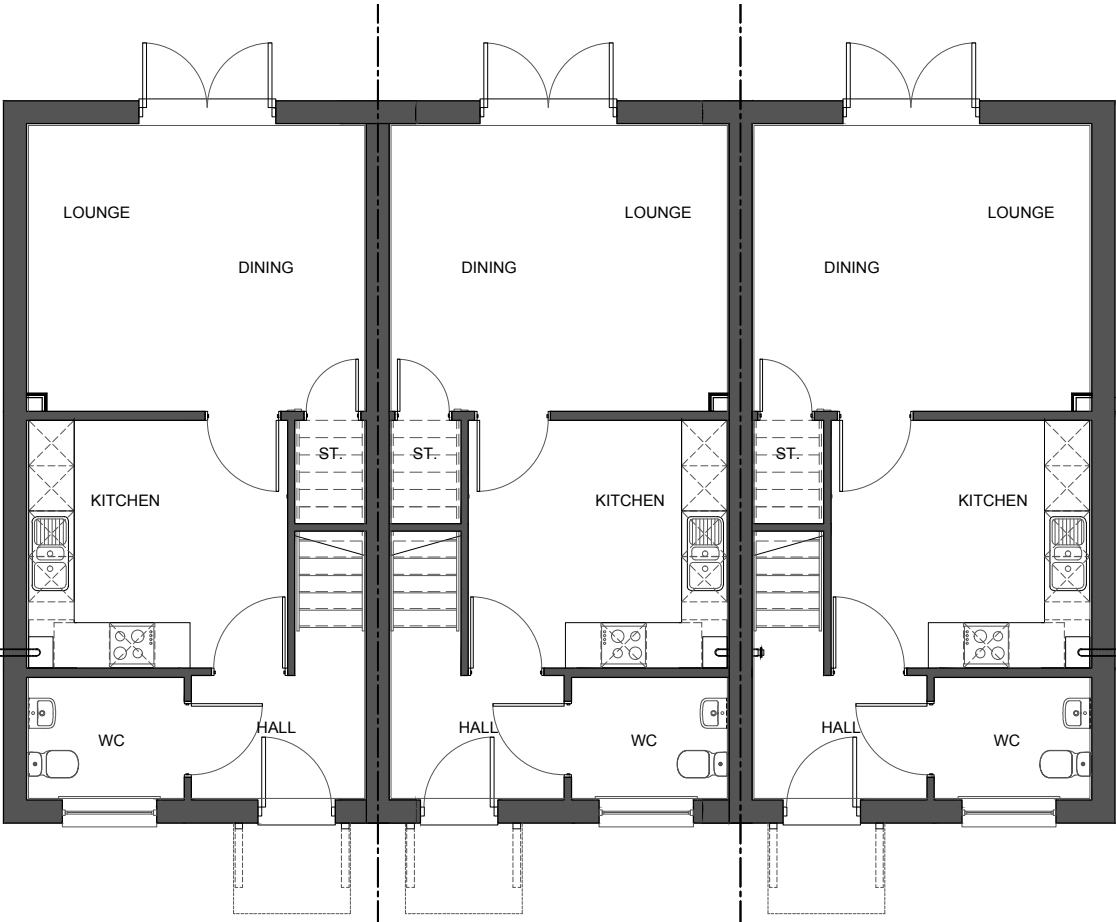
GROSS : 866ft<sup>2</sup> / 80.4m<sup>2</sup>



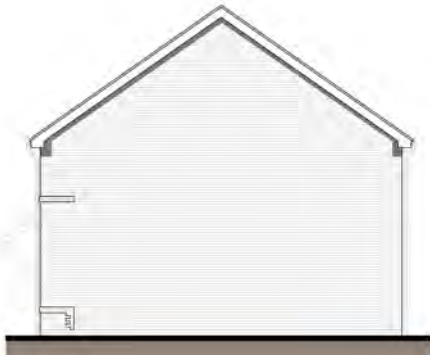
FRONT ELEVATION@1:100



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



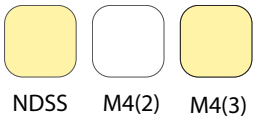
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



SIDE ELEVATION@1:200



NDSS M4(2) M4(3)



THE AF2-1  
SEMI

2B4P

GROSS: 911ft<sup>2</sup> / 84.6m<sup>2</sup>



FRONT ELEVATION@1:100



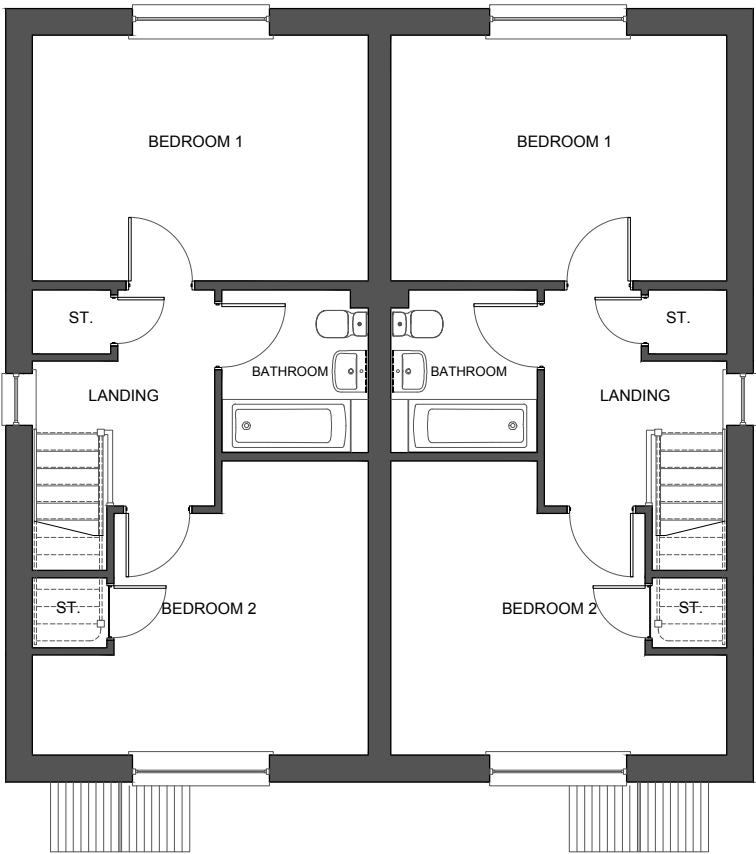
SIDE ELEVATION@1:200



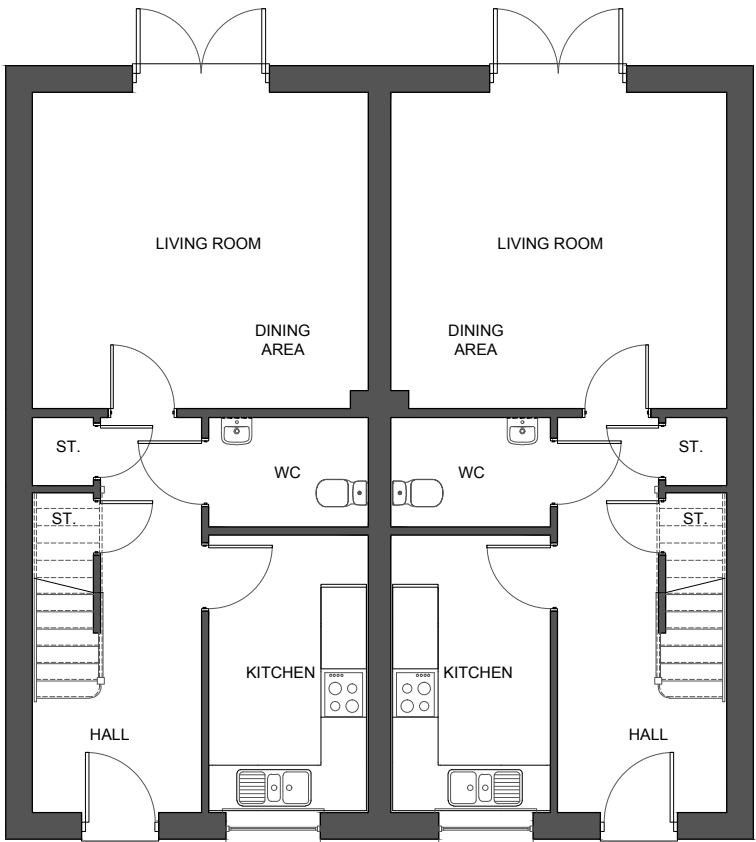
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE AF2-1 &  
AF3-4  
2B4P/3B5P

GROSS : 911ft² / 84.6m²  
GROSS : 1045ft² / 97m²



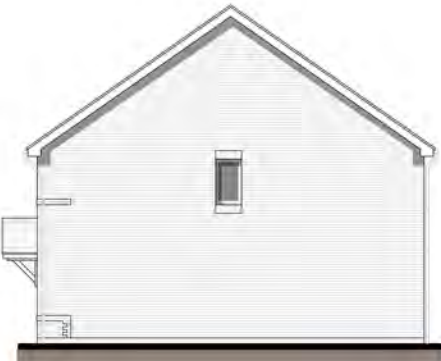
FRONT ELEVATION@1:100



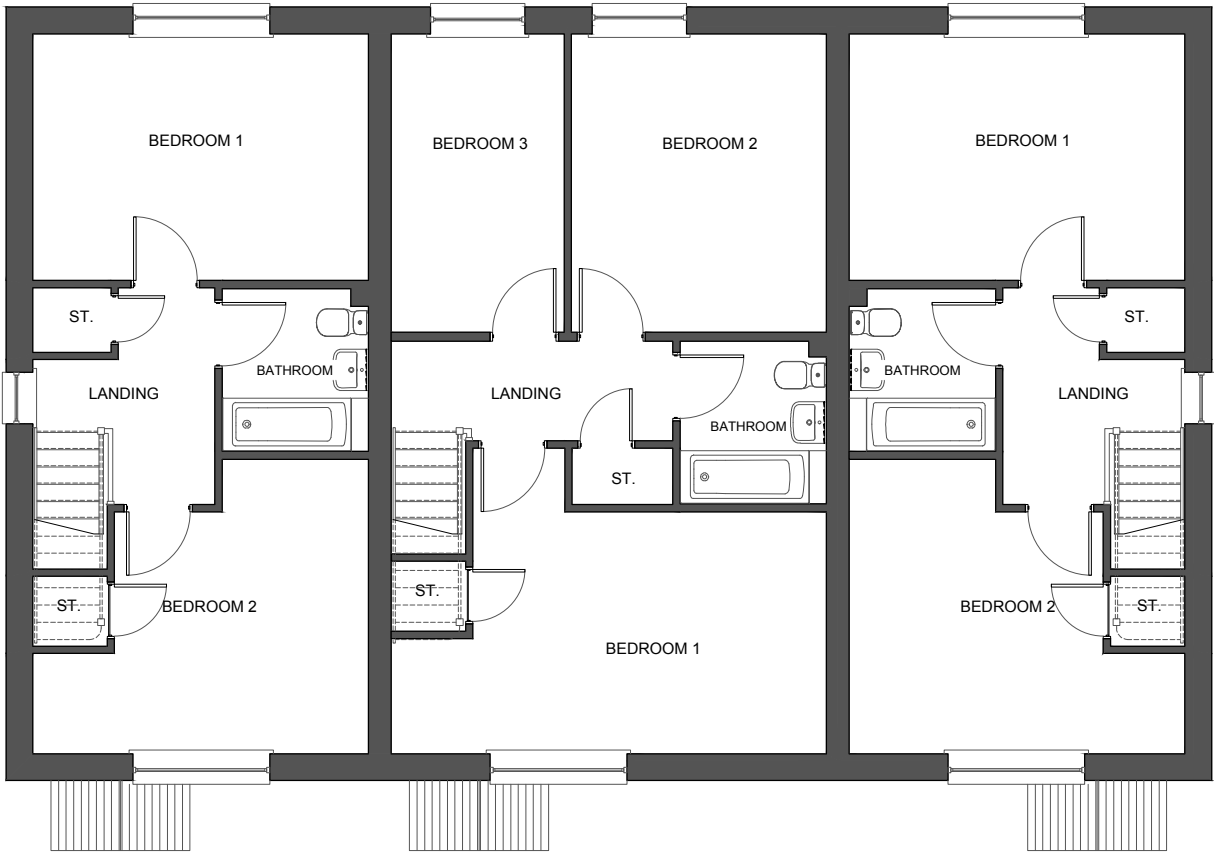
SIDE ELEVATION@1:200



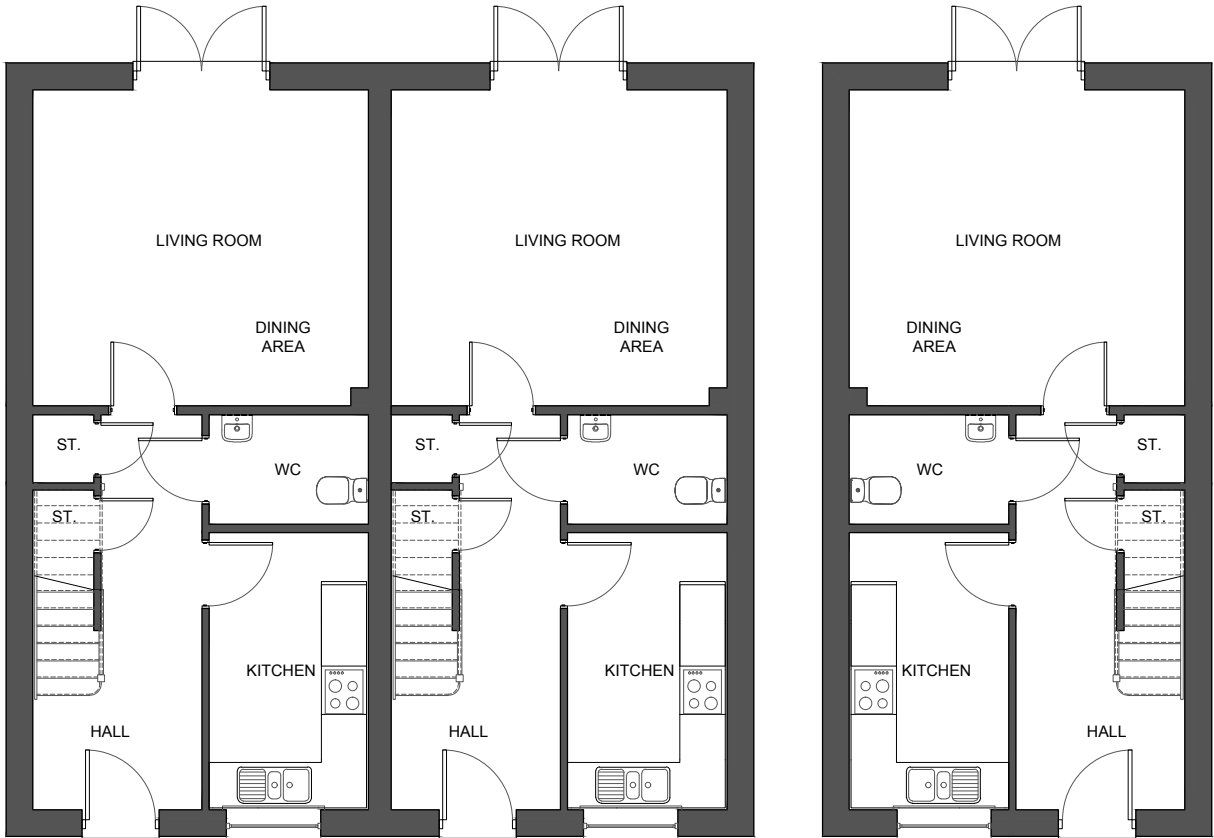
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



NDSS

M4(2)

M4(3)



THE AF3-1 & AF3-4 MEWS

3B5P

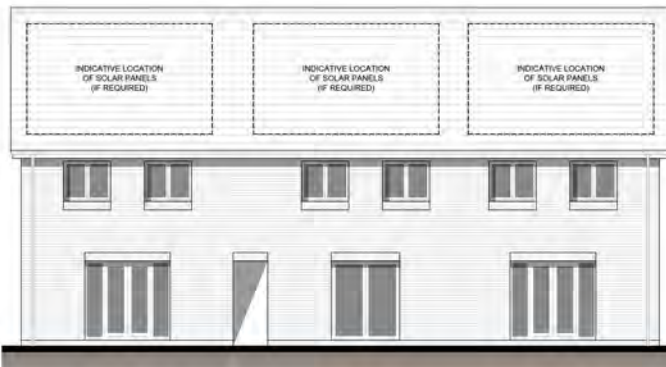
GROSS : 1003ft<sup>2</sup> / 93.2m<sup>2</sup>  
GROSS : 1022ft<sup>2</sup> / 94.9m<sup>2</sup>



FRONT ELEVATION@1:100



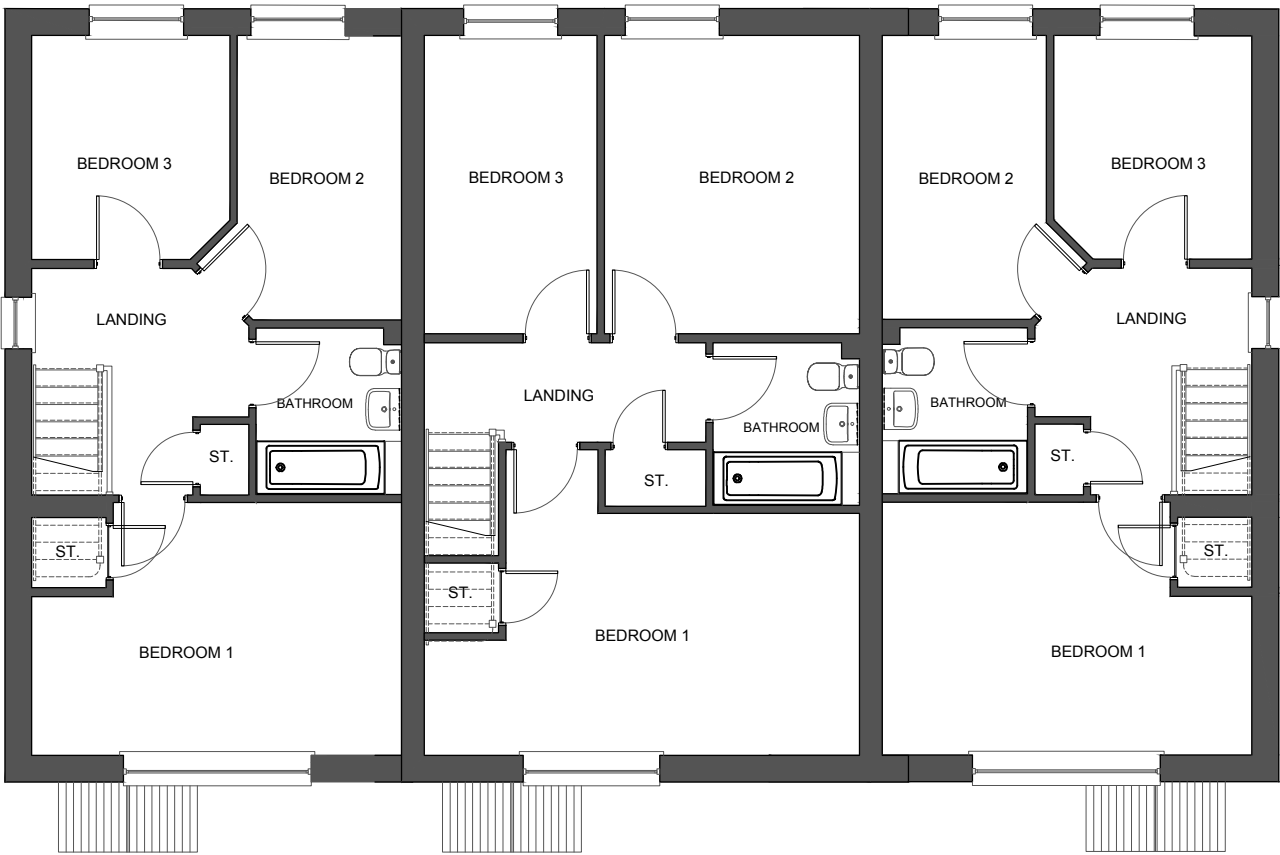
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



NDSSM4(2)M4(3)



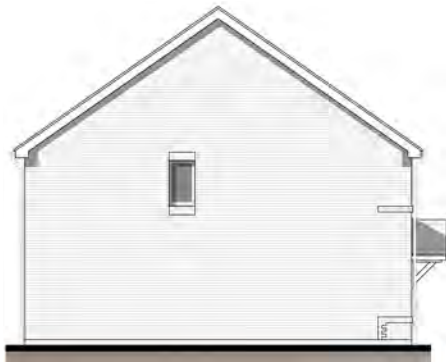
THE NEWTON  
SEMI

3B5P

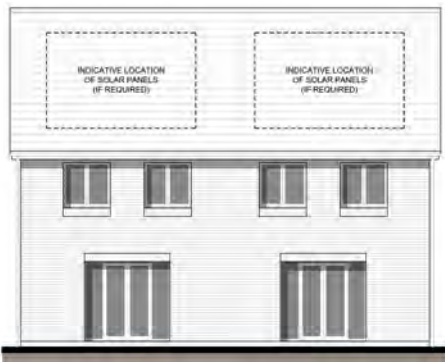
GROSS: 1056ft<sup>2</sup> / 98.1m<sup>2</sup>



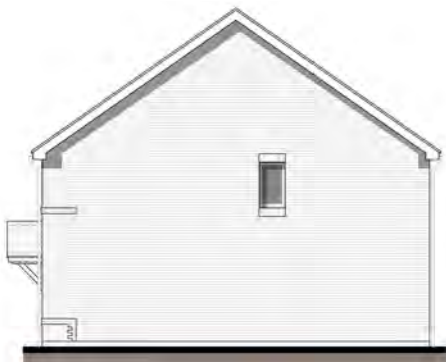
FRONT ELEVATION@1:100



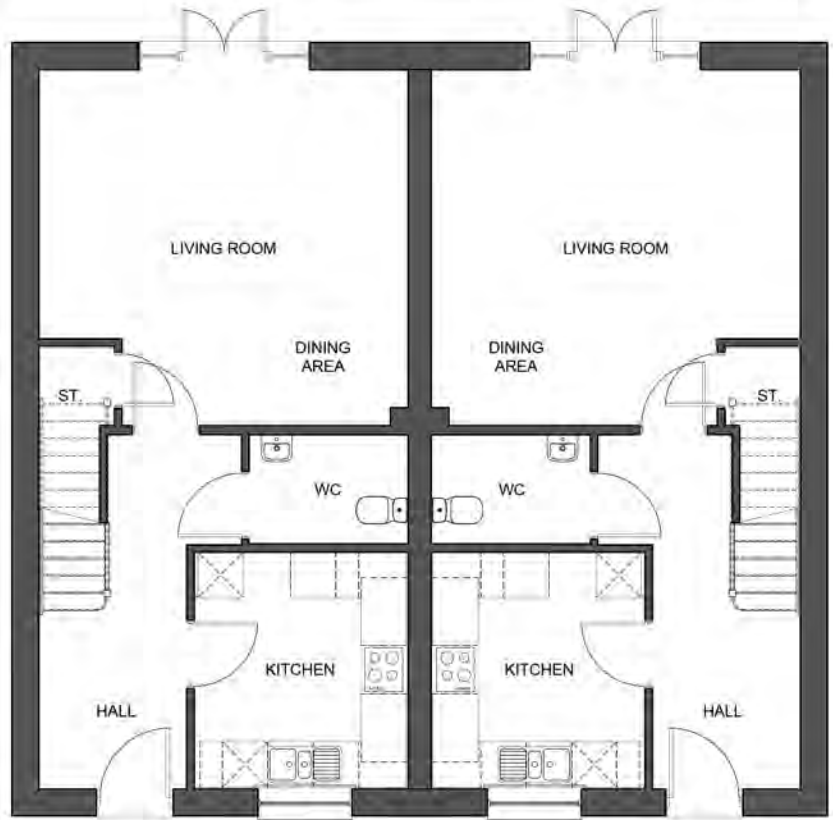
SIDE ELEVATION@1:200



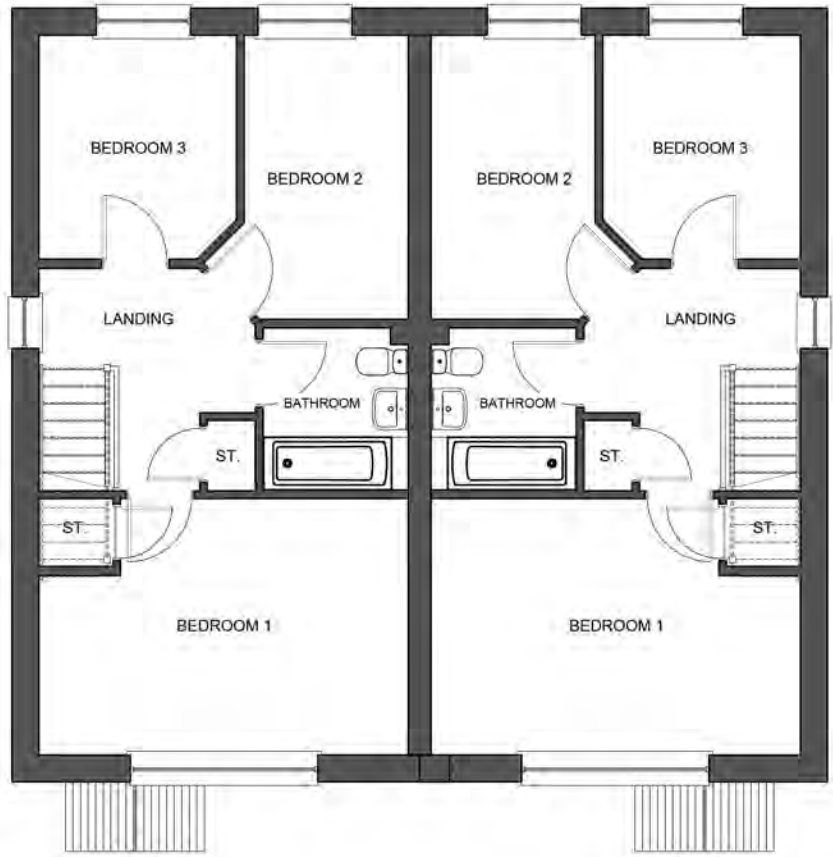
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
DODLESTON  
3B5P

GROSS : 1056ft² / 98.1m²



FRONT ELEVATION@1:100



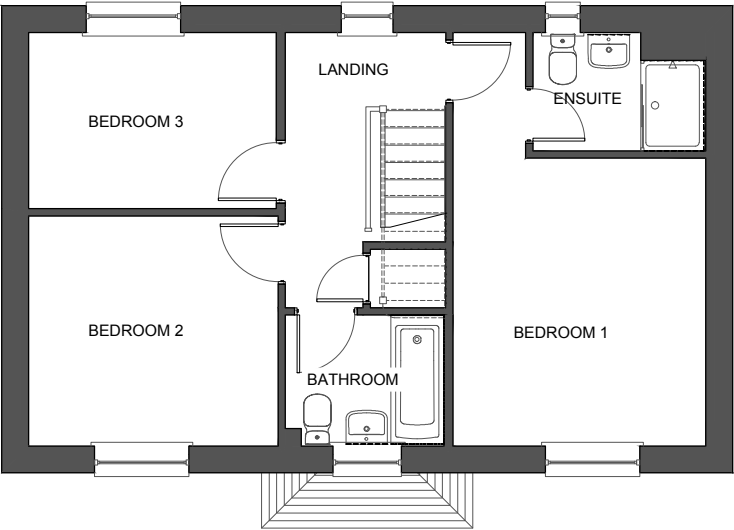
SIDE ELEVATION@1:200



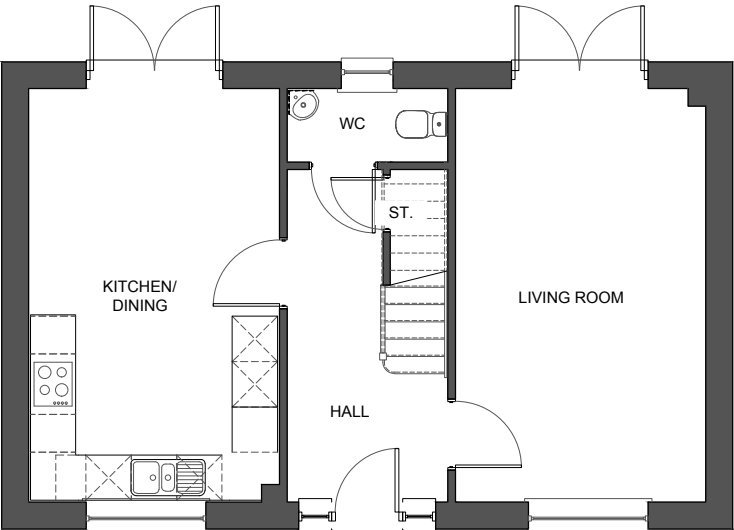
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
ECCLESTON  
3B5P

GROSS: 1056ft² / 98.1m²



FRONT ELEVATION@1:100



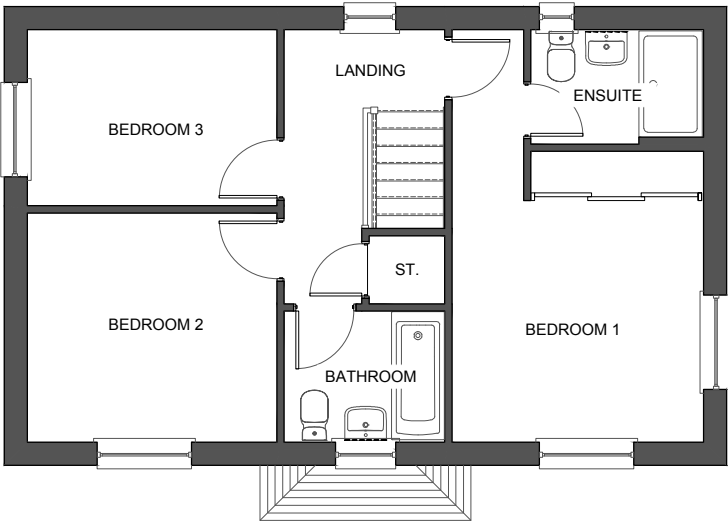
SIDE ELEVATION@1:100



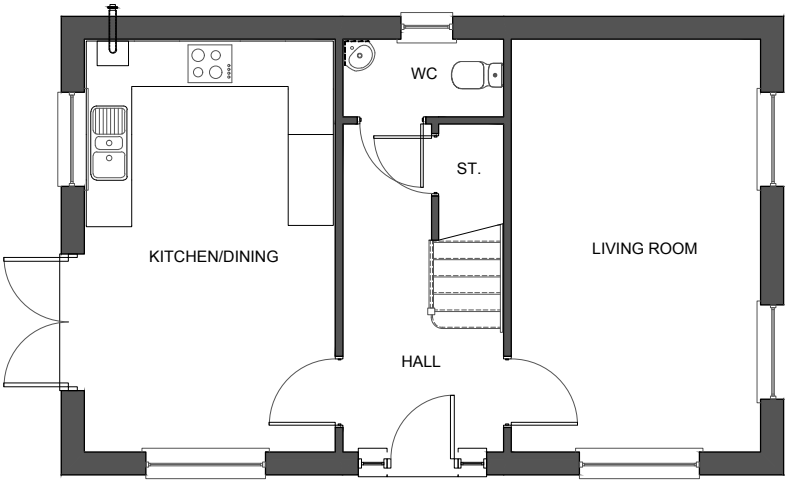
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



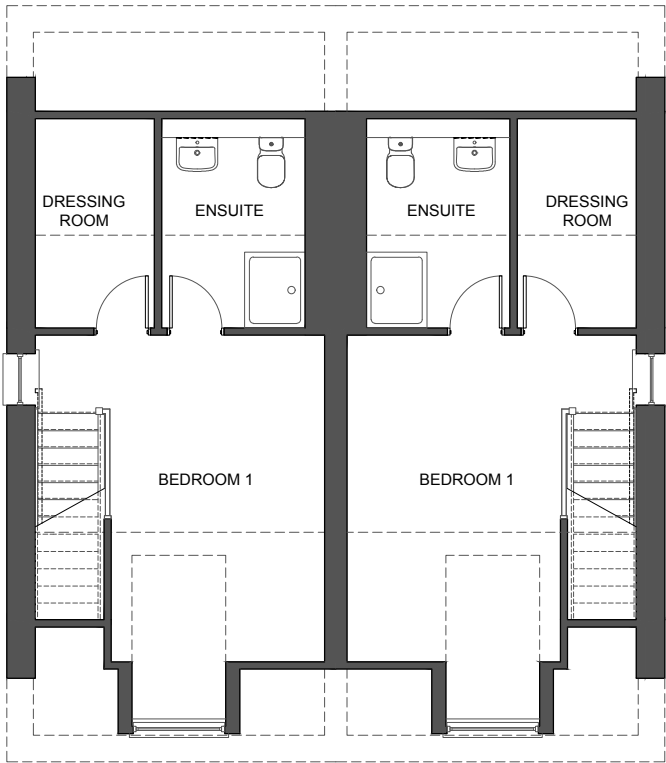
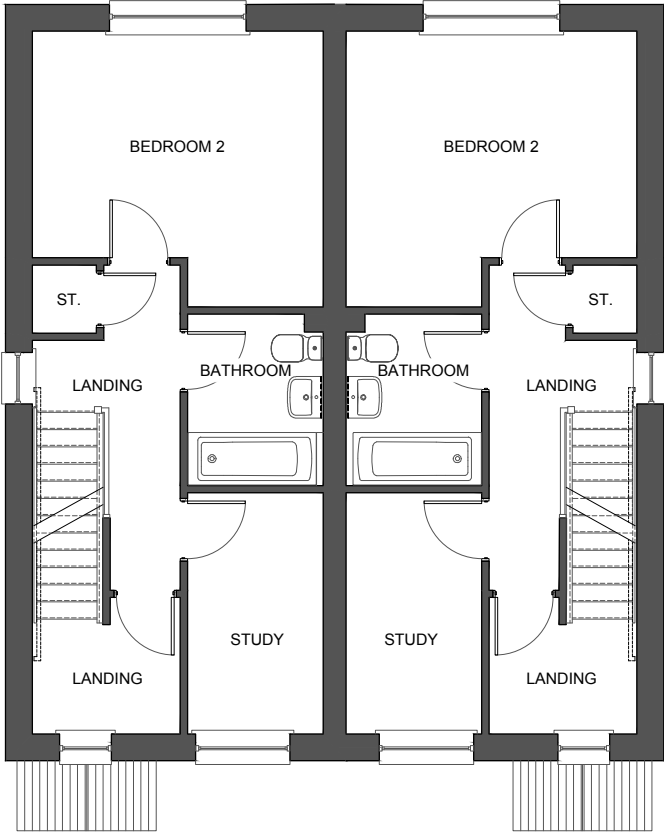
GROUND FLOOR PLAN@1:100



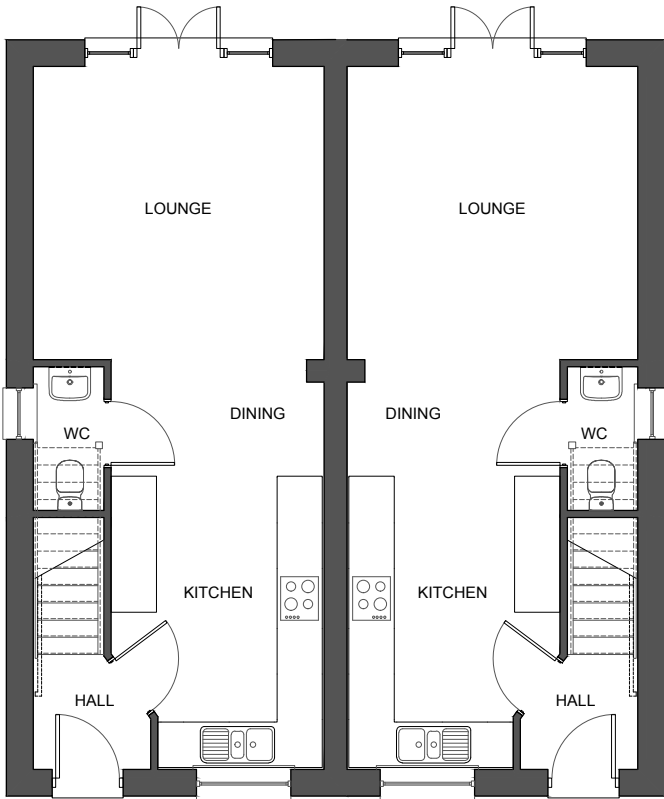
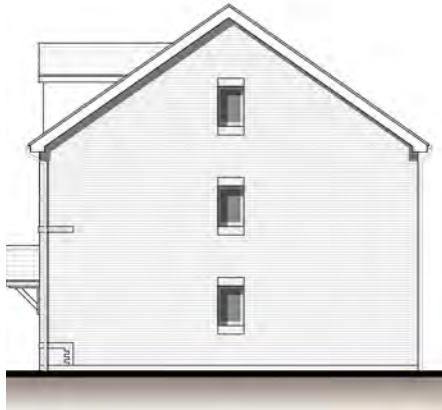
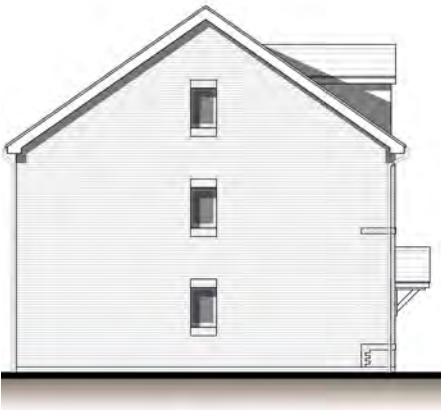


THE  
SNOWDON  
2B4P

GROSS: 1061ft² / 98.6m²



SECOND FLOOR PLAN@1:100





THE  
BIRKDALE  
3B5P

GROSS: 1101ft² / 102.2m²



FRONT ELEVATION@1:100



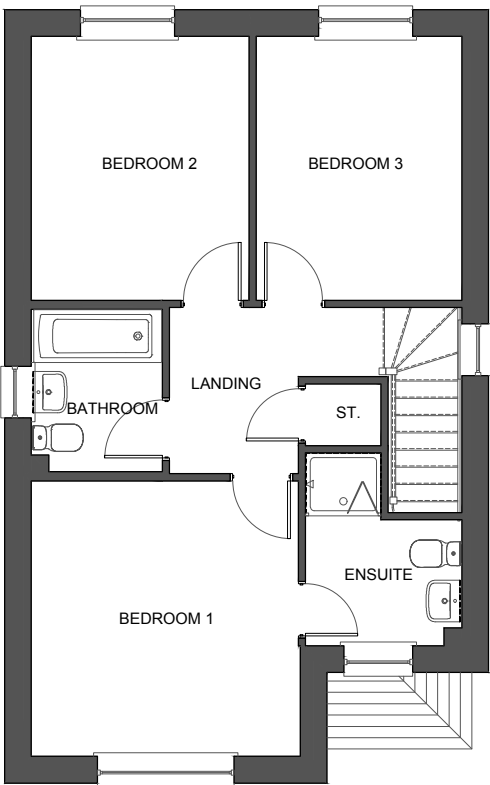
SIDE ELEVATION@1:200



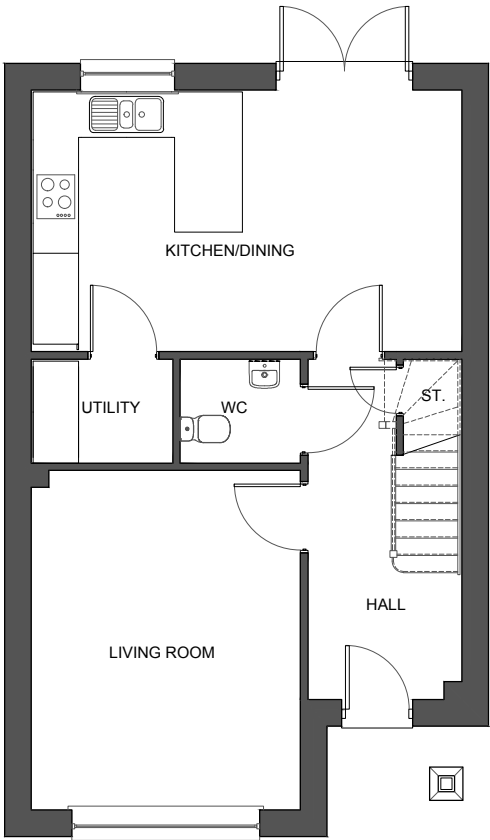
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE BIRKDALE  
SEMI  
3B5P

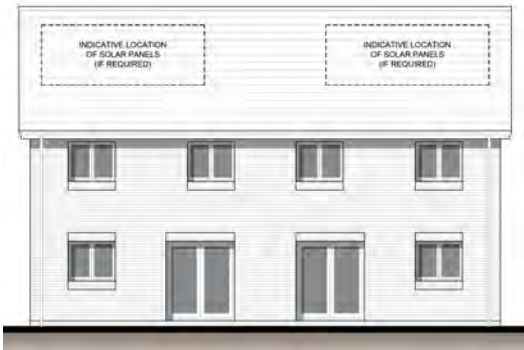
GROSS: 1101ft² / 102.2m²



FRONT ELEVATION@1:100



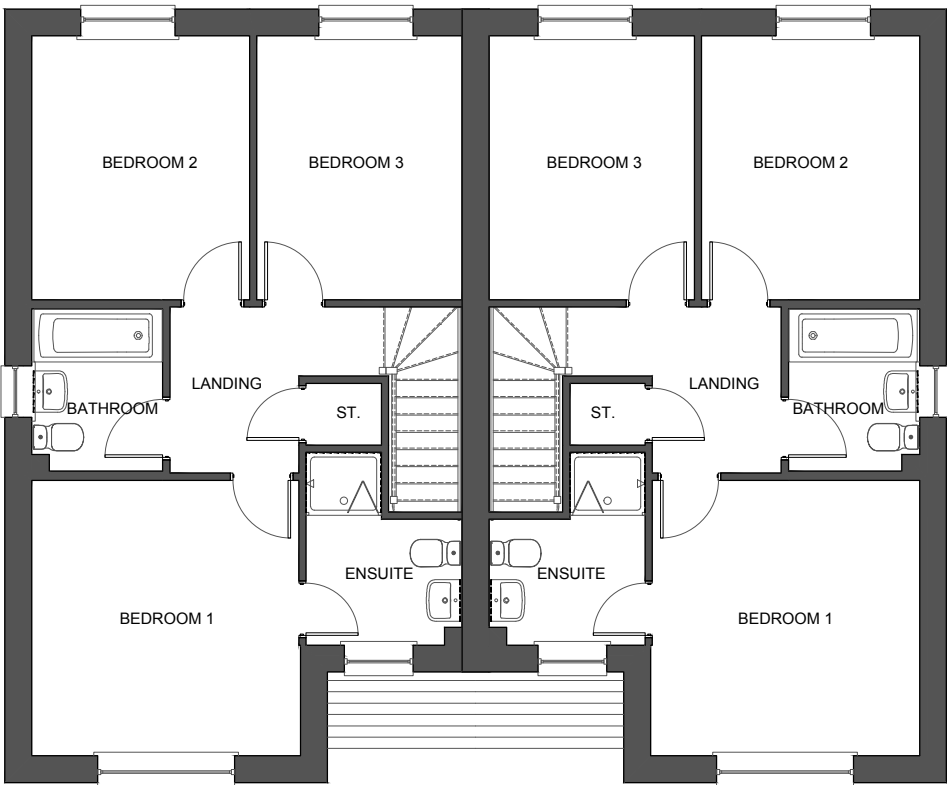
SIDE ELEVATION@1:200



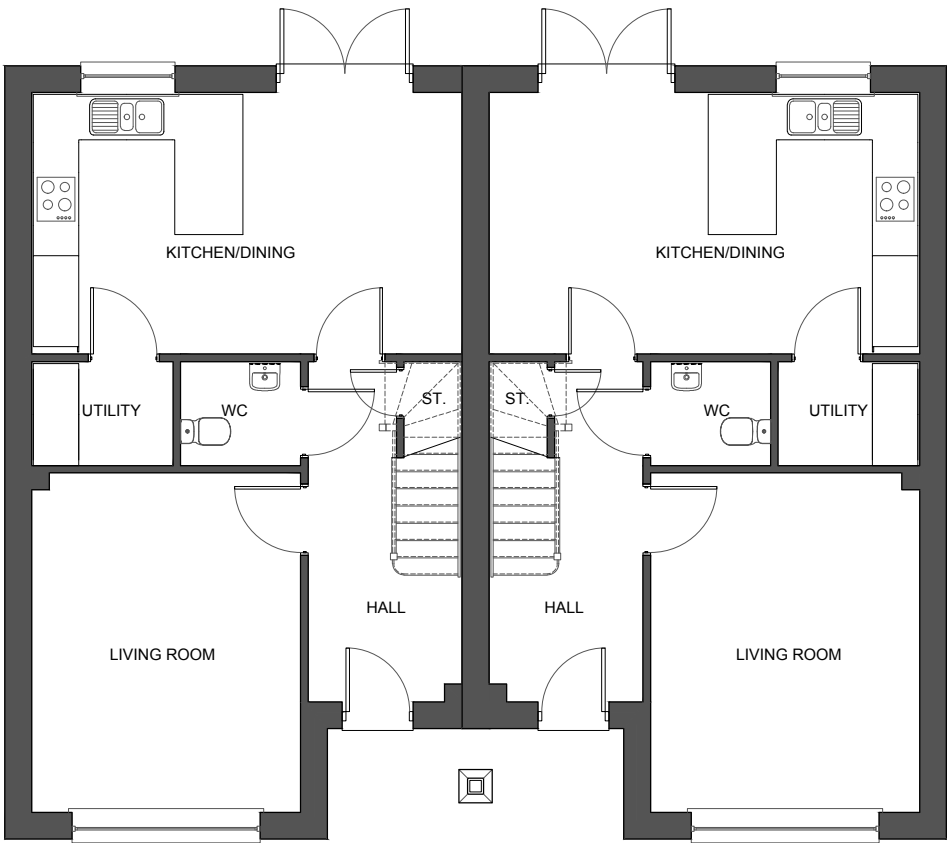
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





# THE LONGFORD 3B6P

GROSS: 1149ft<sup>2</sup> / 106.74m<sup>2</sup>



FRONT ELEVATION@1:100



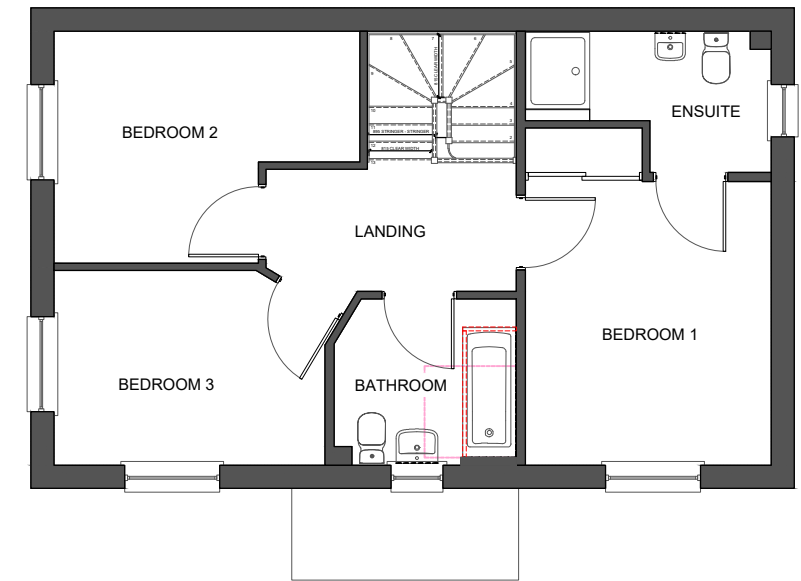
SIDE ELEVATION@1:100



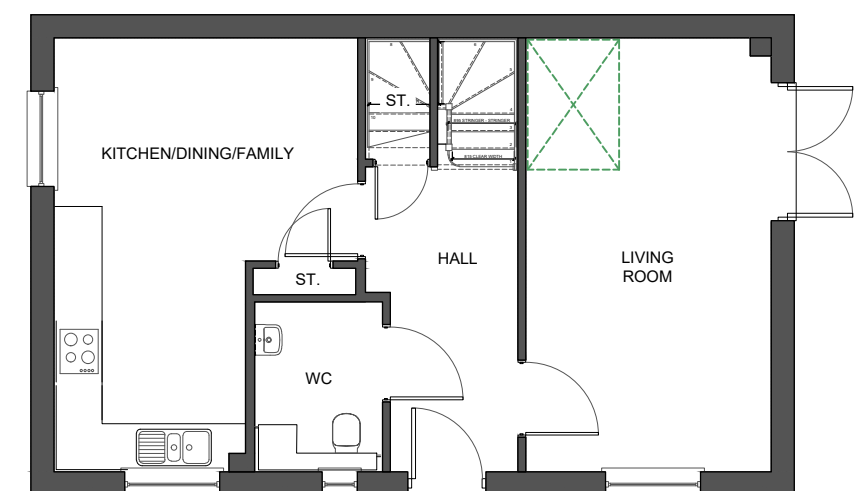
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





# THE LONGFORD 3B6P

GROSS: 1149ft<sup>2</sup> / 106.74m<sup>2</sup>



FRONT ELEVATION@1:100



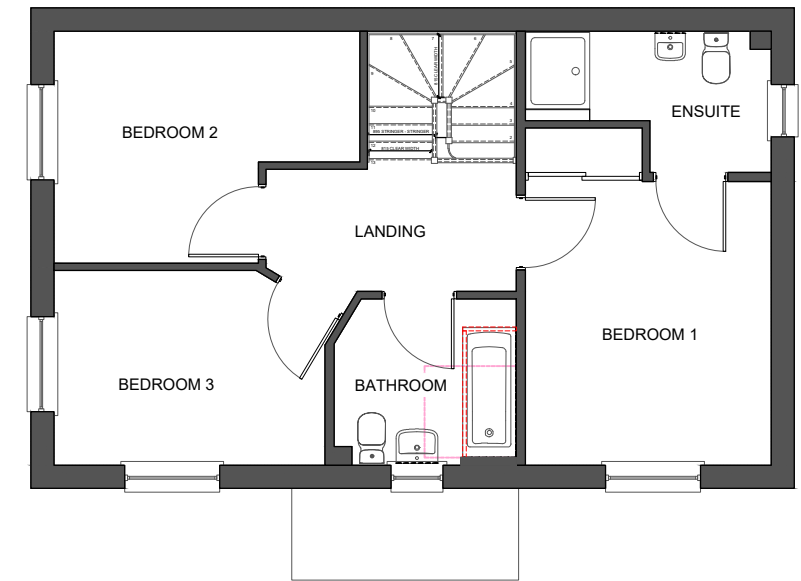
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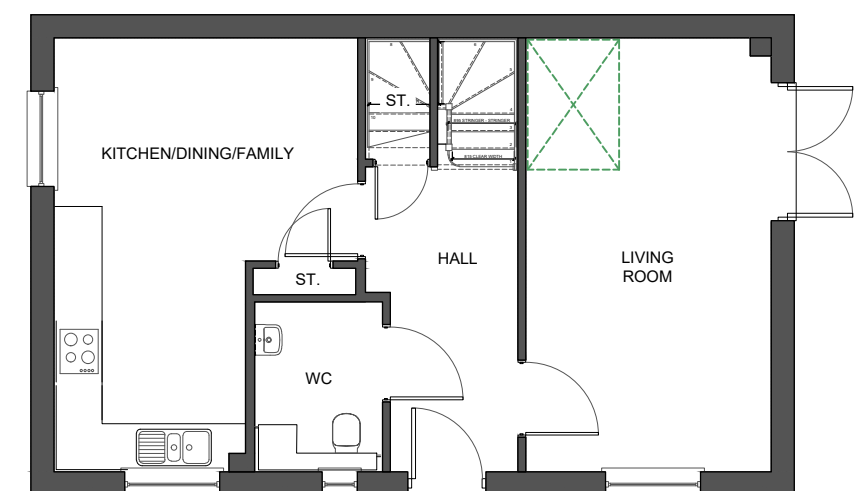
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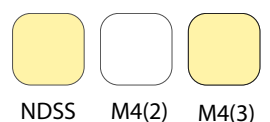
REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100



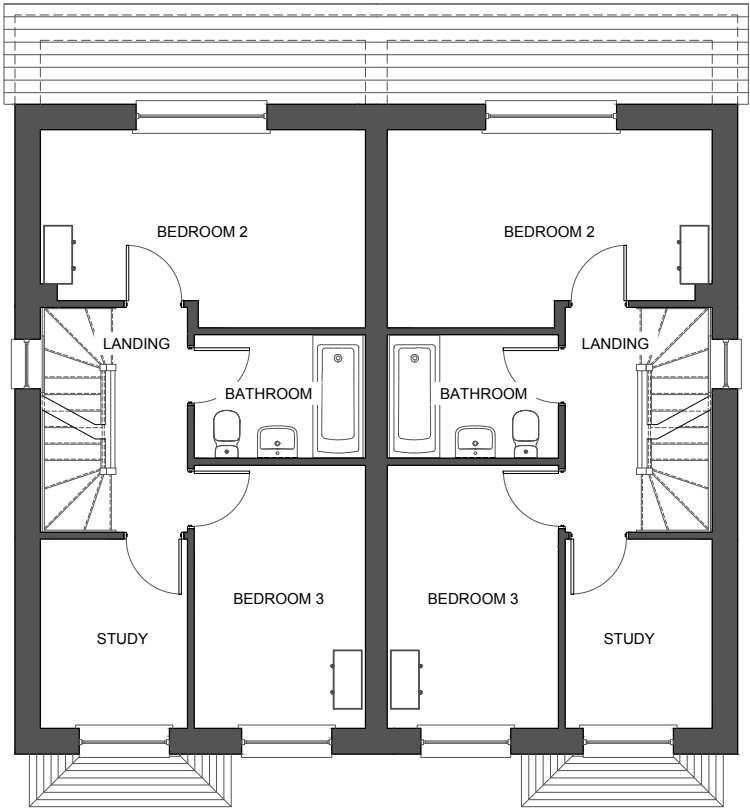


THE  
EUXTON  
3B6P

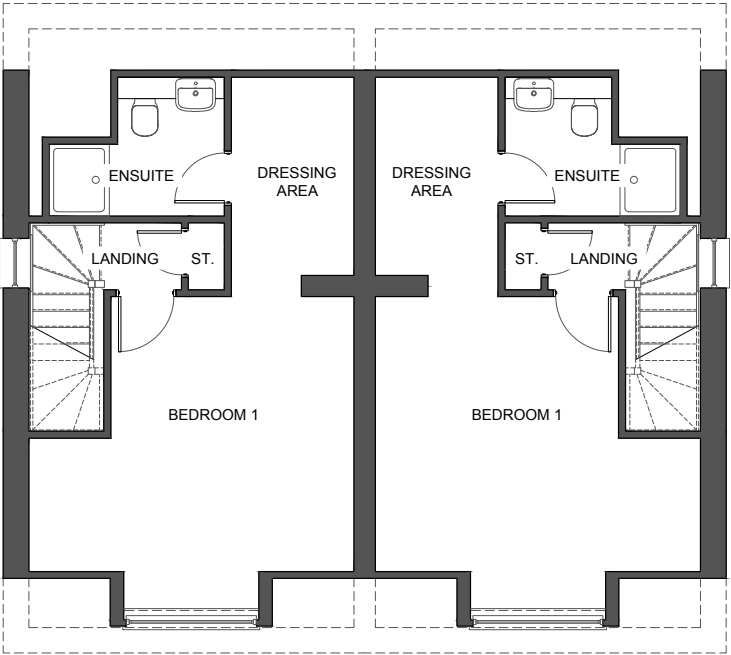
GROSS: 1180ft<sup>2</sup> / 109.6m<sup>2</sup>



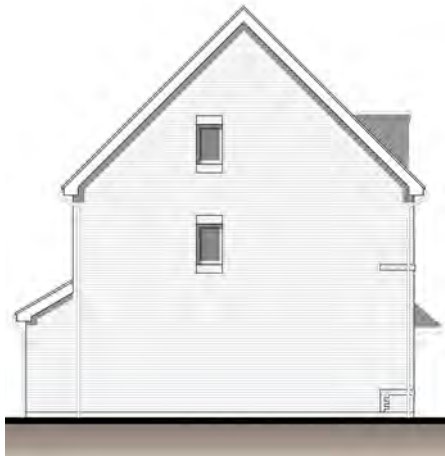
FRONT ELEVATION@1:100



FIRST FLOOR PLAN@1:100



SECOND FLOOR PLAN@1:100



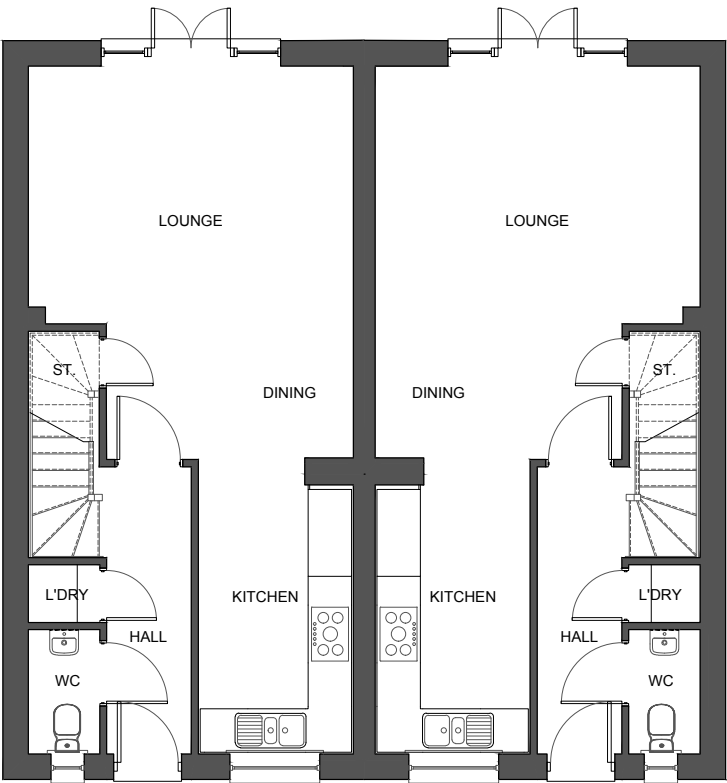
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



SIDE ELEVATION@1:200



GROUND FLOOR PLAN@1:100



NDSS M4(2) M4(3)



# THE MARFORD 4B7P

GROSS: 1329ft<sup>2</sup> / 123.5m<sup>2</sup>



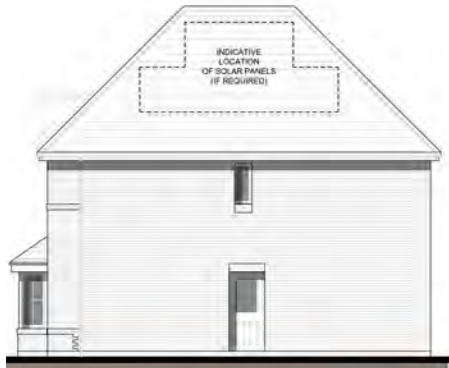
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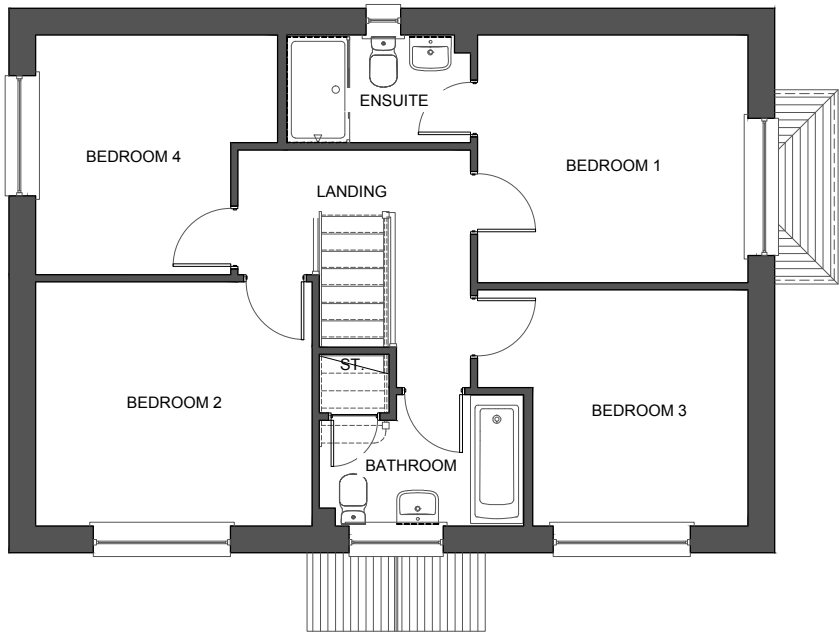
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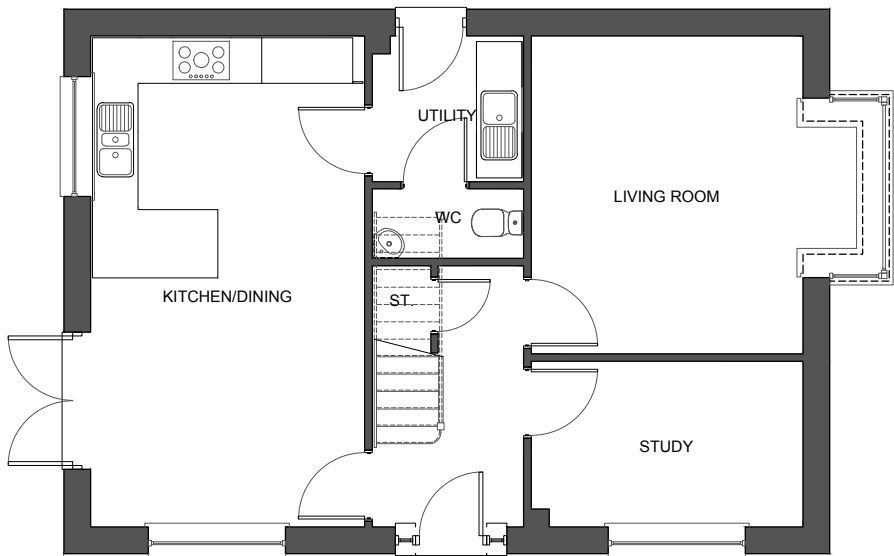
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
MARFORD  
4B7P

GROSS: 1329ft<sup>2</sup> / 123.5m<sup>2</sup>



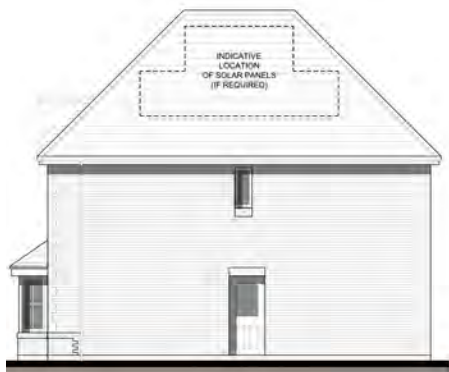
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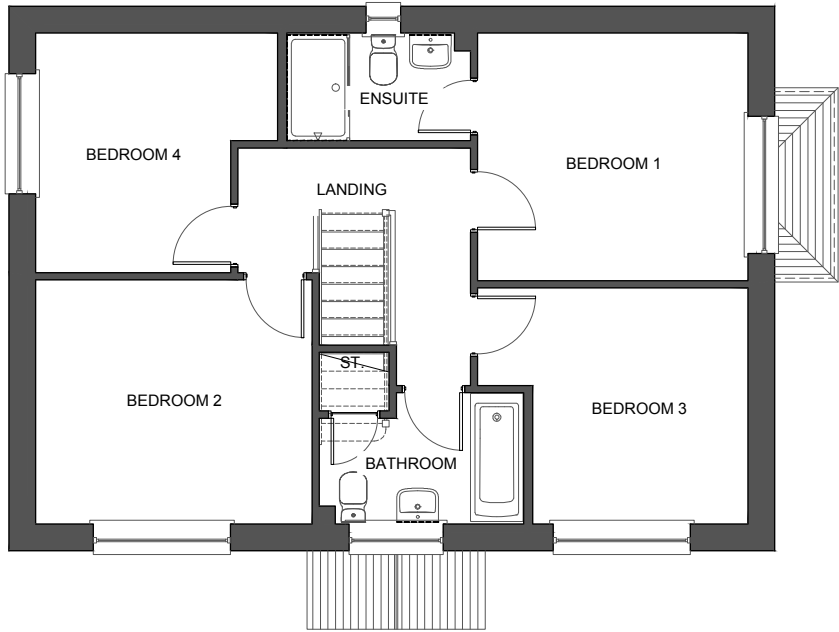
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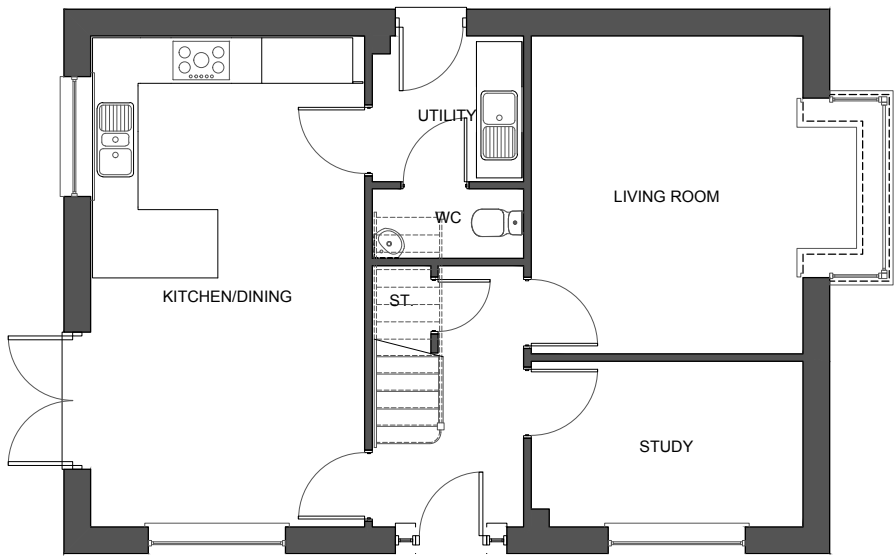
SIDE ELEVATION@1:200



REAR ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





THE  
OAKMERE  
4B8P

GROSS: 1515ft² / 140.8m²



FRONT ELEVATION@1:100



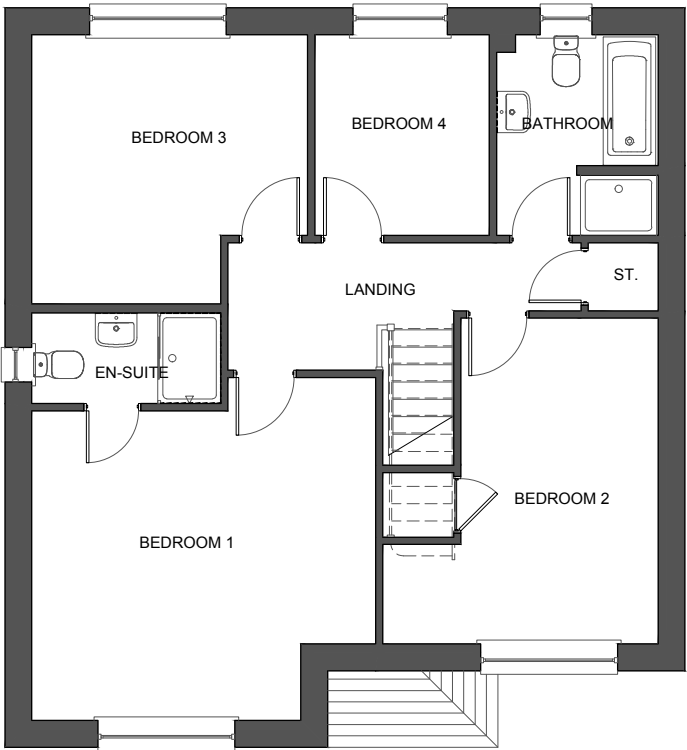
SIDE ELEVATION@1:200



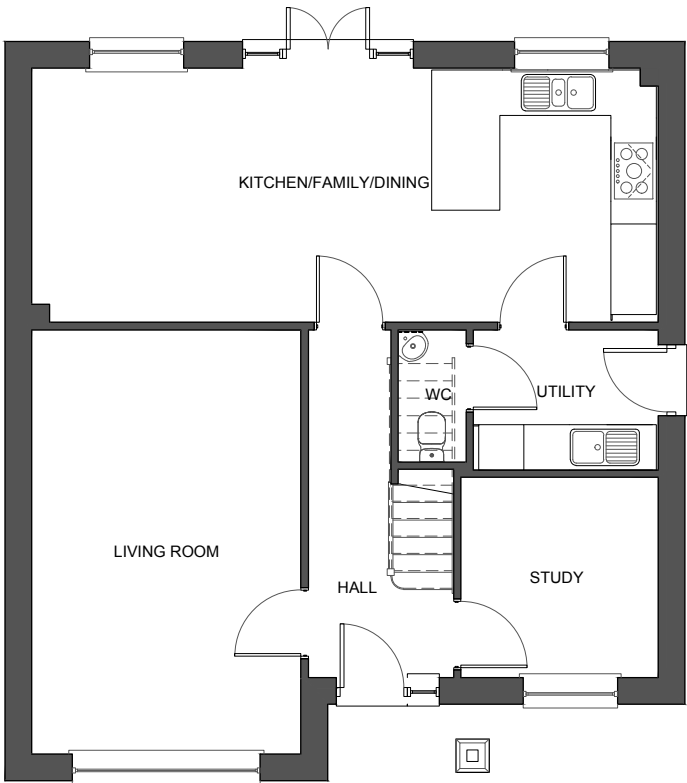
REAR ELEVATION@1:200



SIDE ELEVATION@1:200



FIRST FLOOR PLAN@1:100



GROUND FLOOR PLAN@1:100





GROSS: 1554ft<sup>2</sup>/ 144.3m<sup>2</sup>





GARAGES



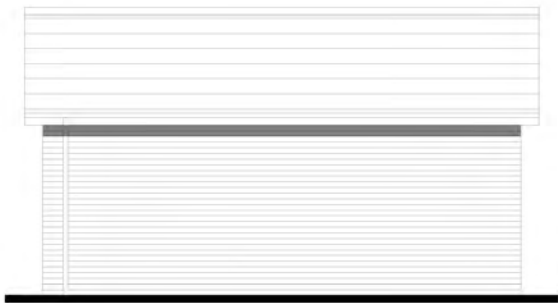
FRONT ELEVATION@1:100



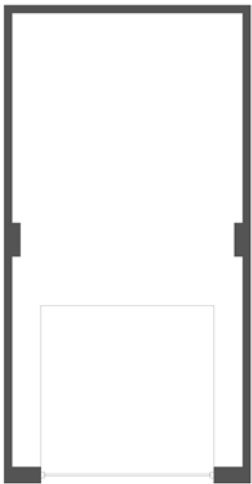
SIDE ELEVATION@1:100



REAR ELEVATION@1:100



SIDE ELEVATION@1:100



GROUND FLOOR PLAN@1:100



FRONT ELEVATION@1:100



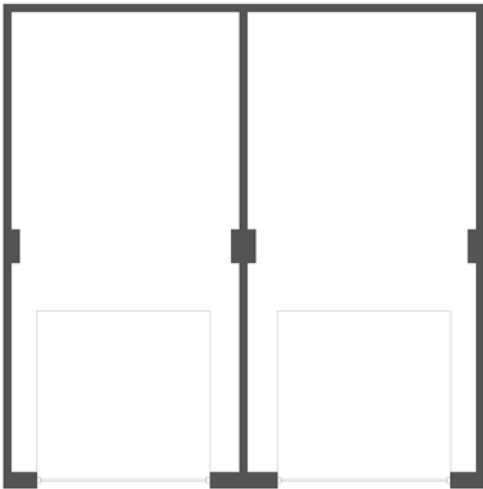
SIDE ELEVATION@1:100



REAR ELEVATION@1:100



SIDE ELEVATION@1:100



GROUND FLOOR PLAN@1:100







URBAN  
DESIGN  
GROUP

REGISTERED  
PRACTICE

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REVISION	DATE	REVISION NOTES	CHECKED BY:
First Draft	27.08.23	DRAFT	JB/AE
A	11.03.24	UPDATED TO LATEST LAYOUT	AE
B	17.09.24	UPDATED TO LATEST LAYOUT	AE
C	25.09.24	UPDATED TO LATEST LAYOUT	JB
D	03.10.24	UPDATED TO LATEST LAYOUT	JB
E	09.10.24	GARAGES ADDED	CB
F	16.10.24	UPDATED TO LATEST LAYOUT	CB
G	19.02.25	Updated fringe window colours	LS
H	27.02.25	Fringe housetypes updated	CB



Application No: 24/5075/FUL  
Application Type: Full Planning  
Location: Land West of Woodford Road, Poynton, Cheshire,  
Proposal: Development of a Battery Energy Storage System (BESS) with associated infrastructure, access, drainage and landscaping  
Applicant: c/o agent, Queequeg Renewables Ltd

Expiry Date: 30-May 2025

### **Summary**

The proposal seeks permission for a Battery Energy Storage System in the Green Belt, close to the boundary with Stockport. The site is considered to be grey belt, and it complies with the paragraph 155 exception to inappropriate development in the Green Belt.

The proposed BESS will result in some moderate/minor adverse visual impact which is likely to be experienced by only a small number of receptors at some distance from the application site, but with open views across the proposed development. The proposed mitigation planting would further reduce the adverse visual effect of the built elements of the proposal to a level of minor adverse. This visual impact, as with all the impacts associated with the proposed development, would be temporary but still relatively long-term in nature, given the 40-year period permission is sought for.

There would also be a loss of around 3.4ha of the best and most versatile BMV as a result of the proposed development for a 40-year period, and there is no mitigation for the loss of agricultural land.

Balanced against this harm, the applicant has identified a range of economic benefits arising from the construction and operation of the BESS. The proposal will also secure significant biodiversity improvements and landscaping that are likely to endure long after the development has left the site. But of most significance are the need for the proposal, the role of storage in reducing the costs of the electricity system and increase reliability by storing surplus electricity in times of low demand to provide electricity when demand is higher, and the contribution that electricity storage makes to achieving the goal of net zero, as identified the National Policy Statement EN-1. This is considered to attract substantial weight in favour of the proposal.

There is considered to be neutral or acceptable impacts upon matters relating to contaminated land, Green Belt, trees and hedgerows, ecology, heritage, noise, air quality, living conditions, flood risk and drainage, and highways subject to relevant conditions.

Overall, the identified benefits of the proposed development are considered to clearly outweigh the identified harm. The proposal is therefore considered to be sustainable development, and a recommendation of approval is made.

### **Summary recommendation**

**Approve subject to conditions**



## **1. REASON FOR REFERRAL**

- 1.1. The application site exceeds 4ha, and as such is a Large-Scale Major Development, which requires a decision to be made by the Strategic Planning Board, in accordance with the Council's Scheme of Delegation.

## **2. DESCRIPTION OF SITE AND CONTEXT**

- 2.1. The application site is approximately 5ha and comprises an open agricultural field and access track within open countryside and the Green Belt. Hedgerows and tree coppices largely form the northern and southern boundaries of the Site. Further agricultural fields are located to the east. A woodland falls partly within the Site boundary and is located adjacent to the western boundary which incorporates Priority Habitat, Ancient Woodland and a Local Wildlife Site/Site of Biological Importance. A watercourse runs through this woodland in a north/south direction, in addition to the presence of a number of ponds in the woodland. The Site is within the Council's Ecological Network Restoration Areas.
- 2.2. The Site is located close to the administrative boundary of Stockport Council. It lies approximately 1.5km north-west of Poynton, approximately 1.6km east of Bramhall, and approximately 1.6km south-west of Hazel Grove. The access track that forms part of the application site leads from Woodford Road to the main area of the site, which is set back approximately 400m from Woodford Road.

## **3. DESCRIPTION OF PROPOSAL**

- 3.1. This application seeks full planning permission for the erection of a Battery Energy Storage System (BESS) with associated infrastructure, access, drainage and landscaping. The BESS development will have a capacity of 99.9MW allowing for the influx, storage and outflux of energy generated by renewable energy sources such as solar and wind farms to facilitate a more consistent supply of renewable energy. The compound enclosing the battery storage equipment will measure 62m x 143m, and the access track will stretch approximately 420m back from Woodford Road.
- 3.2. The proposal specifically comprises the following components:
- 40no. containerised battery energy storage units sited in pairs (referred to as battery racks on Dwg. No. 00A/00B) measuring approx. 6.1m in length x 2.4m in width x 4.1m in height to be placed on hardstanding;
  - 20no. medium voltage battery cabins measuring 6.1m in length x 2.4m in width and 3.1m in height;
  - 1no. welfare container measuring 12.2m in length x 2.5m in width and 2.8m in height;
  - 1no. 33kV/DNO compound building measuring 25m in length, 6m in width and 6m in height;
  - District Network Operator (DNO) compound/substation to include multiple components and cabling, including a transformer measuring 6.5m in height, poles, isolators, breakers and CT VT measuring 5.9m in height, a cable sealend measuring 4m in height and grounding transformer measuring 3m in height;
  - An external access track surfaced with Eco Grid E50 with a type 1 hardcore;
  - 2no. car parking spaces, an internal access track and gravel surfacing within the BESS compound;
  - Security (palisade) fencing and 2no. sliding gates measuring 2.5m in height;
  - Relevant communications and monitoring equipment including CCTV measuring a maximum height of 4.4m; and
  - 1no. attenuation basin, 1no. gravel trench and 2no. below ground attenuation crates.



3.3 The Planning, Design and access Statement states that the proposed development will involve the temporary change of use of the land over a 40-year period.

#### **4. RELEVANT PLANNING HISTORY**

4.1.24/0315S - EIA screening opinion for proposed development of a circa 100MW Battery Energy Storage System – EIA not required 26.03.2024

#### **5. NATIONAL PLANNING POLICY**

5.1. The National Planning Policy Framework (NPPF) was first published by the Government in March 2012 and has since been through several revisions. It sets out the planning policies for England and how these should be applied in the determination of planning applications and the preparation of development plans. At the heart of the NPPF is a presumption in favour of sustainable development. The NPPF is a material consideration which should be taken into account for the purposes of decision making.

5.2. Other Relevant National Policy, Guidance or Legislation includes:

- National Planning Practice Guidance
- Overarching National Policy Statement for Energy (EN-1).

#### **6. DEVELOPMENT PLAN POLICY**

6.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires decisions on planning applications to be made in accordance with the Development Plan unless material considerations indicate otherwise. The Cheshire East Local Plan Strategy (2010 – 2030) was adopted in July 2017. The Site Allocations and Development Policies Documents was adopted in December 2022. The policies of the Development Plan relevant to this application are set out below, including relevant Neighbourhood Plan policies where applicable to the application site.

##### **6.2. Cheshire East Local Plan Strategy (CELPS)**

MP1 Presumption in Favour of Sustainable Development

PG1 Overall Development Strategy

PG2 Settlement Boundaries

PG3 Green Belt

PG6 Open Countryside

PG7 Spatial distribution of development

SD1 Sustainable development in Cheshire East

SD2 Sustainable development principles

IN1 Infrastructure

SE1 Design

SE2 Efficient Use of Land

SE3 Biodiversity and geodiversity

SE4 The Landscape

SE5 Trees, Hedgerows and Woodland

SE8 Renewable and Low Carbon Energy

SE9 Energy Efficient Development

SE12 Pollution, Land Contamination and Land Instability

SE13 Flood risk and Water Management

CO1 Sustainable Travel and Transport

##### **6.3 Site Allocations & Development Policies Document (SADPD)**

GEN1 Design Principles

GEN5 Aerodrome Safeguarding



ENV1 Ecological network  
ENV2 Ecological Implementation  
ENV3 Landscape Character  
ENV5 Landscaping  
ENV6 Trees, hedgerows and woodland implementation  
ENV7 Climate change  
ENV11 Proposals for battery energy storage systems  
ENV12 Air Quality  
ENV14 Light pollution  
ENV16 Surface water management and flood risk  
HER8 Archaeology  
RUR5 Best and most versatile agricultural land  
HOU12 Amenity  
INF3 Highway safety and access  
INF9 Utilities  
REC3 Open space implementation

#### 6.4 Neighbourhood Plan

Policies of the Poynton Neighbourhood Plan relevant to the consideration of this application are:

EGB1: Surface Water Management  
EGB3: Natural and Historic Environment  
EGB7: Landscape Enhancement  
EGB8: Protection of Rural Landscape Features  
EGB9: Nature Conservation  
EGB10: Wildlife Corridor

### 7. **RELEVANT SUPPLEMENTARY PLANNING DOCUMENTS OR GUIDANCE**

7.1. Supplementary Planning Documents and Guidance do not form part of the Development Plan but may be a material consideration in decision making. The following documents are considered relevant to this application:

SuDS SPD  
Ecology and Biodiversity Net Gain SPD  
Environmental Protection SPD

### 8. **CONSULTATIONS (External to Planning)**

**Environmental Protection** – No objection subject to conditions relating to contaminated land

**Head of Strategic Transport** – No objection subject to condition relating to the site access

**LLFA** – No objections subject to condition relating to implementation of drainage

**Cheshire Archaeology** – No objection

**Cheshire Fire & Rescue** – Comments awaited

**Stockport MBC** – No objection in principle

**Poynton Town Council** – No objection provided that:

- The Planning Officer agrees the scheme is compatible with the Green Belt; and
- The Environmental Health Officer is satisfied regarding public safety; and
- The Highways Officer reviews the proposed access onto Woodford Road



- Request that the developer is asked to make a s106 contribution to the Lower Park Crescent Play Area.

**Cllr Beanland** - Supports this application if some provision could be made to enhance the local community's leisure facilities specifically in the Lower Park Crescent.

## 9. REPRESENTATIONS

9.1. One letter of representation has been received from the Cheshire Wildlife Trust registering a holding objection on the following grounds:

- List of designated sites with 2km provided by the applicant does not include any Local Wildlife Sites in Cheshire – The submission is therefore not thorough or complete
- More information needed to ensure ancient woodland will not be impacted hydrologically or through air pollution.
- 50m buffer to ancient woodland is recommended

## 10. OFFICER APPRAISAL

### Principle of the development in the Green Belt

10.1. The application site lies within the Green Belt. The Government attaches great importance to Green Belts, and national and local policies are intended to reflect this. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open. The two essential characteristics of Green Belts are their openness and their permanence (paragraph 142 NPPF).

10.2. Green Belts serve the following five purposes (paragraph 143 NPPF):

- a) to check the unrestricted sprawl of large built-up areas;
- b) to prevent neighbouring towns merging into one another;
- c) to assist in safeguarding the countryside from encroachment;
- d) to preserve the setting and special character of historic towns; and
- e) to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

10.3. To achieve this, there are restrictions on the types of development which may be carried out. These are listed as exceptions to inappropriate development in the Green Belt within paragraphs 154 and 155 of the Framework and within CELPS policy PG 3. The exceptions listed in policy PG3 are not entirely consistent with those listed in paragraphs 154 and 155 of the NPPF, and therefore this reduces the weight that can be afforded to this CELPS policy.

10.4. None of the exceptions within paragraph 154 (or CELPS policy PG3) apply to the proposed development. Turning to paragraph 155, this states that:

*“The development of homes, commercial and other development in the Green Belt should also not be regarded as inappropriate where all the following apply:*

- a. The development would utilise grey belt land and would not fundamentally undermine the purposes (taken together) of the remaining Green Belt across the area of the plan;*
- b. There is a demonstrable unmet need for the type of development proposed;*
- c. The development would be in a sustainable location, with particular reference to paragraphs 110 and 115 of this Framework; and*
- d. Where applicable the development proposed meets the ‘Golden Rules’ requirements set out in paragraphs 156-157 below.”*

10.5. The glossary to the NPPF defines grey belt as: *“land in the Green Belt comprising previously developed land and/or any other land that, in either case, does not strongly contribute to any of purposes (a), (b), or (d) in paragraph 143. ‘Grey belt’ excludes land*

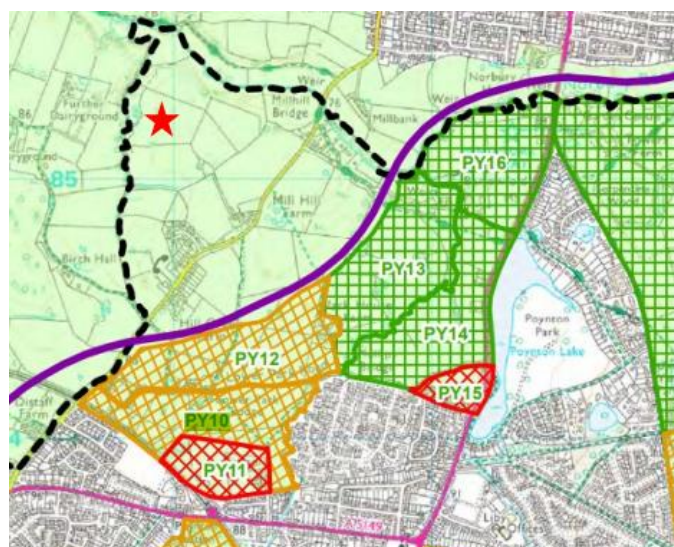


*where the application of the policies relating to the areas or assets in footnote 7 (other than Green Belt) would provide a strong reason for refusing or restricting development.”*

Therefore, in order to determine whether the development qualifies as an exception to inappropriate development in the Green Belt under paragraph 155, it is first necessary to consider whether the land is grey belt.

#### Defining Grey Belt – Purposes a, b and d

- 10.6. As an open and undeveloped agricultural field the application site is not considered to be previously developed land. Even if not defined as previously developed land, the site may still be considered to be grey belt if it does not strongly contribute to any of purposes (a), (b), or (d) in paragraph 143 of the NPPF (as outlined in 10.2 above). The latest Green Belt review in Cheshire East was carried out in 2015, as evidence for the CELPS, and its findings are set out within the Council's Green Belt Assessment Update 2015 Final Consolidated Report. It should be noted that the Assessment Update was prepared almost 10 years prior to the most recent national policy and national guidance updates, with grey belt now an additional matter in the consideration of Green Belt policy. This document is therefore not up to date with recent policy and guidance, which reduces the weight to be afforded to it. Nonetheless, it is a useful starting point for considering whether the land is grey belt. The application site is located within General Area P3 within the Green Belt Review. Extracts from the Green Belt Review are shown below with the application indicated by the red star:



- 10.7. Purpose (a) relates to checking the unrestricted sprawl of large built-up areas. The application site has the large built-up areas of Bramhall to the west, Hazel Grove to the north and Poynton to the south. The Green Belt Review (2015) notes that parcel P3 makes a



significant contribution to purpose (a) in that it is *“well connected to Poynton to the south, where small-scale development could take place whilst being contained by existing roads. The area could contribute to the restriction of ribbon development.”* However, P3 is a large area and covers land parcels to the north and south of the A555.(shown by the purple line above).

- 10.8. Planning Practice Guidance (PPG) sets out considerations for informing judgements on the contributions areas make to Green Belt purposes a, b and d. For purpose (a) the PPG clarifies that villages should not be considered large built-up areas. The PPG advises that for an area to make a strong contribution to purpose (a) it is likely to be free of existing development and lack physical features in reasonable proximity that could restrict and contain development. They are also likely to be adjacent or near to large built-up areas, and if developed it would result in an incongruous pattern of development (such as an extended finger of development into the Green Belt).
- 10.9. The application site is quite detached from the main built-up area of Poynton to the south and as such would not add to concerns of the urban sprawl of Poynton. Its relationship with Hazel Grove to the north, although closer, is similarly detached and as such raises no sprawl concerns. However, to the east, development does extend out from Bramhall towards the application site, and viewed aerially, the application proposals would further extend this relatively linear pattern of development westwards. That being said the western boundary of the application site is bordered by Mill Hill Farm Wood, a Local Wildlife Site, which has a depth of approximately 100m at its widest point, which is a feature that would arguably restrict and contain development. Although given that there is already development on the other (east) side of the woodland its value as a containment feature would be compromised. The mature trees and hedgerows long the north and south boundaries are also features that would help to contain the development.
- 10.10. The PPG advises that an area that contributes moderately are likely to be adjacent or near to a large built-up area, but include one or more features that weaken the land's contribution to this purpose a, such as (but not limited to): having physical feature(s) in reasonable proximity that could restrict and contain development; being partially enclosed by existing development, such that new development would not result in an incongruous pattern of development; contain existing development; or being subject to other urbanising influences. In this case, given the presence of these relatively strong boundary features, using the criteria within the PPG, on balance the site is considered to make a moderate contribution to purpose (a), and not a strong contribution
- 10.11. Purpose (b) relates to preventing neighbouring towns merging into one another. The PPG advises that areas that contribute strongly to purpose (b) are likely to be free of existing development and include all of the following features: forming a substantial part of a gap between towns and the development of which would be likely to result in the loss of visual separation of towns. In this case, whilst the site is free of existing development, it does not form a substantial part of the gap between towns, and it will not result in the loss of visual separation of towns. As such the site does not make a strong contribution to purpose (b).
- 10.12. Purpose (d) relates to preserving the setting and special character of historic towns. The Council's 2015 Green Belt Review states that parcel P3 makes no contribution as the *“general area is not located near any historic towns as Poynton is not considered a historic town for the purpose of the Green Belt Assessment.”* This is still considered to be the case, and as such the site does not make a strong contribution to purpose (d).



Defining Grey Belt – Footnote 7

10.13. Grey belt excludes land where the application of the policies relating to the areas or assets in footnote 7 (other than Green Belt) would provide a strong reason for refusing or restricting development. The assets referred to in footnote 7 include the following:

- Habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest;
- Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast;
- Irreplaceable habitats;
- Designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75);
- Areas at risk of flooding or coastal change.

10.14. Only two of these assets or areas identified in footnote 7 are relevant to the application site. The first is “irreplaceable habitats” due to the presence of an ancient woodland to the west of the site which is partly within the site boundary. Further details on the impact of the development upon the woodland are provided below in the ecology section of this report. In summary, the impact on the woodland is acceptable and in compliance with relevant development plan policies and the NPPF and would not provide a strong reason for refusing or restricting the development.

10.15. The second area that is relevant is “areas at risk of flooding”. Again, further details are provided below in the flood risk section of this report, however, in summary whilst there are some small areas at risk of surface water flooding, there is no development proposed within these areas and the proposal accords with relevant local plan policies and the NPPF. As such flood risk does not provide a strong reason for refusing or restricting the development.

Defining Grey Belt - conclusions

10.16. The application site is not previously developed land, however, on balance the land does not strongly contribute to any of purposes (a), (b) or (d) in paragraph 143 of the NPPF. There are also no policies relating to the areas or assets in footnote 7 that would provide a strong reason for refusing or restricting the development. Consequently, the application site can be defined as grey belt.

10.17. Returning to paragraph 155 of the NPPF, as noted above, this paragraph identifies another exception to inappropriate development where all the stated criteria apply. Taking each one in turn:

Grey belt and fundamentally undermine purposes of Green Belt

10.18. As noted above, the site can be considered as grey belt, and the land does not contribute strongly to Green Belt purposes (a), (b) and (d). The development would therefore not fundamentally undermine purposes (a), (b) and (d). It therefore remains to consider the impacts upon purposes (c) and (e). Purpose (c) relates to safeguarding the countryside from encroachment, and the introduction of the development proposed to what is currently an open agricultural field will inevitably result in some encroachment and harm to this purpose. The Green Belt Review (2015) identified Parcel P3 making “a contribution” to this purpose. This is the 2<sup>nd</sup> lowest level of contribution (of four levels), suggesting the contribution the area makes to safeguarding the countryside from encroachment to be relatively limited. Given this, and the relative scale of the proposal in relation to the size of area P3, the development as proposed is not considered to fundamentally undermine purpose (c).

10.19. Turning to purpose (e), assisting in urban regeneration, by encouraging the recycling of derelict and other urban land, the Green Belt Review (2015) states area P3 makes a



significant contribution to this purpose due to the brownfield capacity of, and proximity to, Poynton, Hazel Grove and Bramhall.

- 10.20. The opportunities to deliver BESS developments to import and export electricity into the National Grid from renewable sources are scarce, due to there being limited locations where there are points of connection (POC) with capacity to connect BESS developments. A viable grid connection with capacity is therefore essential and instrumental in the siting of a BESS development. The POC for the proposed development is Adswood Substation, located on Rostrevor Road in Adswood, approximately 3.5km to the north of the Site. This has the capacity available for the BESS development to connect into.
- 10.21. Whilst there is no specific policy requirement to demonstrate whether alternative sites have been considered, it is considered to be helpful in this case to demonstrate whether the development would fundamentally undermine purpose (e). The applicant has clarified that a search area of 5.8km from the Adswood substation was used to identify a potential site for the BESS. 66 brownfield sites were identified through a search of the brownfield land registers held by the respective local authority. Of the 66 sites, 59 sites were located in the administrative area of Stockport and 7 sites located in the administrative area of Manchester. No brownfield sites within the radius were located within Cheshire East or Tameside.
- 10.22. The developable area of the proposed BESS is 0.88ha and, therefore, sites of this size up to 5.02ha have been assessed to ensure the site could suitably accommodate the proposal and meet the operational and safety requirements for the proposal. Of the 66 brownfield sites, 16 sites were greater than 0.88ha but no bigger than 5.02ha. These 16 sites were then individually analysed to determine whether they were occupied and available. If a site was not occupied and available, then this location could be a potentially suitable site for the proposed BESS development. Of the 16 sites of an appropriate size, 12 of these sites were occupied and unavailable. The remaining 4 were then investigated further but discounted for various reasons including the suitability of the site, subject to pending planning applications, and recent planning approvals for redevelopment.
- 10.23. A desktop search has also been undertaken to identify any industrial sites for sale or rent within the search area. No suitable sites over 0.88ha or below 5.02ha (to reflect the developable area up to the site size) were identified in the search.
- 10.24. No brownfield sites have therefore been identified by the applicant. One other site known to the case officer is the Council owned site at Earl Road in Handforth. This has not been picked up in the site search but is potentially the right size. However, the site is not currently known to be for sale or rent and therefore can be discounted as unavailable. Therefore, in the absence of these sites, the proposed BESS is not developing Green Belt land before urban land, and therefore does not fundamentally undermine purpose (e).

#### Unmet Need

- 10.25. National Policy Statements (NPSs) are national policy for energy projects that are defined as Nationally Significant Energy Projects (NSIPs) identified by the Planning Act 2008. One of those NPSs (NPS EN-1 Overarching National Policy Statement for Energy) states that this NPS may be a material consideration in decision making on applications that fall under the Town and Country Planning Act 1990 (as amended).
- 10.26. NPS EN-1 explains that electricity storage has a key role to play in achieving net zero and providing flexibility to the energy system, so that high volumes of low carbon power, heat and transport can be integrated. Storage is needed to reduce the costs of the electricity system and increase reliability by storing surplus electricity in times of low demand to provide electricity when demand is higher. Storage can provide various services, locally



and at the national level. These include maximising the usable output from intermittent low carbon generation (e.g. solar and wind), reducing the total amount of generation capacity needed on the system; providing a range of balancing services to the National Energy System Operator (NESO) and Distribution Network Operators (DNOs) to help operate the system; and reducing constraints on the networks, helping to defer or avoid the need for costly network upgrades as demand increases.

- 10.27. NPS EN-1 was published in 2023, and it refers to their being *“currently around 4GW of electricity storage operational in GB...and around 1GW is battery storage”*. An industry report was published in November 2024, by NESO, which predicted that an increase in grid connected battery storage from 5GW to over 22GW will be needed by 2030. This report is not policy, but it does indicate a likely direction of travel for battery storage, particularly when read alongside NPS EN-1, which is national policy and does highlight the importance of energy storage in achieving net zero.
- 10.28. Paragraph 161 of the NPPF states that *“the planning system should support the transition to net zero by 2050”*. Paragraph 168 also states that LPAs *“should not require applicants to demonstrate the overall need for renewable or low carbon energy, and give significant weight to the benefits associated with renewable and low carbon energy generation and the proposal’s contribution to a net zero future.”* This suggests that there is an acknowledgement that the need is accepted. Whilst a BESS does not generate renewable or low carbon energy, it does play an important role in achieving net zero, and based on the information that is available, it is considered a demonstrable unmet need does exist.

#### Sustainable Location

- 10.29. With regard to whether the development would be in a sustainable location, the NPPF requires the decision maker to have particular reference to paragraphs 110 and 115 of the NPPF. Paragraph 110 states significant development should be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes. But also notes that opportunities to maximise sustainable transport solutions will vary between urban and rural areas, and this should be taken into account in both plan-making and decision-making.
- 10.30. Paragraph 115 explains that when assessing applications for development it should be ensured that sustainable transport modes are prioritised taking account of the vision for the site, the type of development and its location; safe and suitable access to the site can be achieved for all users; the design of streets, parking areas, other transport elements reflects current national guidance; and any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree through a vision-led approach.
- 10.31. The site is not particularly accessible by public transport and the narrow width and unlit nature of Woodford Road is likely to deter walking and cycling. However, the submitted design and access statement explains that operational trip generation is anticipated to be largely maintenance visits which are expected to result in approximately 1 light goods vehicle visit per month.
- 10.32. The construction phase, which will last between 13 and 14 months, will attract more significant trip generation. The submitted Construction Environmental Management Plan (CEMP) states that construction activities and associated traffic and deliveries will fluctuate depending on the engineering construction phase. There is anticipated to be a trip generation peak during the enabling works phase of the project. The peak would last up to two months, depending on the delivery schedules of each contractor, which could result in a maximum of 10 HGV deliveries per day equating to 20 two-way trips. It is envisaged that there will be a maximum peak of 30 construction operatives on-site in a single day, however



the site will more typically require an average of 15 operatives per day. The CEMP suggests that a travel plan will promote car sharing or cycling for any local workers, as well as public transport. However, the location of the site does raise questions about the effectiveness of these measures. No information has been provided on the associated trip generation for construction workers, but it can be assumed to be a maximum of 60 two-way trips if all workers were on site and arrived in their own vehicles.

- 10.33. The trip levels during the operational phase are very, very low. The need to travel to the site is limited due to the nature of the development proposed. And for operation purposes for development proposed the site can be considered to be adequately sustainable. The construction traffic will be considerably greater, but this will only be for a short-term temporary period of up to 14 months. As noted in paragraph 110 opportunities to maximise sustainable transport solutions will vary between urban and rural areas. CEC highways have confirmed that they have no objections to the proposed development, and no access, traffic generation or highway safety concerns are raised. For these reasons the site can be considered to be in a sustainable location for the purposes of the development proposed.

#### Golden Rules

- 10.34. The development is not a major development involving the provision of housing, and therefore the 'Golden Rules' as set out in paragraphs 156 and 157 are not applicable.

#### Green Belt conclusions

- 10.35. The application site is considered to be grey belt, which complies with the requirements of paragraph 155 of the NPPF, and as such the proposal is not inappropriate development in the Green Belt.

#### **Character and appearance**

- 10.36. CELPS policy SD 2 sets out the Sustainable Development Principles for Cheshire East. It states that, amongst other matters, development will be expected to contribute positively to an area's character and identity, creating or reinforcing local distinctiveness in terms of:
- Height, scale, form and grouping
  - Choice of materials
  - External design features
  - Massing of development
  - Relationship to neighbouring properties, street scene and the wider neighbourhood

These principles are also reflected within CELPS policy SE1 and GEN1 of the SADPD which deal with design, and Chapter 12 of the Framework.

- 10.37. Policy SE4 of the CELPS notes that the high quality of the built and natural environment is recognised as a significant characteristic of the borough. All development should conserve the landscape character and quality and should where possible, enhance and effectively manage the historic, natural and man-made landscape features that contribute to local distinctiveness of both rural and urban landscapes. Policy SD2 also includes requirements to respect and, where possible, enhance the landscape character of the area. Policy ENV5 sets out requirements for landscaping schemes on development proposals. Policies EGB3, EGB7 and EGB8 set out similar landscape protection policies within the PNP. The site is not covered by any designation at a national or local level that recognises a specific landscape importance.
- 10.38. The proposed development comprises very functional and utilitarian looking equipment and structures associated with the proposed use. The tallest structure on the site will be the transformer which will be 6.5m high. They are not in keeping with the undeveloped rural area within which the site is located. However, the application seeks permission for the



BESS for a period of 40 years, which whilst it is a significant period of time, is nonetheless a temporary period, which would reduce the duration of any visual intrusion to some degree compared to a permanent permission. Efforts have been made to minimise the visual impact of the proposal, with the use of green paladin fencing and the colour of the proposed battery units and welfare unit being dark green to help blend with the wooded backdrop, its positioning to retain existing boundary planting, the site being large enough to accommodate significant additional planting, and no lighting is proposed.

10.39. The surfacing of the access road will be Type 1 hardcore, which is not uncommon through agricultural fields, with the entrance to Woodford Road being tarmacked, and the compound will be a mix of tarmac and gravel surfacing.

10.40. A Landscape and Visual Impact Assessment (LVIA) has been submitted with the application. This has been reviewed by the Council's Landscape Officer and he broadly agrees with its findings. The LVIA concludes that the development seeks to protect and enhance important landscape features (mature woodland to the west and existing tree planting to the north and southern boundaries as well as tree planting along the proposed access track), and the effect on landscape character would be localised and limited to the site itself.

10.41. In terms of visual effects the site is set some distance from any public highway or public right of way, which helps to minimise its visual impact. However, the LVIA identifies that the development would be seen by public and private receptors close to the site including:

- From PRow 247/FP37/2 to the north east of the site (approximately 200m from the site)
- From PRow 43HGB to the north of the site (approximately 280m from the site)
- From Woodford Road to the east and south east of the site (approximately 400m from the site)
- From the northern edge of the cul-de-sac at Lower Park Crescent to the south of the site (approximately 300m from the site)
- From Mill Hill Farm (landowner) south and south east of the site

The LVIA identifies (and agreed by the Landscape officer) that, other than the landowner's property, the greatest level of effect on views would be no greater than moderate/minor adverse and would be experienced by only a small number of receptors with open views across the proposed development. Proposed mitigation planting would further reduce the adverse visual effect of the built elements of the proposed development over time to no greater than minor adverse. A condition is recommended to require the restoration of the site at the end of the 40-year period.

### **Trees and hedgerows**

10.42. Policy SE5 of the CELPS and ENV6 of the SADPD seek to protect trees, hedgerows or woodlands (including veteran trees or ancient semi-natural woodland), that provide a significant contribution to the amenity, biodiversity, landscape character or historic character of the surrounding area, unless there are clear overriding reasons for allowing the development and there are no suitable alternatives. Where such impacts are unavoidable, development proposals must satisfactorily demonstrate a net environmental gain by appropriate mitigation, compensation or offsetting.

10.43. The application is supported by an Arboricultural Impact Assessment (AIA) which has recorded 18 individual trees, 2 groups of trees<sup>13</sup> hedgerows and one woodland, located within or immediately adjacent to the application site. The woodland located to the west of



the site is recorded as Ancient Semi Natural Woodland (ASNW) on the DEFRA woodland inventory.

- 10.44. The Assessment states no trees are proposed for removal to accommodate the layout and the proposed Battery Storage System is to be located 45 metres away from the Ancient Woodland. The main access route to the site will use an existing surface track which will avoid the Root Protection Area (RPA) of trees except one mature Oak (T7) where encroachment is minor. It is agreed with the assessment that as the field has been in regular cultivation, the proposed track construction will have no significant detrimental impact on the rooting environment of this tree.
- 10.45. The Assessment advises that a hedgerow (H3) will be required to be cut back and potentially pruning of four Oak trees (T2,T3,T5 and T6) to accommodate access for high sided vehicles. Details of pruning have not been provided; however, it is considered unlikely any proposed works will not have a significantly adverse impact on the wider amenity of the area.
- 10.46. A Tree Protection scheme is included as part of a Tree Retention and Removal Plan and is broadly acceptable and accords with the requirements of BS5837:2012. No significant tree or hedgerow issues are therefore raised. Subject to a condition requiring the development to be carried out in accordance with the submitted AIA is recommended, the proposal complies with policies SE5 and ENV6 of the Local Plan

## Ecology

- 10.47. Policy SE3 of the CELPS requires areas of high biodiversity and geodiversity value to be protected and enhanced. All development must aim to positively contribute to the conservation and enhancement of biodiversity and geodiversity and should not negatively affect these interests. Policy ENV1 sets out requirements within the ecological network. Policy ENV2 sets out ecological requirements for development proposals. The western edge of the site is located within the Poynton Wildlife Corridor, which is an ancient woodland, and is protected by policies EGB9 and EGB10 of the PNP. The application is accompanied by an Ecological Impact Assessment; a Biodiversity Net Gain Statement and Assessment; a Statutory Biodiversity Metric; a Construction Ecological Management Plan; and a Habitat Management & Monitoring Plan.
- 10.48. The following ecological matters are relevant to the current application.

### Biodiversity Net Gain

- 10.49. Mandatory Biodiversity Net Gain applies to this application. The submitted metric, which has been revised following comments from the Council's nature conservation officer, predicts a habitat net gain of +78.07% and a hedgerow net gain of 16.80%. The nature conservation officer has advised that the revised metric is acceptable, and the proposals adhere to both the biodiversity gain and mitigation hierarchy. The proposed habitat creation is considered 'significant' and therefore a Habitat Management and Monitoring Plan will be secured by condition.

### Local Wildlife Site / Ancient Woodland

- 10.50. The application site is adjacent to Mill Hill Farm Wood, a Local Wildlife Site and ancient woodland (an irreplaceable habitat), which is protected under the National Planning Policy Framework. To ensure that the works will not impact the hydrology of the protected ancient woodland, a hydrological assessment was requested and has been submitted together with a drainage strategy. The nature conservation officer advises that the submitted information is suitable to address any hydrological impacts from the proposed works. Consequently, no concerns are raised regarding the proposed drainage into the ancient woodland.



- 10.51. With regard to the comments from Cheshire Wildlife Trust, it is acknowledged that the ecology report has not carried out a search for Cheshire East LWS apart from the immediately adjacent LWS. The next nearest LWS in Cheshire East is Poynton Park Lake which is ~1.3km away, and separated by the A555. Considering the distance and barrier it is not anticipated that this LWS will be affected by the development.

#### Construction Ecological Management Plan

- 10.52. A Construction Ecological Management Plan (Biodiverse Consulting, 2024) has been submitted which includes proposals to heras fence a 20m buffer zone around the adjacent woodland. A request was made to increase this to a 30m buffer zone. A revised construction management plan was subsequently submitted which includes the extension of the woodland buffer zone to be 30m. An exception to works within the buffer zone will be the creation of the gravel ditch within the 30m buffer zone (but not to enter the 20m buffer zone). This is now considered to be acceptable. The buffer zone (and management plan generally) can be secured by condition.

#### Badgers

- 10.53. No evidence of badgers was recorded onsite; however, badgers are known to be present in the broad locality of the application site. Furthermore, it was determined that the existing site provides foraging opportunities for badgers, and the immediately adjacent woodland has the potential to support badger setts. Badgers are a mobile species and the status of badgers on site can change over time. It is therefore recommended that if planning consent is granted an updated badger survey condition is included which requires the submission of an update survey, if works have not commenced by the 15th July 2025, i.e., 12 months from the original site survey.

#### Birds

- 10.54. A breeding birds survey was undertaken on the 15th July 2024 which concluded that the site supports an assemblage of birds including species which are material consideration under section 41 of the Natural Environment and Rural Communities Act 2006. Although a single site visit does not meet best practice standards, the nature conservation advises that additional bird surveys are not required at this stage and the development unlikely to have an impact on nesting birds, provided that the Construction Ecological Management Plan is adhered to.

#### Bats

- 10.55. Several existing trees were determined to offer bat roosting potential; however, these trees are proposed to be retained and subsequently the works will not have a direct impact on roosting bats. The site and adjacent habitats have the potential to support foraging and commuting bats and subsequently a sensitive lighting condition is therefore recommended, if any external lighting is proposed.

#### Great Crested Newts (GCN)

- 10.56. There is suitable habitat onsite for terrestrial newts with ponds present both onsite and locally. Therefore, the proposed works may have an adverse impact upon Great Crested Newts which may occur onsite or in adjacent water bodies. It should be noted that since a European Protected Species is likely to be adversely affected by the proposed development the Local Planning Authority must demonstrate how they have fully considered the three tests set out in Regulation 55 of The Conservation of Habitats and Species (Amendment) (EU Exit) and state the evidence for conclusions drawn on each test as to whether the test can be met. The three tests set out within Regulation 55 are as follows:
- (i) The action will be undertaken for the purpose of preserving public health or public safety or other imperative reasons of overriding public interest including those of a



social or economic nature and beneficial consequences of primary importance for the environment (Regulation 55(2)(e))

(ii) That there is no satisfactory alternative (Regulation 55(9)(a)); and

(iii) That the action will not be detrimental to the maintenance of the population of the species concerned at favourable conservation status in their natural range (Regulation 55(9)(b))

- 10.57. Addressing each of these in turn the overriding public interests is the contribution the battery storage makes to achieving net zero. As noted above, there are no known alternative sites for the proposed development. And finally, the applicant's ecological consultant has indicated the intention to enter the development into Natural England's District Level Licensing scheme, which would be sufficient to maintain the favourable conservation status of the species. The applicant must however submit a copy of the countersigned Impact Assessment and Conservation Payment Certificate as evidence that the development has been accepted onto the scheme in principle.

#### Hedgehog

- 10.58. Hedgehogs are a Biodiversity Action Plan (BAP) priority species and hence a material consideration. The existing site has the potential to support hedgehogs, and the submitted Construction Ecological Management Plan provides details on how hedgehogs will be safeguarded on site.

#### Toad

- 10.59. Toad is a priority species listed under the Biodiversity Action Plan and is therefore a material consideration. The submitted Construction Ecological Management Plan provides details on how Toads will be safeguarded on site.

#### Ecological Enhancements

- 10.60. The proposed works fall within Cheshire East Council's ecological network restoration areas, as identified in the SADPD. An enhancement plan condition is therefore recommended, in line with local policy ENV 1. These recommendations are separate to the requirements of Biodiversity Net Gain.
- 10.61. Subject to the recommended conditions the proposal is considered to comply with policies SE3, ENV1 and ENV2 of the Cheshire East Local Plan, and EGB9 and EGB10 of the PNP.

#### **Archaeology and heritage**

- 10.62. Policy SE7 of the CELPS states that all new development should seek to avoid harm to heritage assets and sets out requirements for development proposals that affect designated and non-designated heritage assets. HER1 of the SADPD requires proposals affecting heritage assets and their settings to be accompanied by proportionate information that assesses and describes their impact on the asset's significance. Policy HER5 expects development proposals affecting a Registered Historic Park and Garden to preserve the heritage asset, its setting and any features of special interest that contribute to its significance. When considering the direct or indirect effects of a development proposal on a non-designated heritage asset (including locally listed buildings), policy HER7 requires a balanced judgement to be made having regard to the significance of the heritage asset and the scale of any loss or harm. HER8 relates to archaeology and scheduled monuments.
- 10.63. The application is accompanied by a Heritage Desk-based Assessment, which provides information relating to the significance of the historic environment and the potential impact of the proposed development upon it. The application site does not contain any designated or non-designated heritage assets and does not form part of any setting that contributes



positively to their heritage significance. As such the proposals will have no detrimental impact on any designated or non-designated heritage asset via change to setting.

10.64. In terms of archaeology, the Council's archaeologist has confirmed having reviewed the supporting documentation along with the information held on the Cheshire Historic Environment Records, the Heritage Desk-Based Assessment sufficiently outlines the potential archaeological deposits which may be disturbed by this proposed development. In section 8.2 the document indicates that the evidence base shows that the proposed development is unlikely to disturb significant below ground archaeological deposits. The Councils' archaeologist supports this conclusion and therefore there are no further archaeological recommendations for this current application.

10.65. The proposal is considered to comply with the heritage based policies listed above.

### **Agriculture and soils**

10.66. Best and most versatile agricultural land (BMV) is defined in Annex 2 to the Framework as land in grades 1, 2 and 3a of the Agricultural Land Classification (ALC). Policy SD1 of the CELPS 'Sustainable development in Cheshire East' requires development to protect the best and most versatile agricultural land where possible. Policy SD2 expects all development to avoid the permanent loss of such land unless the strategic need overrides these issues; Policy RUR5 of the SADPD expands on this principle, explaining that where proposals involve the loss of best and most versatile agricultural land to development, it must be demonstrated that the benefits of development clearly outweigh the impacts of the loss of the economic and other benefits of the land; and every effort has been made to mitigate the overall impact of the development on best and most versatile agricultural land. Similarly, paragraph 187 b) of the Framework requires consideration of the economic and other benefits of the best and most versatile agricultural land.

10.67. An Agricultural Land Classification and Considerations Report has been submitted as part of the planning application. The report outlines that the Site is predominantly Subgrade 3a agricultural land (64% - 3.4ha) with areas of Subgrade 3b (24% - 1.2ha) and non-agricultural land (12% - 0.6ha). 64% of the application site is therefore made up of land identified as best and most versatile agricultural land.

10.68. There are no effective measures to mitigate for the loss of agricultural land. The temporary, but relatively long-term, loss weighs moderately against the proposal.

### **Land contamination, ground conditions and pollution**

10.69. Policy SE12 of the CELPS explains that all development should be located and designed so as not to result in a harmful or cumulative impact upon air quality, surface water and groundwater, noise, smell, dust, vibration, soil contamination, light pollution or any other pollution which would unacceptably affect the natural and built environment, or detrimentally affect amenity or cause harm. Developers will be expected to minimise and mitigate the effects of possible pollution arising from the development itself, or as a result of the development (including additional traffic) during both the construction and the life of the development. Policy ENV17 of the SADPD supplements this policy and makes explicit the protection of groundwater and surface water in terms of their flow and quality.

10.70. The Council's contaminated land team raises no objections to the proposed development subject to conditions relating to imported soil being tested for contamination, and required actions in the event of any contamination not previously identified being found.



- 10.71. In support of the application, the applicant has submitted an acoustic report which assesses the impact of the noise from construction of and use of the proposed development in accordance with:
- BS8233:2014 Guidance on Sound Insulation and Noise Reduction for Buildings
  - BS4142:2014 Methods for rating and assessing industrial and commercial sound.
- 10.72. Environmental Protection Officers have confirmed that this is an agreed methodology for the assessment of the noise source. The report recommends no noise mitigation measures are required to achieve BS8233: 2014 and WHO guidelines; to ensure that occupants of nearby properties are not adversely affected by noise from the proposed development. The reports methodology, conclusion and recommendations are accepted.
- 10.73. No significant air quality, or other, pollution issues are anticipated from the proposed development.
- 10.74. Subject to the conditions referred to above, the proposed development is considered to comply with policies SE12 and ENV17 of the local plan.

### **Living conditions**

- 10.75. CELPS Policy SE1 states that development should ensure an appropriate level of privacy for new and existing residential properties. Policy HOU12 of the SADPD states development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive users or future occupiers of the proposed development due to:
1. loss of privacy;
  2. loss of sunlight and daylight;
  3. the overbearing and dominating effect of new buildings;
  4. environmental disturbance or pollution; or
  5. traffic generation, access and parking.
- 10.76. Having regard to the details above relating to pollution, and by virtue of separation distance to the nearest residential properties, there will be no significant impact upon the living conditions of these neighbours.

### **Flood Risk and Drainage**

- 10.77. Policy SE13 of the CELPS requires developments to integrate measures for sustainable water management to reduce flood risk, avoid an adverse impact on water quality and quantity within the borough and provide opportunities to enhance biodiversity, health and recreation, in line with national guidance. Policy ENV16 of the SADPD requires development proposals to demonstrate how surface water runoff can be managed, including with the use of sustainable drainage systems (SuDS). Policy EGB1 of the PNP highlights the risk of flooding in Poynton and seeks a local flood risk mitigation plan by relevant authorities.
- 10.78. The application site is located entirely in Flood Zone 1 and is predominantly at very low risk of flooding from surface water sources according to Environment Agency mapping. However, there are some areas of the site that are at risk of some surface water flooding. But these are areas where no development is proposed.
- 10.79. The drainage strategy proposes to collect surface water runoff from the proposed BESS with a series of perforated pipes within the gravel subbase of the proposed BESS. The perforated pipes will drain towards a solid walled pipe through the site. Surface water runoff will be stored in a proposed attenuation basin to the south of the BESS, which will outfall



into the Ordinary Watercourse to the west of the site via a gravel trench just on the edge of the Ancient Woodland buffer. Surface water will slowly overtop the gravel trench and follow local topography and flow through the Ancient Woodland into the Ordinary Watercourse

- 10.80. The LLFA has commented on the application and raised no objection to the proposal subject to a condition requiring the development to be carried out in accordance with the submitted drainage layout. However, comments from the Council's ecologist regarding the hydrology within the ancient woodland has resulted in some minor amendments to the drainage proposals, and updated comments are awaited from the LLFA. However, no objections are anticipated, and it is expected that no significant flood risk concerns will be raised, and the proposal will comply with policies SE13 and ENV16 of the local plan.

## Highways

- 10.81. Policy CO1 of the CELPS sets out the Council's expectations for development to deliver the Council objectives of delivering a safe, sustainable, high quality, integrated transport system that encourages a modal shift away from car travel to public transport, cycling and walking; supportive of the needs of residents and businesses and preparing for carbon free modes of transport. Policy CO2 includes a range of criteria to enable business growth through transport infrastructure, including supporting the improvement of national motorway network facilities where appropriate. Policy CO4 requires all major development proposals that are likely to generate significant additional journeys to be accompanied by a Transport Assessment and, where appropriate, a Travel Plan.
- 10.82. Policy INF1 of the SADPD requires developments to contribute positively to local walking, cycling and public transport objectives. Policy INF3 requires development proposals to provide safe access to and from the site for all highway users and ensure that development traffic can be satisfactorily assimilated into the safe operation of the existing highway network.
- 10.83. An existing access track is to be used to serve the site. The current access is a gated agricultural access onto Woodford Road. The access track will be widened and passing places provided to accommodate construction vehicles. The main highway impact of the proposal will be the construction phase as once completed there will be no daily movements and only limited movements (approximately 1 per month) to the site during the year.
- 10.84. The construction is expected to take 13 – 14 months to complete with HGV's using the access and also the construction staff, the number of trips is not excessive and the projected traffic generation is likely to be a maximum of 20 two-way HGV trips/day, and up to 60 two way trips from the 30 contractors on site. All parking will be internal to the site and no overspill parking is likely to occur.
- 10.85. A Construction Management Plan has been submitted that details the construction proposed and measures to implemented during the build and this includes the HGV routing to the site. Vehicles would be required to travel to / from the Application Site via the A555 Manchester Airport Eastern Link Road or A523 Roy Chadwick Way, onto A5149 Chester Road and Woodford Road.
- 10.86. No objections are raised by CEC highways and therefore no significant highways issues are anticipated. Access by public transport and the sustainability of the site's location have been addressed in the Green Belt section of this report.



## Principle of Battery Storage

10.87. Policy ENV11 of the SADPD relates specifically to proposals for battery energy storage systems (BESS). This policy explains that proposals for BESS will be supported where they assist with the balancing of the electricity grid and support renewable energy sources (such as wind and solar) alongside meeting the following criteria:

1. Location on PDL

The policy expects schemes to be located on previously developed land (PDL) and / or in existing industrial areas, wherever possible, close to existing users who can make use of the heat and /or power generated. It has been demonstrated that there are no other available sites for the proposed BESS, and therefore it has not been possible to locate the development on PDL or an industrial area. This criterion is therefore met by the proposed development. The BESS in this case is to support the National Grid and not to provide direct power to an energy consumer, and it will be released when there is the demand.

2. Avoid loss of BMV

As noted above 64% of the site is classified as best and most versatile agricultural land, which will be lost to the development, on a temporary 40-year, but relatively long-term, basis. This criterion is not met

3. Not adversely impact neighbouring land users

There are no identified impacts upon neighbouring land users. This criterion is met.

4. Cumulative impacts on landscape, natural environment, amenity, operational use, and surrounding users must be acceptable

No significant issues are raised regarding these matters and therefore this criterion is met.

5. Utilise existing power lines, structures and infrastructure

The applicant has advised that it is expected that the proposed BESS will connect to the substation in Adswold by underground cables beneath public highways. These works are carried out under permitted development regulations. However, the precise details of this are not known at this stage, but it is thought that the cables do not currently exist. If they are underground the impact on landscape will be acceptably minimised as required by this criterion. The cables will be installed by the District Network Operator (DNO). The DNO have permitted development rights (Class B, Part 15, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 as amended) which would allow the works to be undertaken outside of this planning application.

6. Associated development design to minimise visual impact

As identified in the LVIA and as noted above the visual impacts of the proposal are limited. Additional landscaping is proposed to further minimise the visual impacts. This criterion is met.

7. Removal when no longer required

A condition can be attached to ensure removal of the BESS and restoration of the land at the end of the 40-year period to ensure compliance with this.

10.88. As can be seen from the above there is conflict with only one of the seven criteria (loss of BMV) within policy ENV 11 of the SADPD.



## Other Matters

### Benefits

10.89. The submitted planning statement identifies the following benefits associated with the proposed development:

- Economic benefits
  - Investment of approximately £66 million to develop the scheme;
  - £0.8 million estimated annual business rates generated by the scheme;
  - Up to 20 number of peak construction jobs, utilising local labour where possible, and an estimated 2 permanent operation and maintenance jobs once the scheme is operational;
  - Up to £1.8million in gross value added to the economy over the 6-month construction phase; and
  - The contribution of £1.1 million in gross value added to the economy over the next 10 years.
- Helps to provide a more resilient green energy network stabilising energy costs
- Renewable energy security – supports increased uptake of renewable energy onto the National Grid
- Reduced reliance on overseas energy sources
- Contribution towards addressing climate change
- Carbon reduction
- Local biodiversity improvements
- Landscape planting enhancements – tree and hedgerow planting
- Identified need for the development
- Contributes to moving the nation's energy supply towards local and national Net Zero targets

### Planning Obligations

10.90. The Town Council have the local ward councillor have requested that the developer is asked to make a s106 contribution to the Lower Park Crescent Play Area. Planning obligations such as this can only be secured to mitigate for the impact of the development. The proposed BESS will not have any impact upon local open space or play provision within the local area, and therefore a s106 planning obligation along those lines would not meet the tests of the CIL Regulations by not being necessary to make the development acceptable in planning terms and not being directly related to the development.

### Public safety

10.91. Public safety is also a consideration for BESS, and the Planning Practice Guidance (PPG) on Renewable and Low Carbon Energy advises applicants to engage with the local fire and rescue service before submitted an application. This is so matters relating to the siting and location of battery energy storage systems, in particular in the event of an incident, prevention of the impact of thermal runaway, and emergency services access can be considered before an application is made. The applicant did engage with Cheshire Fire and Rescue prior to the application being submitted. It is understood that the proposed development was amended to include a hammer head at the end of the site access to enable fire vehicles to turn around without the need to enter the BESS compound. The PPG also states that local planning authority are encouraged to consult with their local fire and rescue service as part of the formal period of public consultation prior to deciding the planning application. This has been done, and comments are awaited and will be reported as an update.

## 11. PLANNING BALANCE/CONCLUSION

- 11.1. The proposed BESS will result in some moderate/minor adverse visual impact which is likely to be experienced by only a small number of receptors at some distance from the application site, but with open views across the proposed development. The proposed mitigation planting would further reduce the adverse visual effect of the built elements of the proposal to a level of minor adverse. This visual impact, as with all the impacts associated with the proposed development, would be temporary but still relatively long-term in nature, given the 40-year period permission is sought for. The temporary nature of the proposal could be considered to be a mitigating factor to a very limited degree. This relatively minor visual harm is considered to attract limited to moderate weight against the proposal, subject to the success of the proposed landscaping.
- 11.2. There would also be a loss of around 3.4ha of the best and most versatile BMV for a 40-year period, and there is no mitigation for the loss of agricultural land, which weighs moderately against the proposal.
- 11.3. Balanced against this harm, the applicant has identified a range of economic benefits arising from the construction and operation of the BESS, which attract moderate weight. The proposal will also secure significant biodiversity improvements and landscaping that are likely to endure long after the development has left the site, which also attract moderate weight. But of most significance are the need for the proposal, the role of storage in reducing the costs of the electricity system and increase reliability by storing surplus electricity in times of low demand to provide electricity when demand is higher, and the contribution that electricity storage makes to achieving the goal of net zero, as identified the National Policy Statement EN-1. This is considered to attract substantial weight in favour of the proposal.
- 11.4. There is considered to be neutral or acceptable impacts upon matters relating to contaminated land, Green Belt, trees and hedgerows, ecology, heritage, noise, air quality, living conditions, flood risk and drainage, and highways subject to relevant conditions.
- 11.5. Overall, the identified benefits of the proposed development are considered to clearly outweigh the identified harm. The proposal is therefore considered to be sustainable development, and a recommendation of approval is made.

## 12. RECOMMENDATION

**Approve subject to conditions and receipt of satisfactory responses from Cheshire Fire and Rescue and the LLFA.**

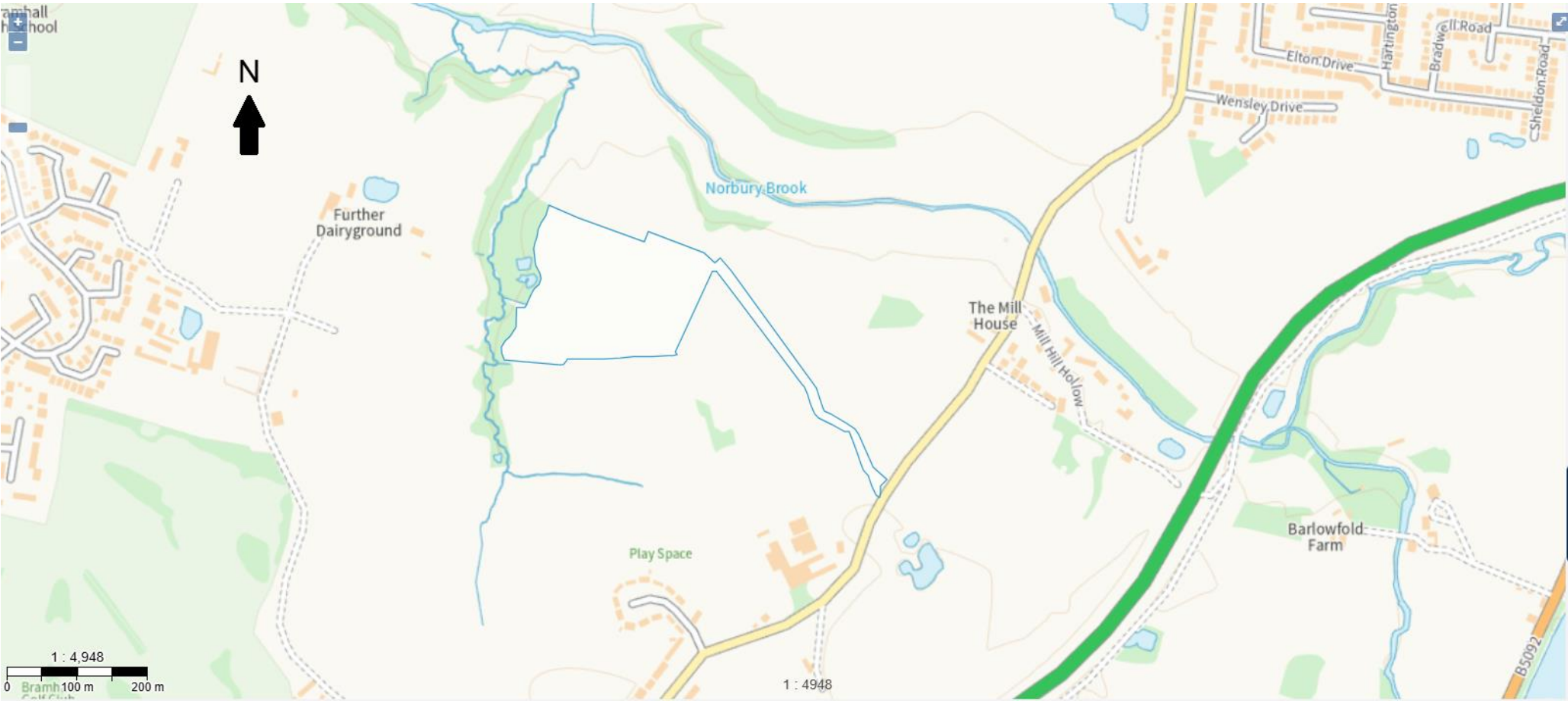
## 13. CONDITIONS

- 1. Commencement of development – 3 years**
- 2. Development in accordance with approved plans**
- 3. Temporary period – 40 years**
- 4. Removal in event development ceases to export electricity**
- 5. Scheme of restoration to be submitted**
- 6. Materials as application**
- 7. Development to be carried out in accordance with the Construction Ecological Management Plan**
- 8. Updated badger survey to be submitted**
- 9. Ecological Enhancement Plan to be submitted**
- 10. Habitat Creation Method Statement and 30-year Habitat Management and Monitoring Plan to be submitted**



- 11. Biodiversity Gain Plan to be submitted**
- 12. Landscape scheme to be submitted**
- 13. Implementation of landscape scheme**
- 14. 30-year landscape management plan to be submitted**
- 15. Site access arrangement and visibility splays**
- 16. Development to be carried out in accordance with the submitted Construction Traffic Management Plan**
- 17. Imported soil to be tested for contamination**
- 18. Actions in the event of any unidentified contamination being found**
- 19. Reporting of contamination during lifetime of development**
- 20. Development to be carried out in accordance with submitted drainage details**
- 21. Development to be carried out in accordance with submitted Arboricultural Impact Assessment**

*In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Strategic Planning Board, provided that the changes do not exceed the substantive nature of the Committee's decision.*



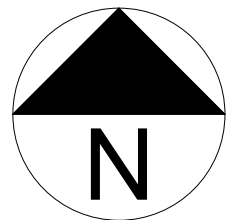


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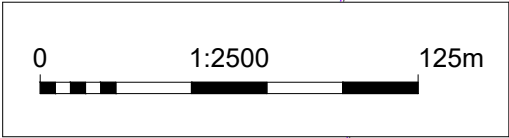
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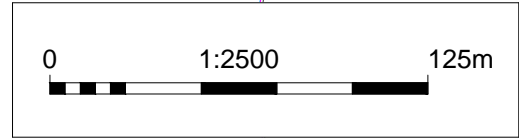
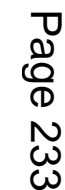


Legend

- Site Boundary
- Owner's Boundary



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BESS		A3		
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DOCUMENT NAME		1:2500		PAGE
QQR–STO–020–02 Site Location Plan (OS)		DWG. N°		
		02		1 of 1



Legend:

- Site Boundary
- Fence
- Access Road
- Eco Grid Road
- Sliding Gate
- Gate
- Battery MV Cabin
- Battery Racks
- 33kV/DNO Compound Building
- Compound
- Welfare Container
- Parking
- CCTV
- Hardstanding
- Gravel

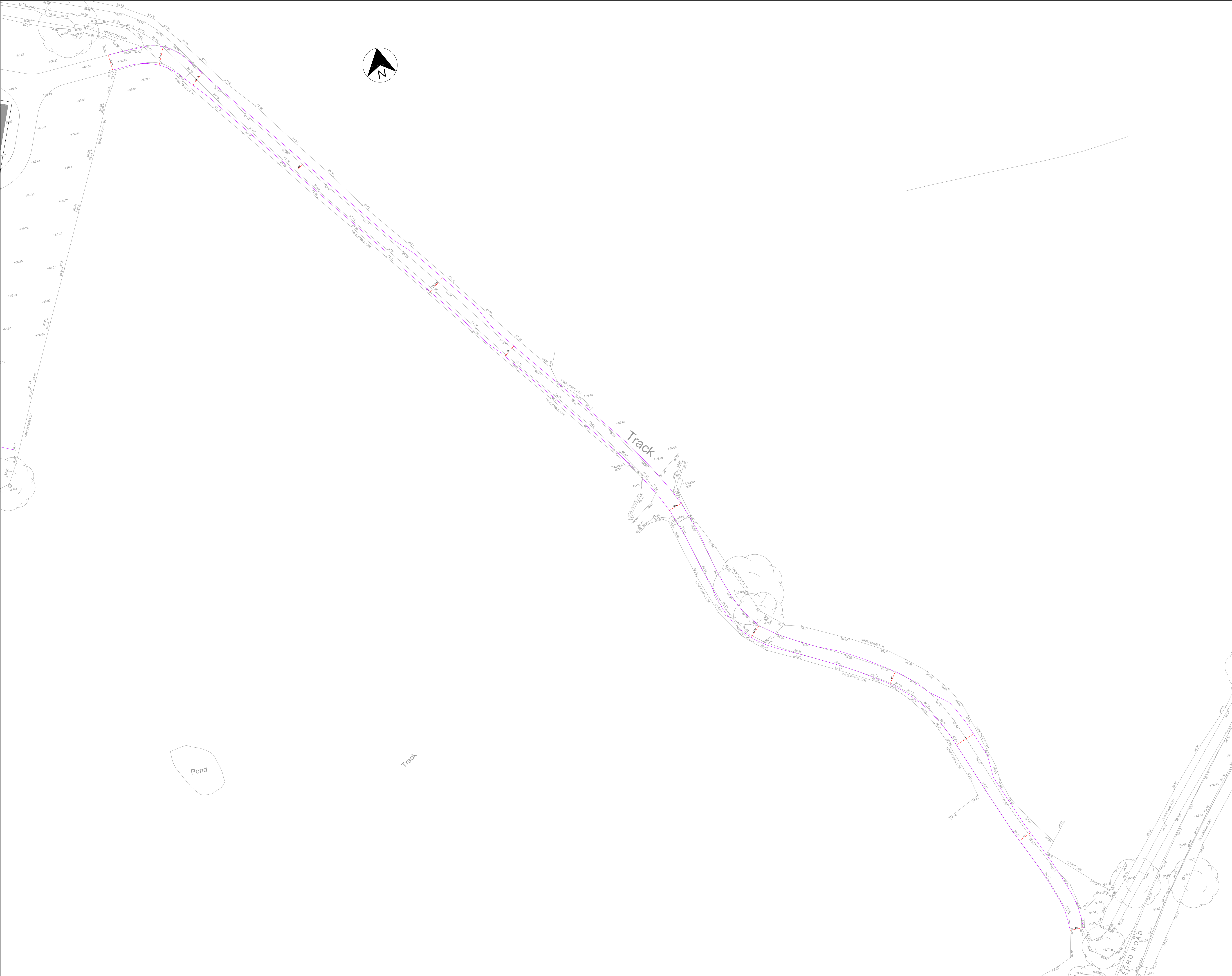
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14 Turnham Green Terrace Mews,  
W41QU London (UK)



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A3
DRAWING SCALE
1:2500
PAGE
1 of 1





Standard Notes

1. This drawing is to be read in conjunction with all relevant Architect's and Engineer's drawings and specification.

2. This drawing should not be scaled.

Location Plan

Notes and Keys

22.10.24	A	Track amended to accommodate passing places and revised tracking	JT	JT	

Date	Rev	Description	Drawn	Chkd



ADDRESS TPS Transport Consultants Ltd,  
Stonebridge Court,  
151-153 Wakefield Road,  
Harbury, Wakefield,  
WF4 5JQ

t: 01924 644635  
e: info@tpsc consultants.co.uk  
www.tpsconsultants.co.uk

Project

Proposed BESS  
Land West of Woodford Road, Poynton  
Stockport

Title

Site Access Arrangement

Status			
INFORMATION			
Scale @ A1	Date Created	Drawn	Checked
1:500	09/12/24	JA	JT
TPS Project Number			Revision
P2699			-
Drawing Number			
D-1004			





INDICATIVE PLANTING SCHEDULE

PROPOSED NATIVE TREE PLANTING

Species	Common Name	Height (cm)	Form	Root condition
Alnus glutinosa	Black Alder	175-200	2x; Feathered; 5 breaks	B
Betula pubescens	Downy Birch	175-200	2x; Feathered; 5 breaks	B
Prunus avium	Wild Cherry	175-200	2x; Feathered; 5 breaks	B
Quercus robur	English Oak	175-200	2x; Feathered; 5 breaks	B
Salix caprea	Goat Willow	175-200	2x; Feathered; 5 breaks	B
Sambucus nigra	Elder	175-200	2x; Feathered; 5 breaks	B

PROPOSED NATIVE SHRUB PLANTING - to be planted at 1.5m centres

Species	Common Name	Mix (%)	Height (cm)	Form	Root condition
Cornus sanguinea	Dogwood	25	80-100	Branched; 5 breaks	10L
Crataegus monogyna	Hawthorn	50	80-100	1+2; Transplant	B
Rosa arvensis	Field Rose	5	80-100	1+1; Transplant	B
Rosa canina	Dog Rose	5	80-100	1+1; Transplant	B
Salix caprea	Goat Willow	15	80-100	0/1; Cutting; Branched; 2 breaks	B

PROPOSED HEDGEROW PLANTING - to be planted at 5 per linear metre in double staggered rows

Species	Common Name	Mix (%)	Height (cm)	Form	Root Condition
Acer campestre	Field Maple	10	80-100	1+1; Transplant	B
Corylus avellana	Hazel	10	80-100	1+2; Transplant; Branched; 4 breaks	B
Crataegus monogyna	Hawthorn	40	80-100	1+2; Transplant	B
Ilex aquifolium	Holly	10	80-100	Leader with laterals	10L
Prunus spinosa	Blackthorn	20	80-100	1+1; Transplant; Branched; 3 breaks	B
Rosa canina	Dog Rose	5	80-100	1+1; Transplant	B
Viburnum opulus	Guelder Rose	5	80-100	1+1; Transplant; Branched; 3 breaks	B

Key

- Site boundary
- Tree survey plan (drawing number BHA\_5921\_01) prepared by Barton Hyett Associates
- Root Protection Area (RPA)
- 20m Ancient Woodland buffer
- Existing pond
- Existing contours
- Proposed native trees
- Proposed native shrubs
- Proposed native hedgerow
- Proposed infiltration basin  
- eg. Emorsgate EM8 Meadow mixture for Wetlands, or similar approved
- Proposed species rich grassland  
- eg. Emorsgate EM3 Special General Meadow Mixture, or similar approved
- Access track  
- Eco Grid E50 with a type 1 hardcore
- Access track  
- tarmac surface
- Gravel surface
- Concrete foundation
- BESS units
- Welfare container
- 33kV DNO compound
- Paladin security fence
- 10m offset from BESS units (vegetation exclusion zone)
- Access gate
- Car parking
- Gravel trench

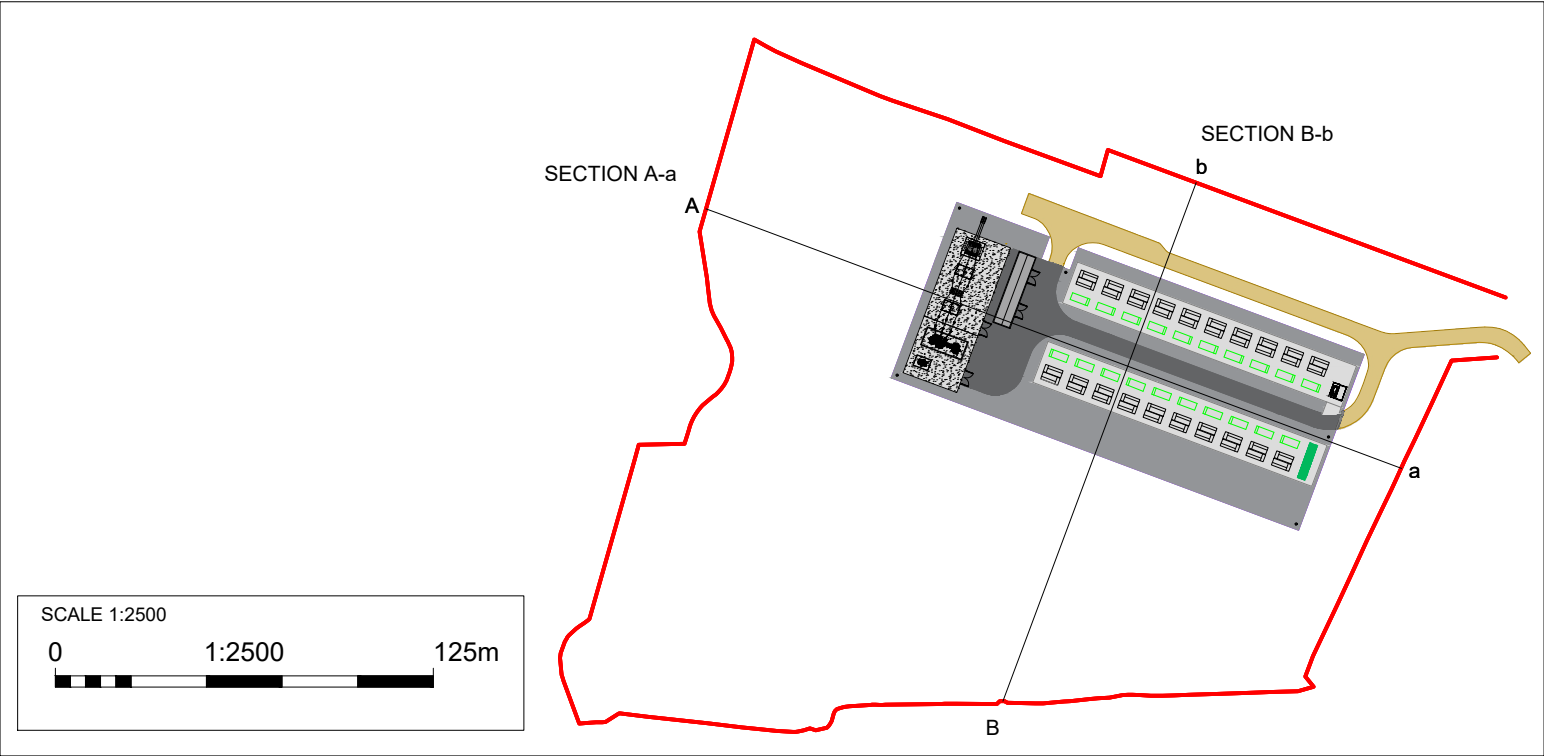
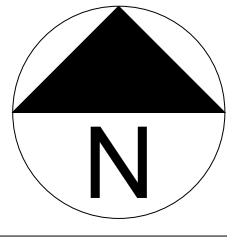
**Note:**  
For detailed drainage strategy, refer to drawing no. P23-2355-PEG-XX-ZZ-DR-X-100-P2

Colours of units and buildings to match CEC Design Guide for North cheshire Fringe:

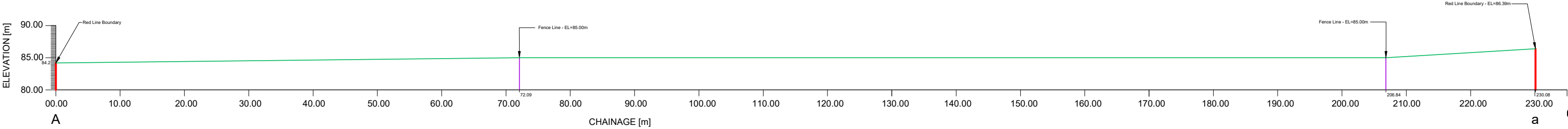
- Any brick buildings on site to match the local vicinity of houses and buildings  
RAL: 3012
- Battery units and Welfare unit  
RAL: 6011

LAND WEST OF WOODFORD ROAD – LANDSCAPE MASTERPLAN

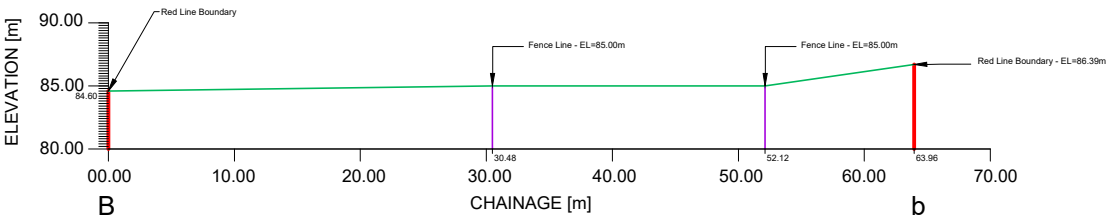




SECTION A-a



SECTION B-b




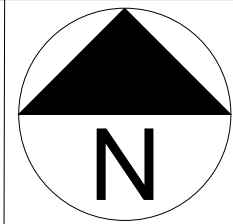
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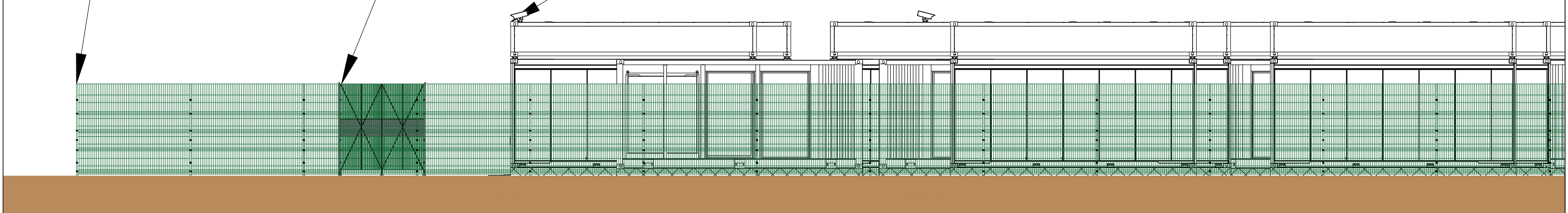
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Sliding Gate  
2.5m

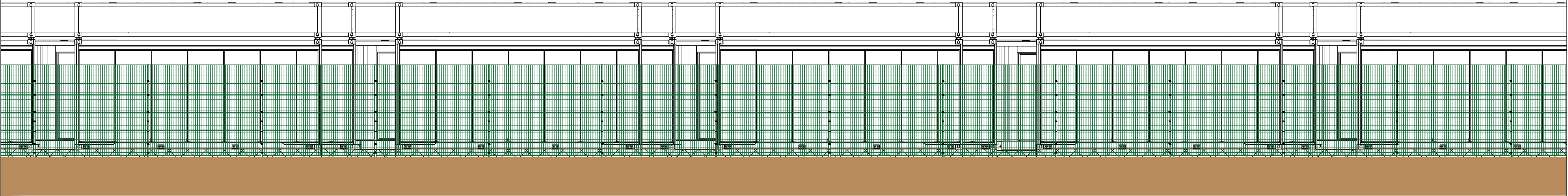
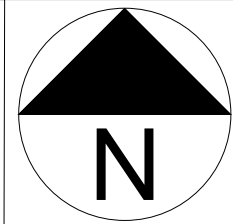
BESS Container  
4.1m

Fence  
2.5m




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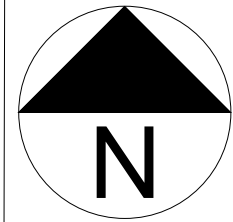




156.4m

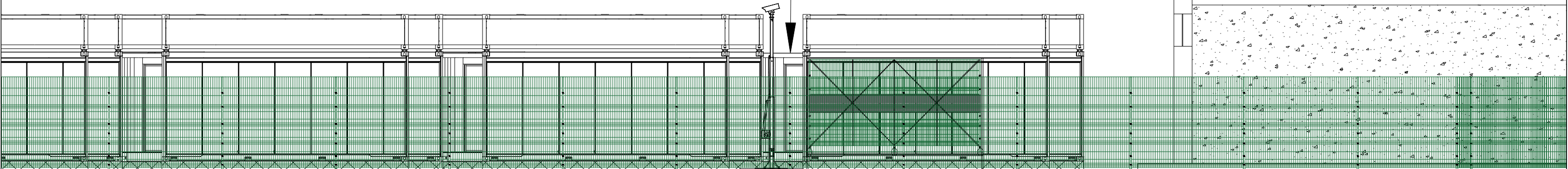



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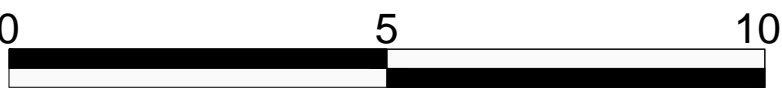
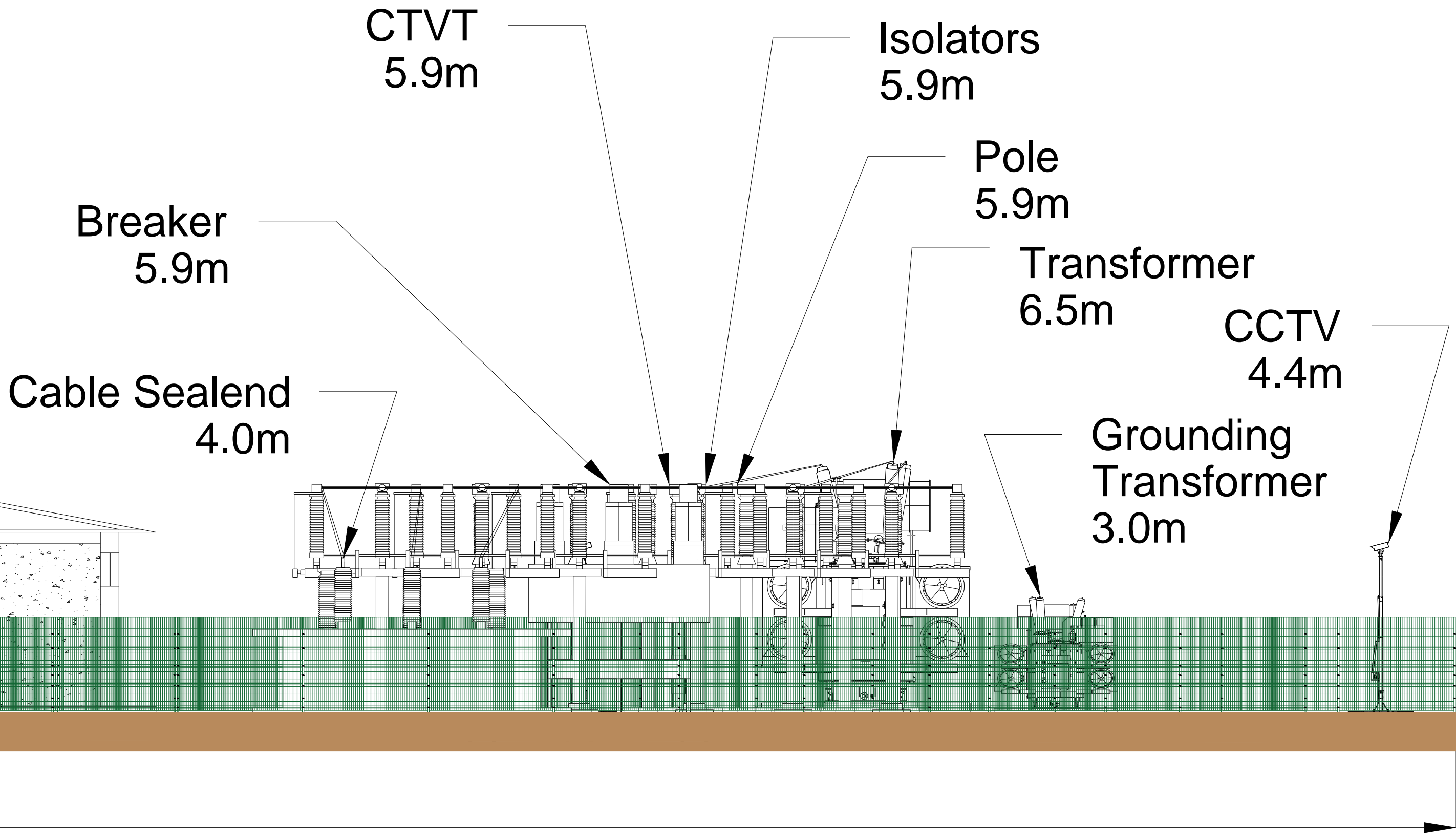
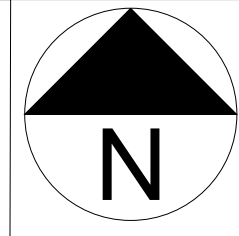
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MVS Unit  
3.1m

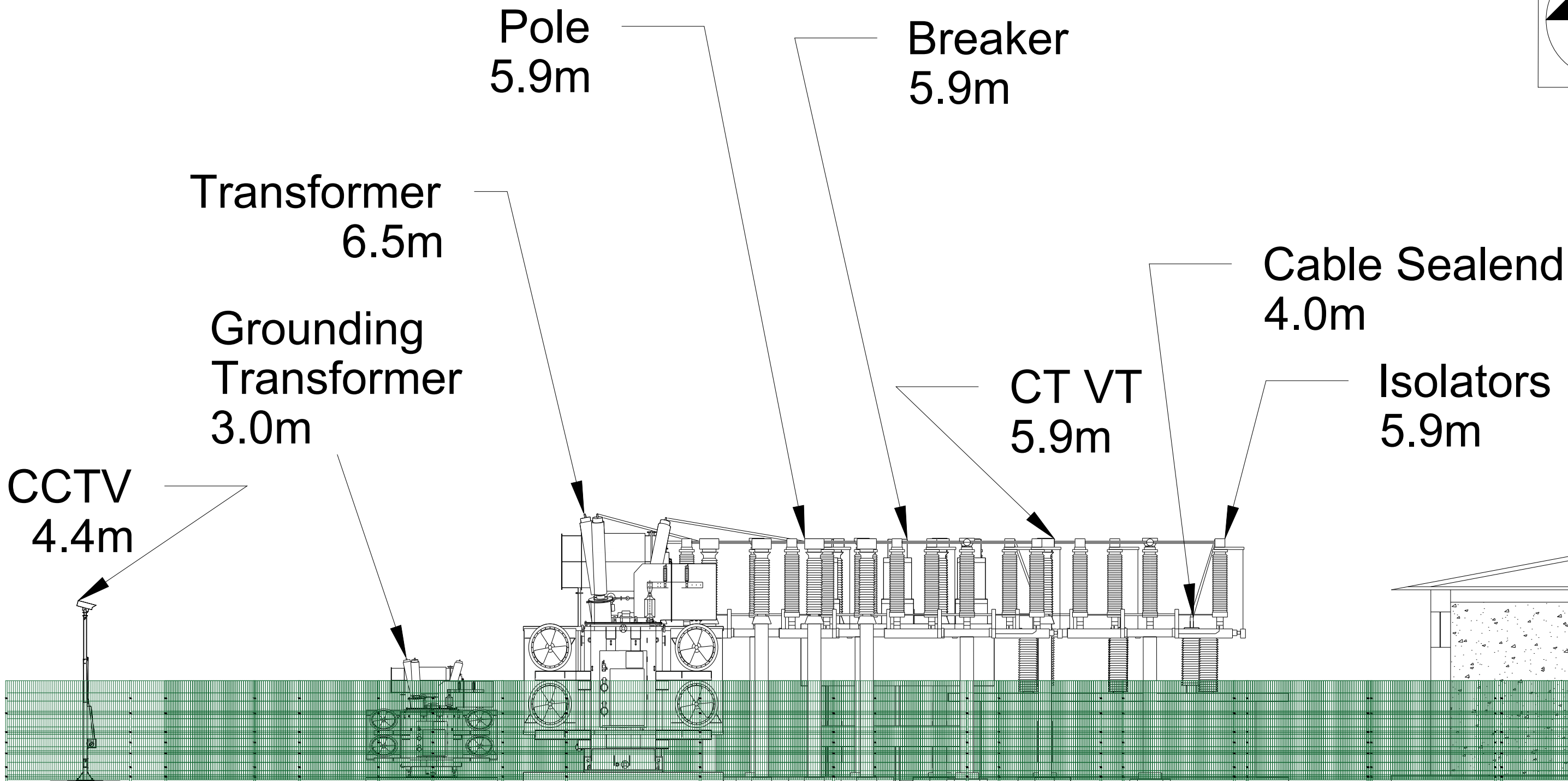
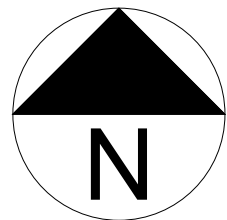



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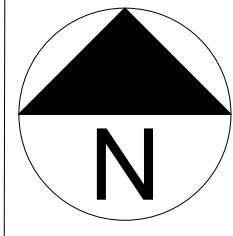


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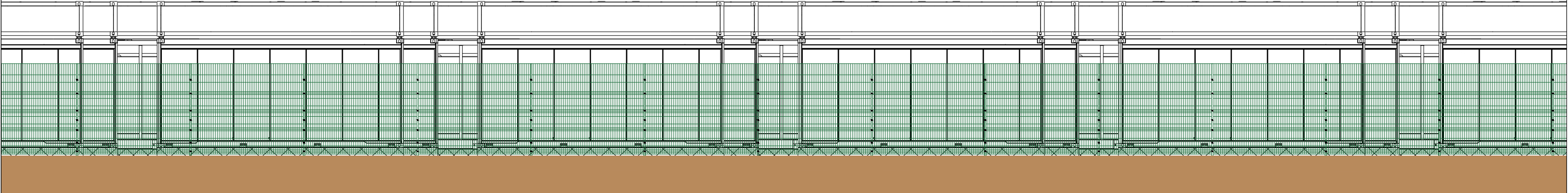
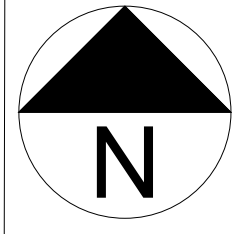
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MVS Unit  
3.1m

156.4m

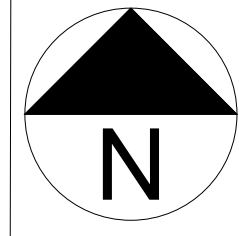


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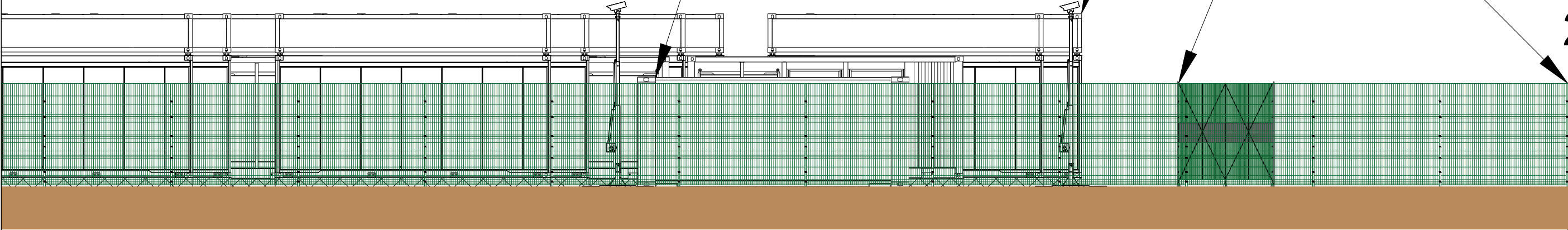



Welfare Container  
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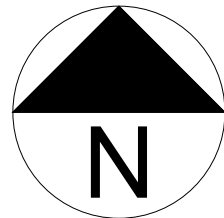
BESS Container  
4.1m

Sliding Gate  
2.5m

Fence  
2.5m



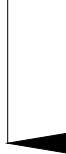
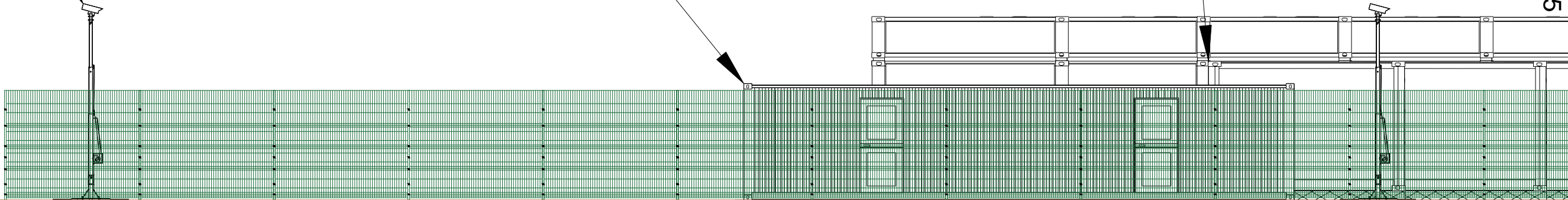
PLANNING ONLY		Queequeg Renewables, Ltd 2nd Floor, the Works, 14 Turnham Green Terrace Mews, W41QU London (UK)	
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Land West of Woodford Road			DIM.
BESS			A3
Site Layout South Elevation Plan - Rev.16.01			DRAWING SCALE
DOCUMENT NAME		DWG. N°	1:100
QQR-STO-020-06 Site Layout South Elevation Plan		06	PAGE
			4 of 4




Welfare Container  
2.6 m

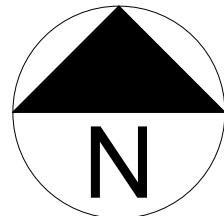
MVS Unit  
3.1m

CCTV  
4.4m



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Land West of Woodford Road			
BESS			
Site Layout East Elevation Plan – Rev16.01			DIM. A3 DRAWING SCALE 1:100
DOCUMENT NAME		DWG. N°	PAGE
QQR-STO-020-07 Site Layout East Elevation Plan		07	1 of 3





Transformer  
6.5m

BESS Container  
4.1m

Pole  
5.9m

108.3m

PLANNING ONLY

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2nd Floor, the Works,  
14 Turnham Green Terrace Mews,  
W41QU London (UK)



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Land West of Woodford Road

BESS

Site Layout East Elevation Plan - Rev16.01

DOCUMENT NAME

QQR-STO-020-07 Site Layout East Elevation Plan

DWG. N°

07

DIM.

A3

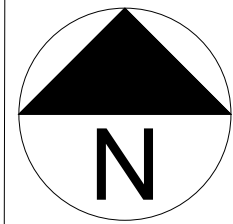
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1:100

PAGE

2 of 3

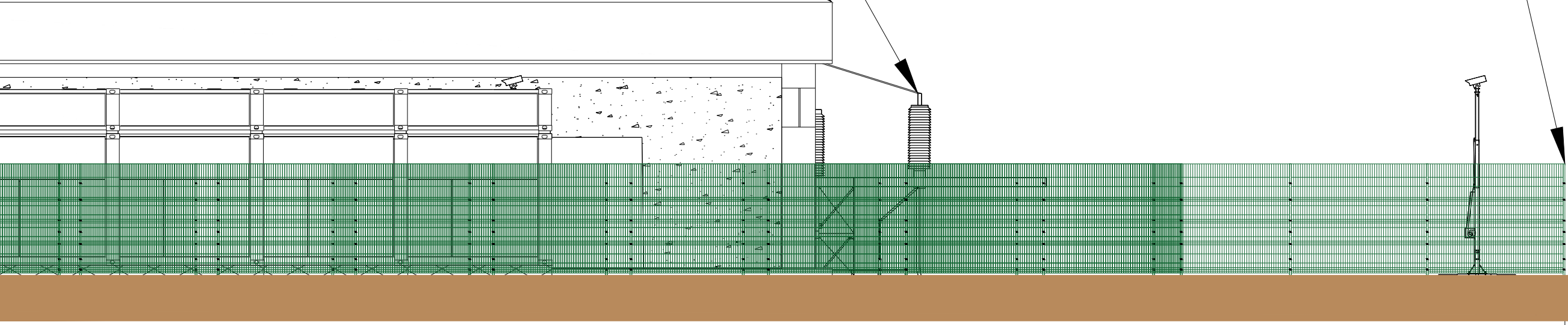





DNO/33kV Building  
6.0m

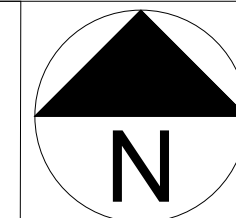
Cable Sealend  
4.0m

Fence  
2.5m



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Land West of Woodford Road			DIM. A3
BESS			DRAWING SCALE
Site Layout East Elevation Plan – Rev16.01			1:100
DOCUMENT NAME		DWG. N°	PAGE
QQR-STO-020-07 Site Layout East Elevation Plan		07	3 of 3





Isolators  
5.9m

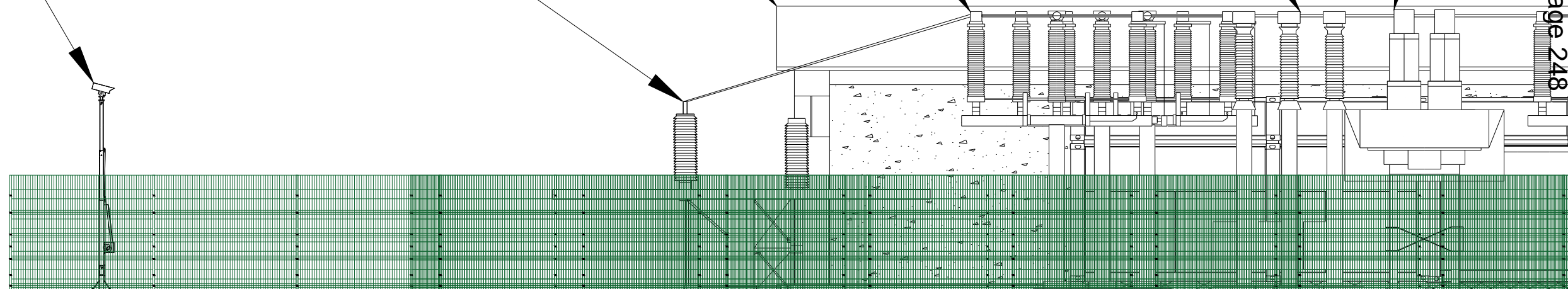
# DNO/33kV Building 6.0m

Breaker  
5.9m

CT VT  
5.9m

# Cable Sealend 4.0m

CCTV  
4.4m



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PROPRIETA' RISERVATA. A TERMINI DI LEGGE LA QUEZUEG RENEWABLES LTD SI RISERVA LA PROPRIETA' DEL PRESENTE DISEGNO CHE PERTANTO NON PUO' ESSERE NE' RIPRODOTTO NE' COMUNICATO A TERZI SENZA LA PREVENTIVA AUTORIZZAZIONE SCRITTA

Land West of Woodford Road

BESS

Site Layout West Elevation Plan – Rev.16.01

DOCUMENT NAME
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QQR-STO-020-08 Site Layout West Elevation Plan

	DWG. N°
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08

	DIM.
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A3

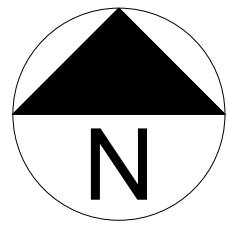
AS
DRAWING SCALE

1:100

1.100
PAGE

1 of 3





Pole  
5.9m

Transformer  
6.5m

MVS Unit  
3.1m


Grounding  
Transformer  
3.0m

BESS Container  
4.1m

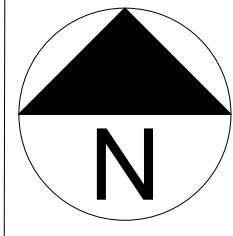
Page 249

108.3m



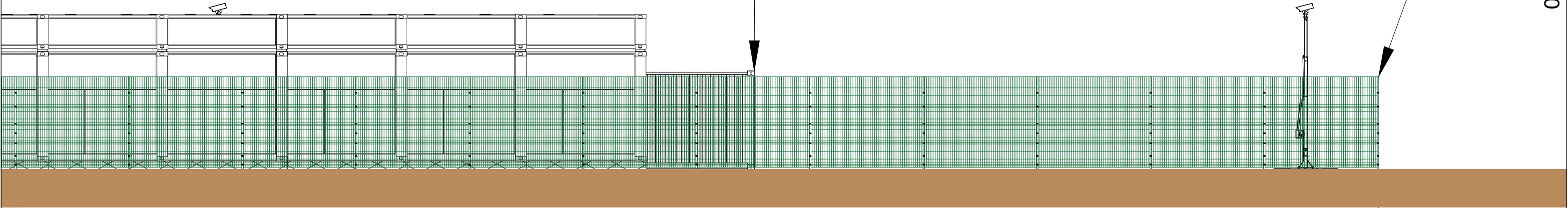
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Land West of Woodford Road				DIM.
BESS				A3
Site Layout West Elevation Plan – Rev.16.01				DRAWING SCALE
DOCUMENT NAME		DWG. N°		1:100
QQR–STO–020–08 Site Layout West Elevation Plan		08		PAGE
				2 of 3




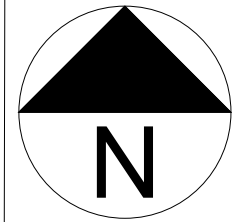


Welfare Container  
2.6 m

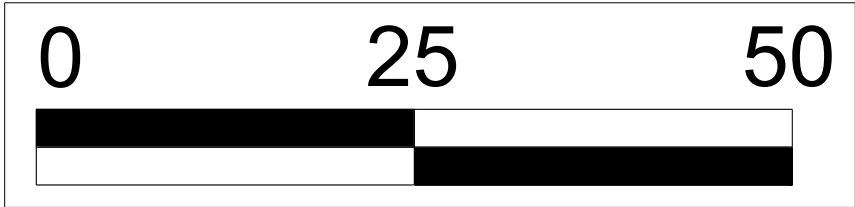
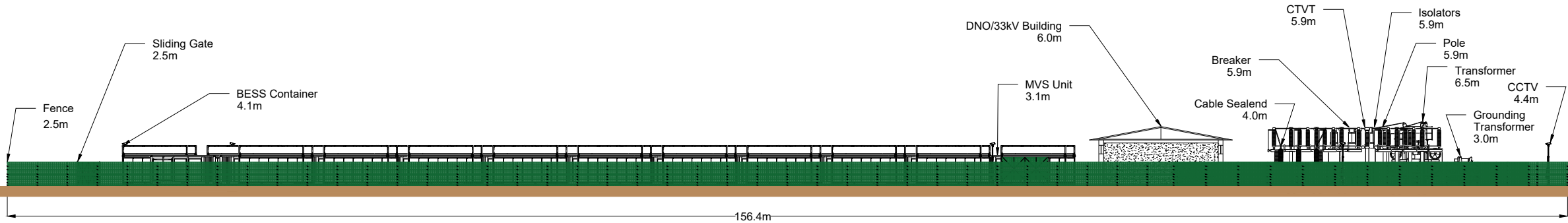
Fence  
2.5m




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Land West of Woodford Road			DIM.
BESS			A3
Site Layout West Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME			1:100
QQR-STO-020-08 Site Layout West Elevation Plan		DWG. N°	PAGE
		08	3 of 3

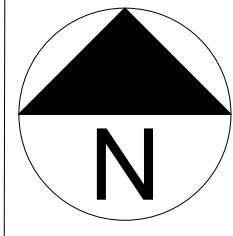


NORTH ELEVATION

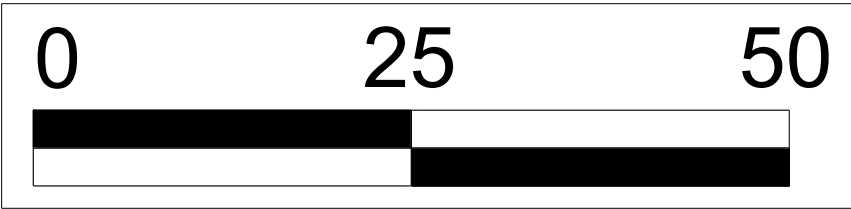
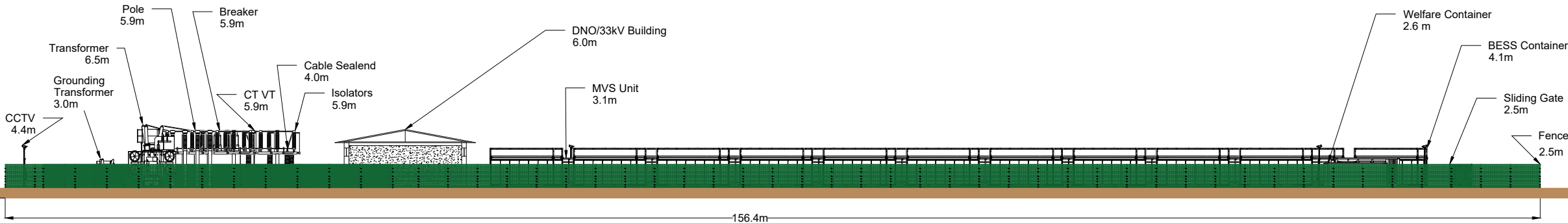



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Land West of Woodford Road			DIM.
BESS			A3
Site Layout Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME			1:500
QQR-STO-020-21 Site Layout Elevation Plan			PAGE
			1 of 4

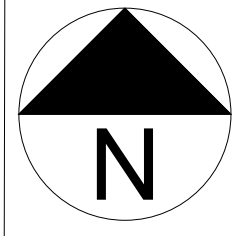




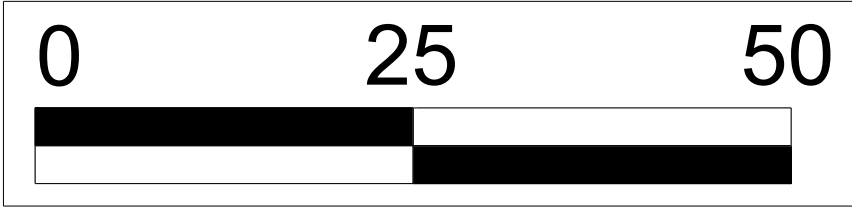
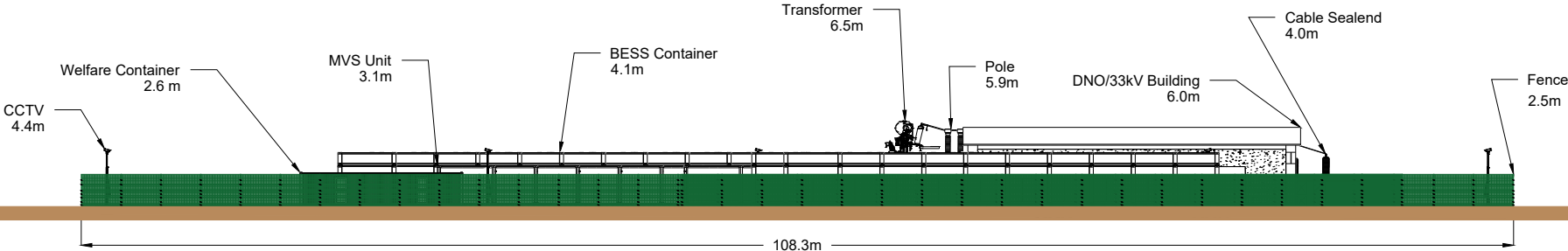
SOUTH ELEVATION




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Land West of Woodford Road		DIM. A3	
BESS		DRAWING SCALE 1:500	
Site Layout Elevation Plan – Rev.16.01		PAGE	
DOCUMENT NAME	DWG. N°	2 of 4	
QQR-STO-020-21 Site Layout Elevation Plan	21		



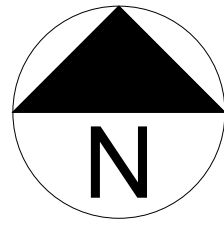
EAST ELEVATION



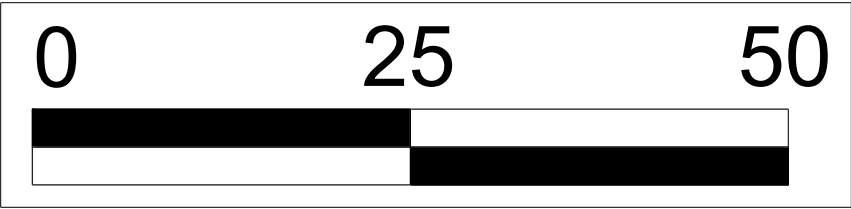
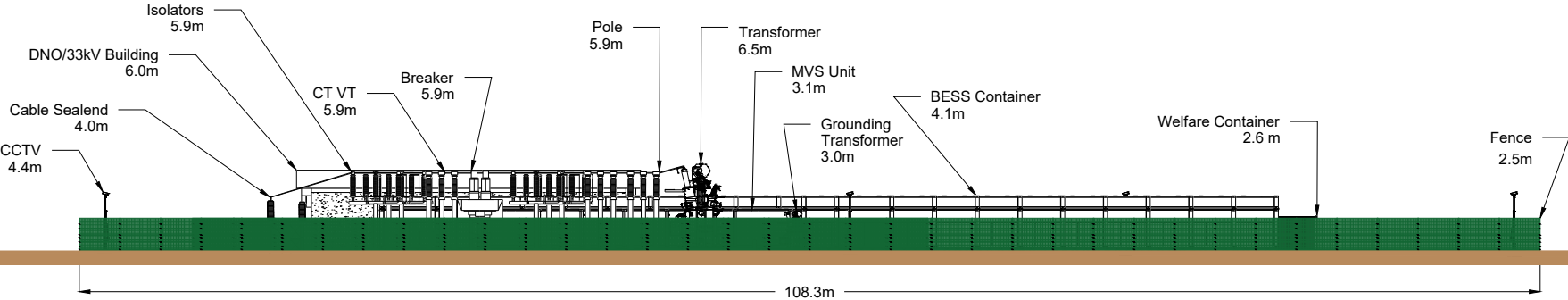
PLANNING ONLY		Queequeg Renewables, Ltd 2nd Floor, the Works, 14 Turnham Green Terrace Mews, W41QU London (UK)			
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Land West of Woodford Road					
BESS					
Site Layout Elevation Plan – Rev16.01					
DOCUMENT NAME		DWG. N°			
QQR-STO-020-21 Site Layout Elevation Plan		21			


DIM.
A3
DRAWING SCALE
1:500
PAGE
3 of 4





WEST ELEVATION

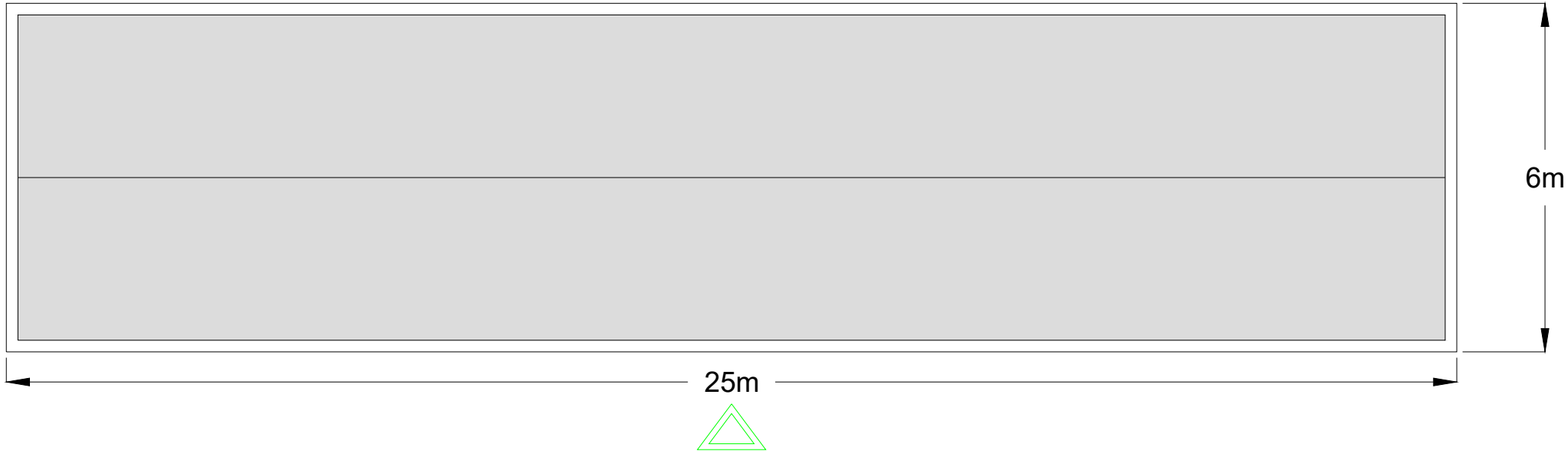


PLANNING ONLY		Queequeg Renewables, Ltd 2nd Floor, the Works, 14 Turnham Green Terrace Mews, W41QU London (UK)	
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Land West of Woodford Road		DIM.	
BESS		A3	
Site Layout Elevation Plan – Rev.16.01		DRAWING SCALE	
DOCUMENT NAME		1:500	
QQR–STO–020–21 Site Layout Elevation Plan		DWG. N°	PAGE
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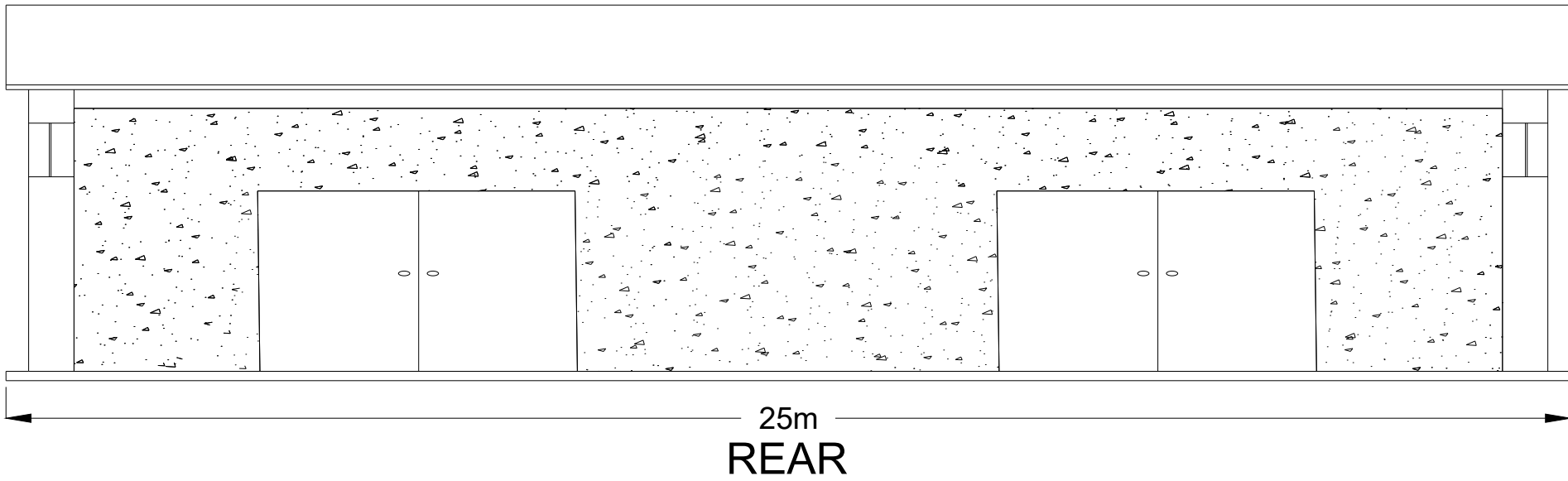
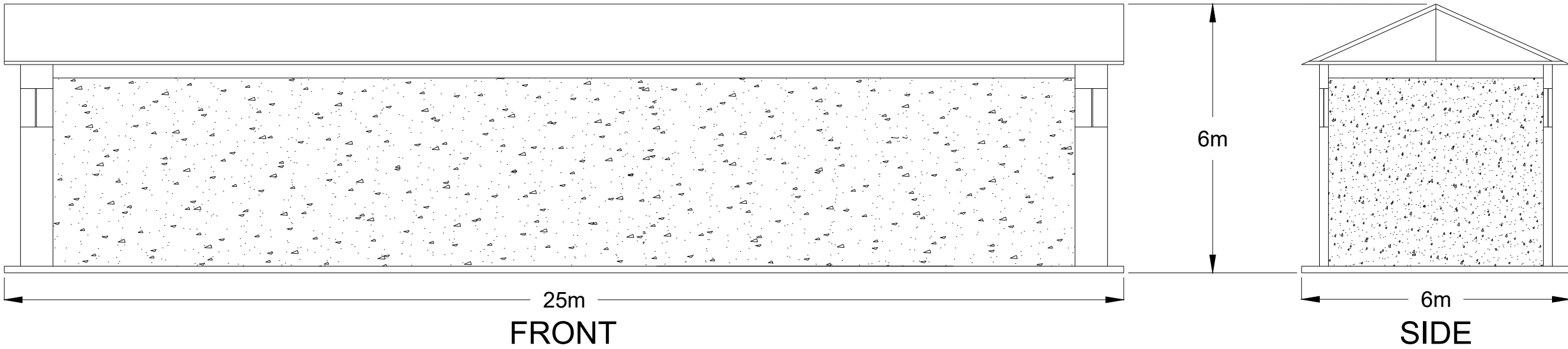
PLAN


Rear View

Side View



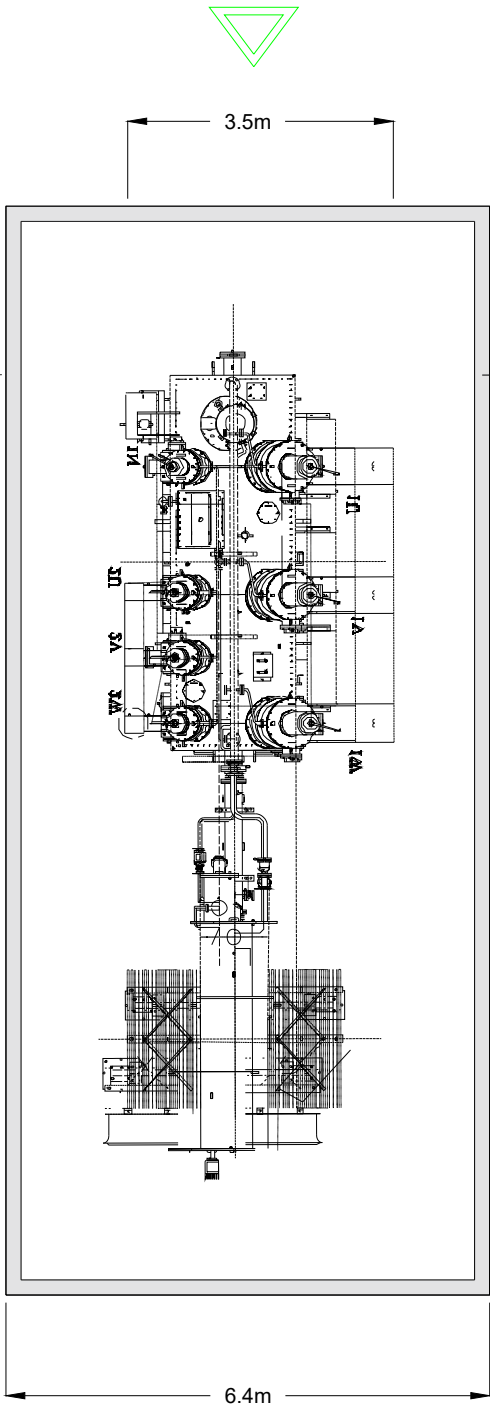
Front View



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Land West of Woodford Road				
BESS				
33kV/DNO Compound Building Elevation Plan – Rev.16.01				
DOCUMENT NAME		DWG. N°		
QQR–STO–020–09 33kV/DNO Compound Building Elevation Plan		09		



Back View

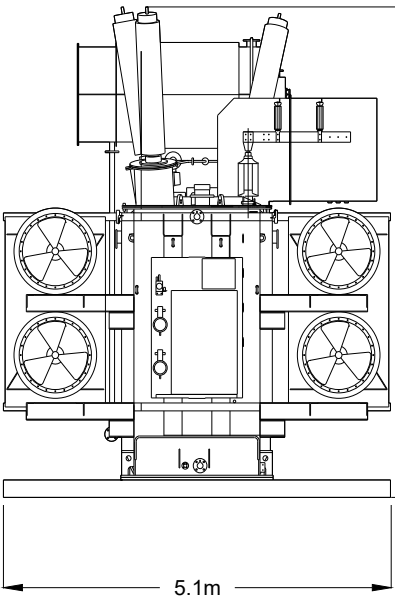


Side View 1

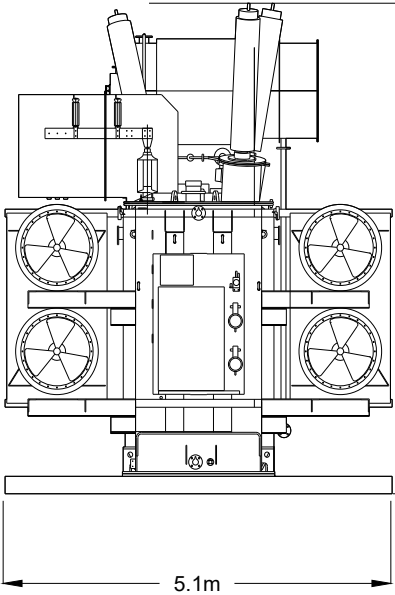
Side View 2

Front View

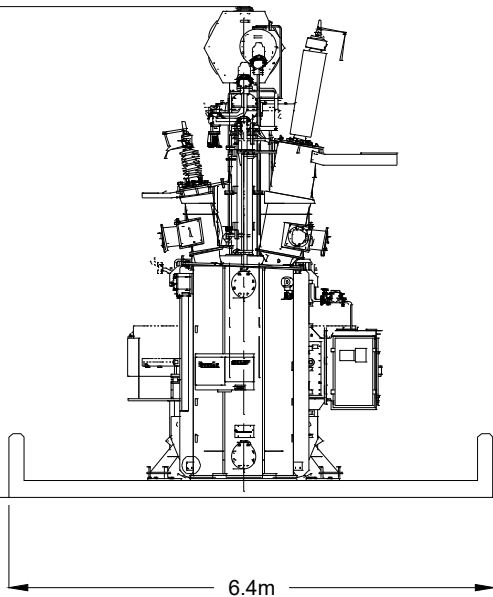
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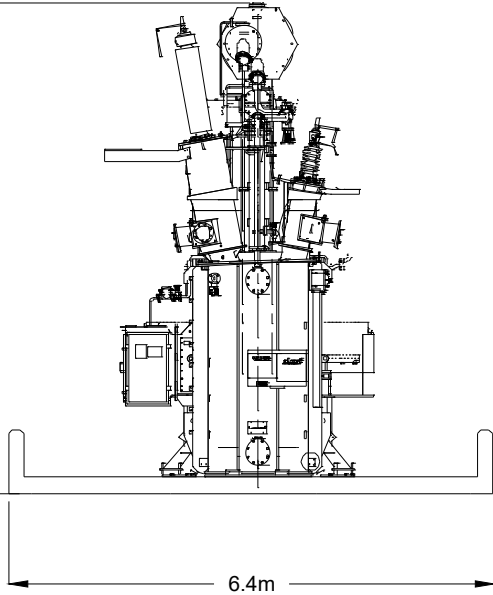
SIDE 1



SIDE 2




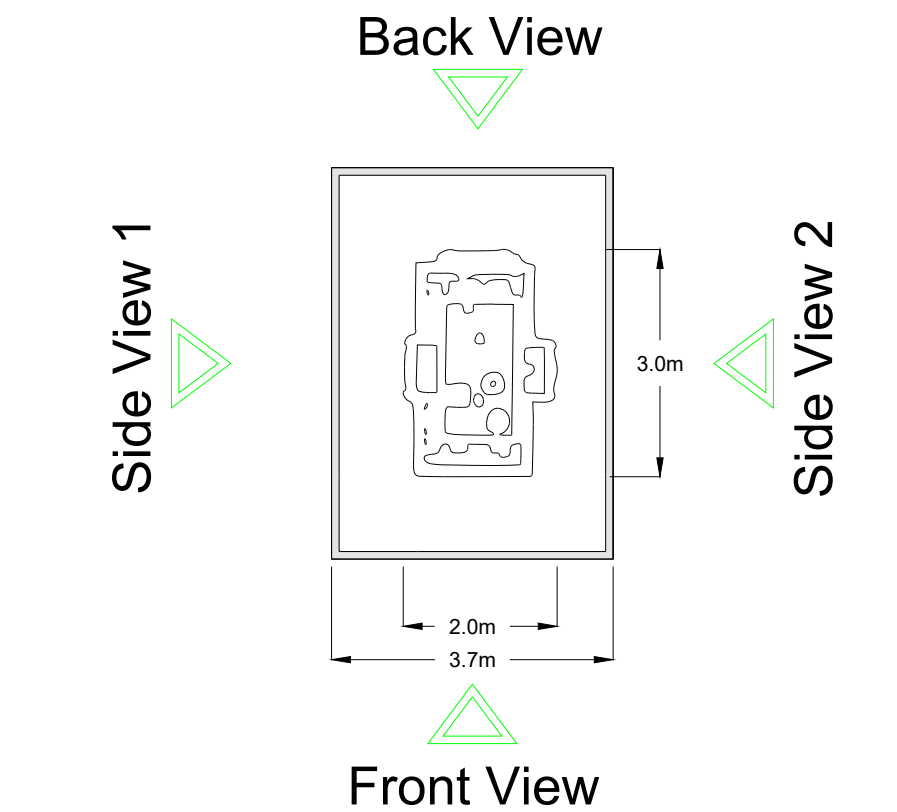
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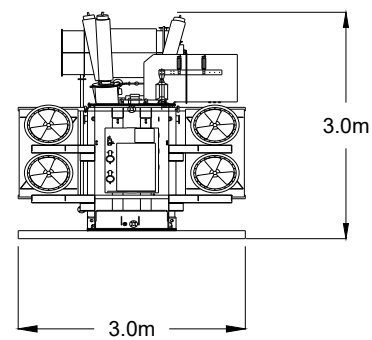
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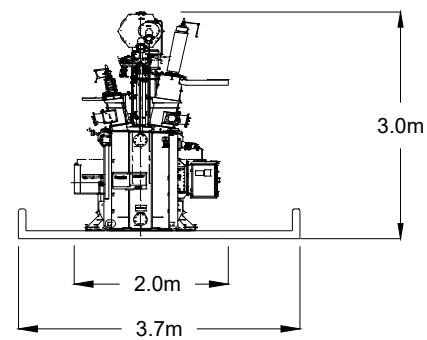
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Land West of Woodford Road			DIM.
BESS			A3
Transformer Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME		DWG. N°	1:100
QQR-STO-020-10 Transformer Elevation Plan		10	PAGE
			1 of 1



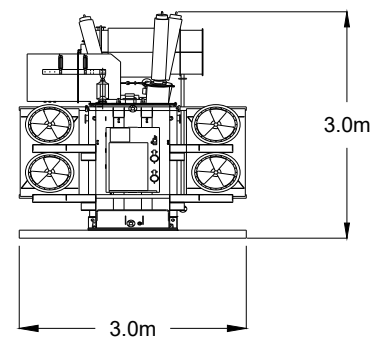
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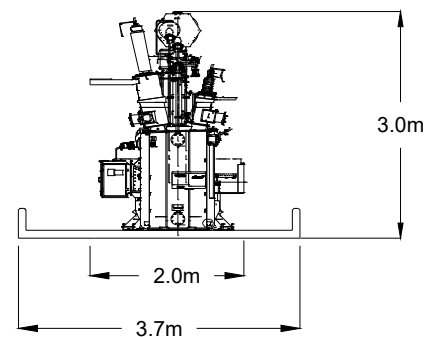
SIDE 1



FRONT




SIDE 2



BACK

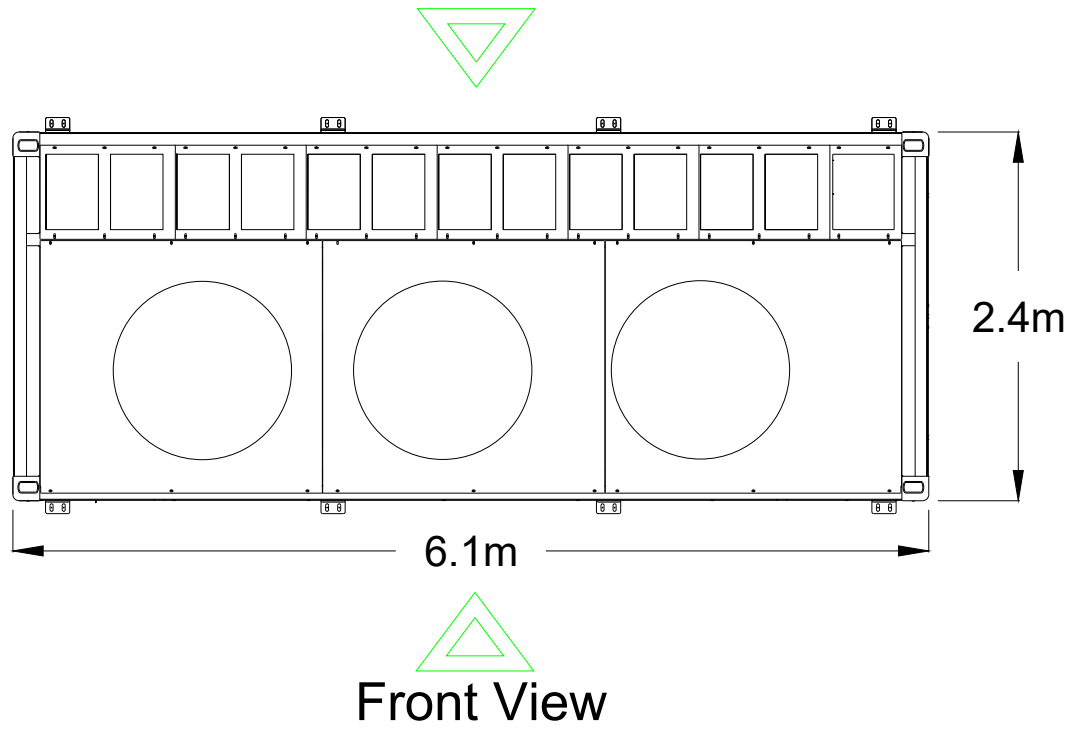


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Land West of Woodford Road			DIM.
BESS			A3
Grounding Transformer Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME			1:100
QQR–STO–020–11 Grounding Transformer Elevation Plan		DWG. N°	PAGE
		11	1 of 1

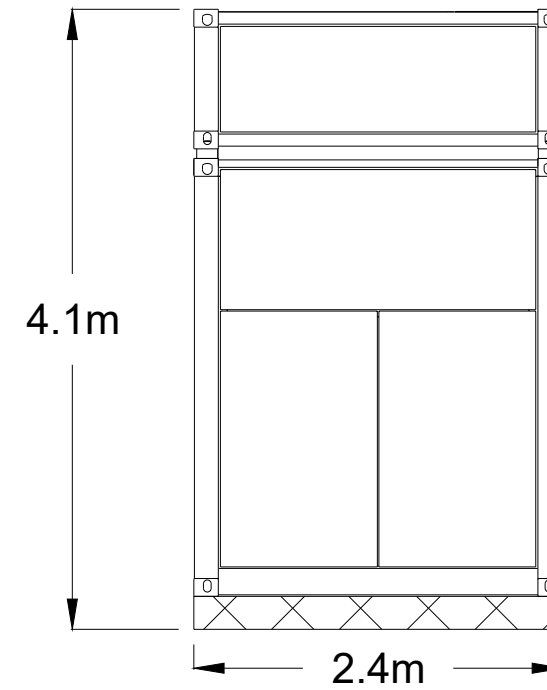


PLAN

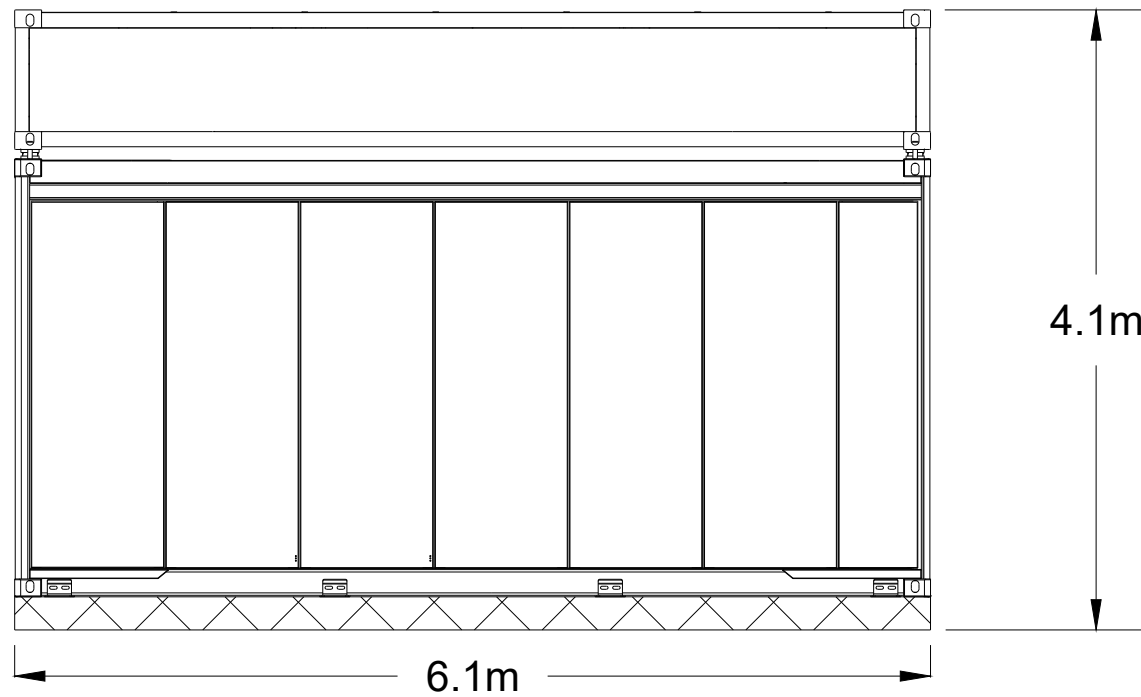
Rear View



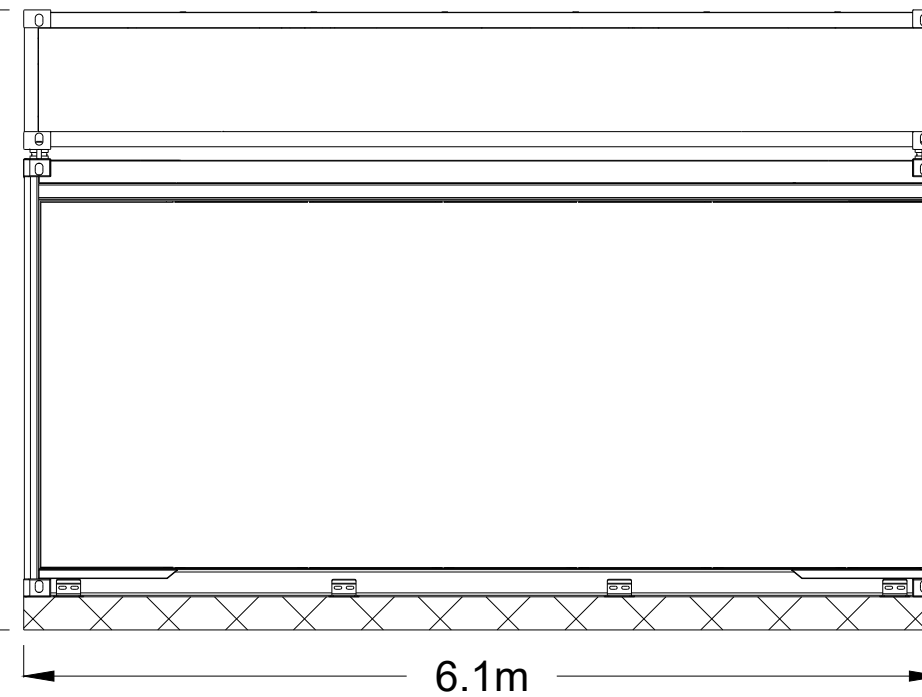
SIDE




FRONT



REAR

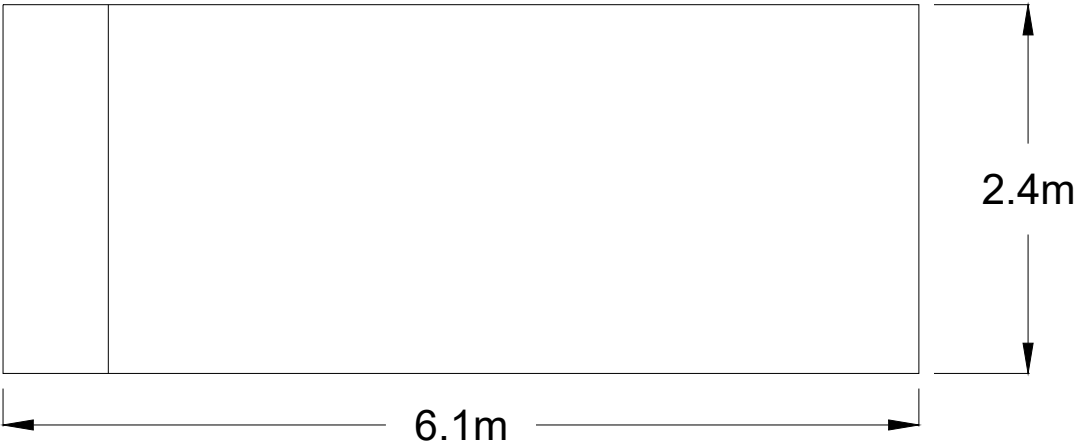


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Land West of Woodford Road			
BESS			
BESS Container Elevation Plan – Rev.16.01			DIM. A3 DRAWING SCALE 1:50
DOCUMENT NAME		DWG. N°	PAGE
QQR-STO-020-13 BESS Container Elevation Plan		13	1 of 1

PLAN

Rear View

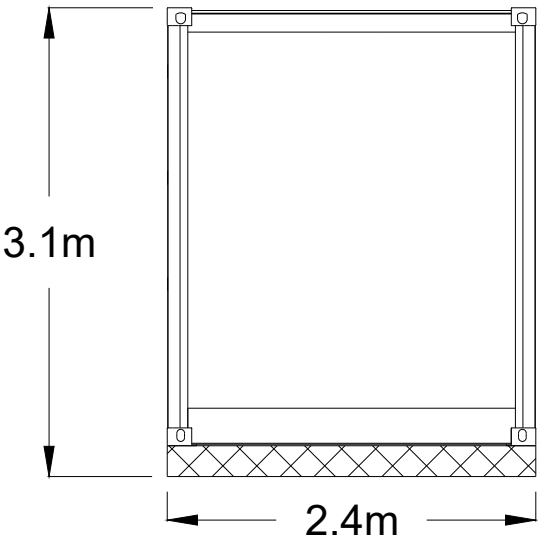
Side



Side

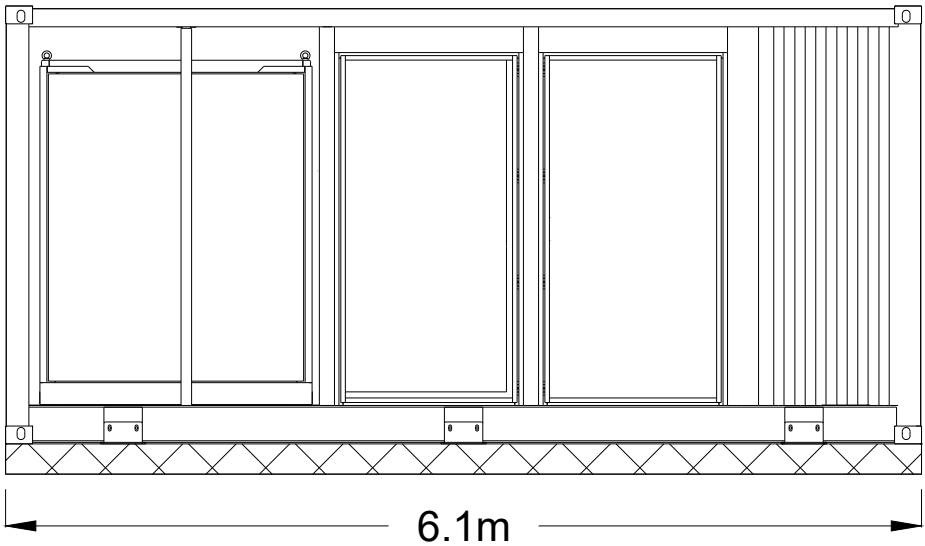


SIDE



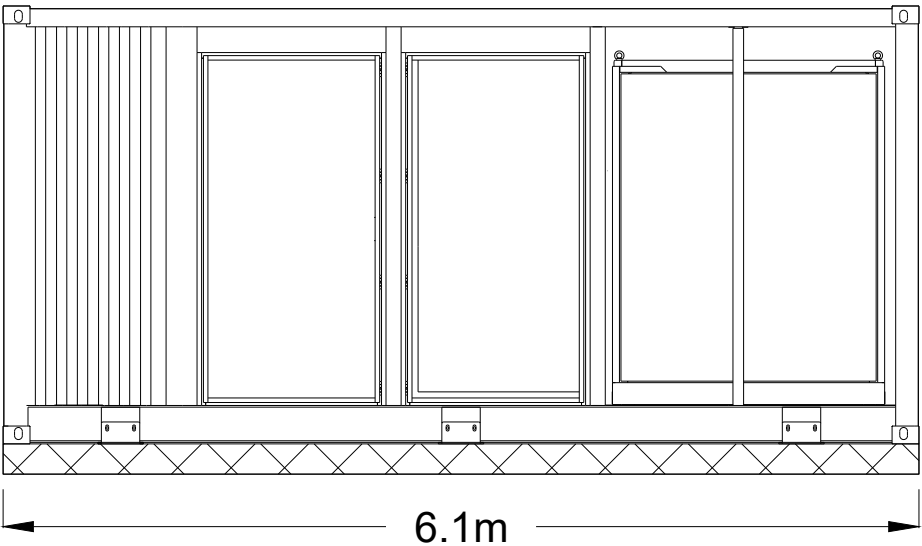
Front View

FRONT

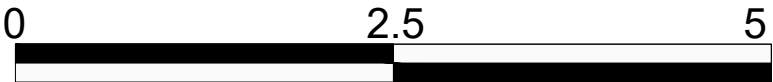



3.1m

BACK

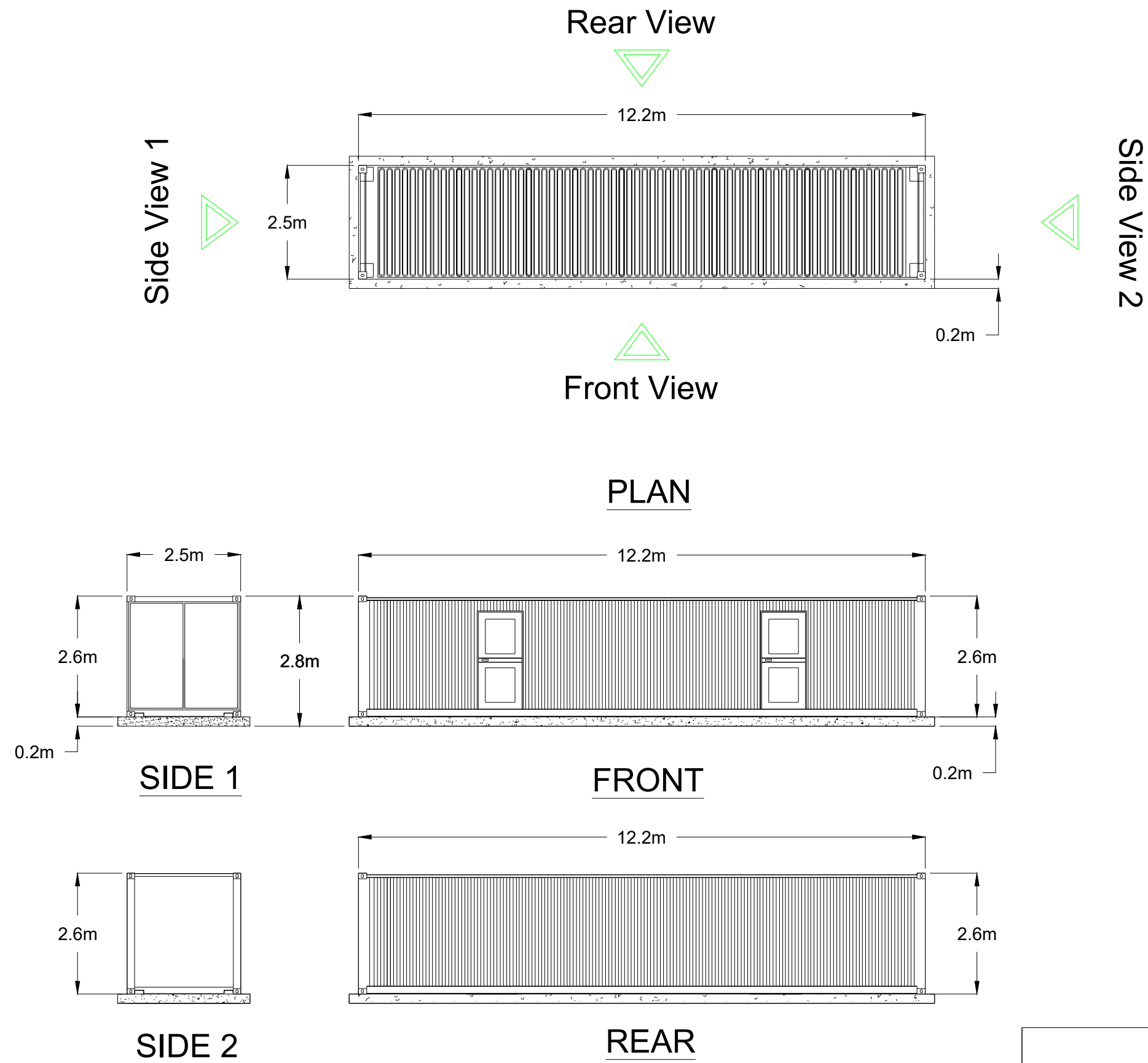



6.1m

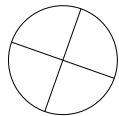


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Land West of Woodford Road			DIM.
BESS			A3
BESS MVS Unit Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME		DWG. N°	1:50
QQR-STO-020-14 BESS MVS Unit Elevation Plan		14	PAGE
			1 of 1

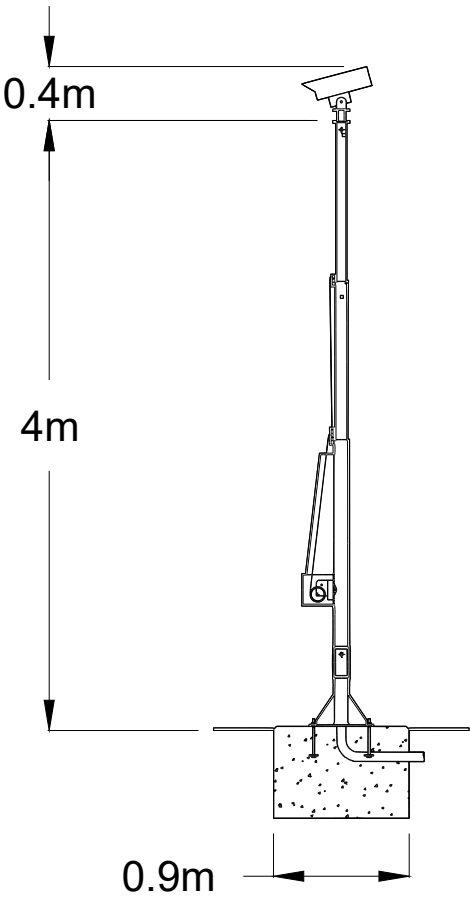




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Land West of Woodford Road			DIM.
BESS			A3
Welfare Container Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME		DWG. N°	1:100
QQR-STO-020-16 Welfare Container Elevation Plan		16	PAGE
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CCTV Layout Plan Indication



CCTV Standalone



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Land West of Woodford Road			DIM.
BESS			A3
CCTV pole/camera Elevation Plan – Rev.16.01			DRAWING SCALE
DOCUMENT NAME			1:50
QQR–STO–020–15 CCTV pole/camera Elevation Plan		DWG. N°	PAGE
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**Strategic Planning Board****28 May 2025****Local Listed Building Consent Orders  
for Crewe Railway Cottages****Report of: David Malcolm, Head of Planning****Ward(s) Affected: Crewe Central****Purpose of Report**

- 1 To give consent for 4 Local Listed Building Consent Orders for the 4 groups of grade II listed Railway Cottages in Crewe for a 10-year duration. This is a pro-active and blanket grant of listed building consent, which means that owners of those listed buildings specified in the order will not have to make individual applications, but will be able to proceed with the works, provided they comply with any conditions that may be attached to the order. The initiative aims to promote energy efficiency and reduce carbon emissions and facilitate a grant scheme while protecting historic architecture.
- 2 This consent will enable a grant scheme to be managed and planned more easily and at less staff and consultant costs than would have otherwise been the case. It is therefore an effective scheme, the first of its kind in the borough developed in conjunction with several council departments and the residents of the properties affected.
- 3 The scheme will improve the health and wellbeing (commitment 2 of the Cheshire East Plan) for those residents who are a part of the scheme and will deliver holistic and lasting solutions to ensure that the future of these Grade II listed buildings in Crewe is secure and more energy efficient.

**Executive Summary**

- 4 Request for the committee to give consent for 4 Local Listed Building Consent Orders for the 4 groups of grade II listed Railway Cottages in Crewe for a 10-year duration. This is a blanket grant of listed building consent, which means that owners of those listed buildings specified in the order will not have to make individual applications, but will be able to proceed with the works, provided they comply with any conditions that may be attached to the order. The initiative aims to promote energy efficiency and reduce carbon emissions and facilitate 'The Warm and Healthy Homes' grant scheme while protecting historic architecture.



- The orders consist of 4 separate orders, one each for all properties on Betley, Dorfold, Tollitt Streets and one for 16 properties on Victoria Street. All the buildings within the order are Grade II listed. Attached to each order are appendices which include drawings and details to facilitate the orders.

### RECOMMENDATIONS

The Strategic Planning Board is recommended to:

1. Approve the 4 Local Listed Building Consent Orders for the following:
  - All of Betley Street
  - All of Dorfold Street
  - All of Tollitt Street
  - 16 properties on Victoria Street
2. Conditions in relation to the order are delegated to Head of Planning level, in accordance with the principles of the Local Listed Building Consent.

### Background

- 5 The grade II listed former railway workers cottages (Betley Street, Dorfold, Tollitt Street and parts of Victoria Street) in central Crewe have received grant aid under the Warm and Healthy Homes Scheme. Part of this requires works which will need Listed Building Consent. 65 Properties are eligible under the scheme and work is due to start on the 49 who have signed up this summer. To prevent multiple repetitive applications for Listed Building Consent (LBC) for every property it is proposed to give a multi-property consent via a Local Listed Building Consent Order (LLBCO) which replaces the need for Listed Building Consent for specific works. This will be subject to the same detailing and conditions as on a regular Listed Building Consent and will remain in place for 10 years.
- 6 The detailed drawings showing precisely what works would have consent have been drawn up by consultants (Purcell's), working with the Local Planning Authorities Heritage Officers. These details will form part of the order, as will written specifications and conditions. Full details of the works are in the draft order (see appendices), but subject to specific requirements and conditions include:
  - Replacement windows and external doors
  - Certain works to roofs and chimneys and rainwater goods
  - Relocation of loft hatch
  - Repointing and replacement bricks/stonework
  - Certain works to garden walls and gates

- 7 Crewe has been allocated a total of £22.9m through the government's Towns Fund to deliver a package of projects to support the town's ongoing regeneration, The Warm and Healthy Homes project has been allocated £2.1m. The Warm and Healthy Homes project is a targeted housing improvement programme and aims to fund repairs to older energy inefficient homes, focusing on external works – including windows, doors and roofs – and introducing carbon saving measures.
- 8 This project will deliver a grant scheme so that improvements can be made to targeted heritage properties in Crewe town centre. The project will also deliver improvements to the public space around these properties.
- 9 Due to the number of properties included in the scheme it was considered expedient for the council to create its first LLBCO.
- 10 Each order is specific to:
  - 20 properties on Betley Street (all properties on the street)
  - 20 properties on Dorfold Street (all properties on the street)
  - 9 properties on Tollitt Street (all properties on the street)
  - 16 properties on Victoria Street (street numbers:  
76, 76a, 78, 78a, 80, 80a, 82, 82a, 84, 84a, 86, 86a, 88, 88a, 90 & 90a)
- 11 The orders will ensure consistency as a part of the special interest of the buildings which is their symmetry and uniformity. If confirmed, the orders will allow grant works to progress quickly as consent will only be required for discharging certain details.
- 12 The Enterprise and Regulatory Reform Act 2013 introduced Local Listed Building Consent Orders, inserting sections 26 A-K and Schedule 2A into the Planning (Listed Building and Conservation Areas) Act 1990. On 6<sup>th</sup> April 2014, the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 (SI 2014/551) came into force. Those regulations provide for procedures connected to a Local Listed Building Consent Order and make provision for their preparation and revocation.
- 13 Under Section 26 of the Planning (Listed Building and Conservation Areas) Act 1990, Local Planning Authorities (LPA) can grant consent for listed building for works of any description for the alteration or extension of groups of listed buildings in all or part of their area. This is a pro-active and blanket grant of consent, which means that owners of those listed buildings will not have to make individual applications, but will be able to proceed with the works, subject to any conditions that may be attached to the Order.
- 14 The Council recognises its role in the climate emergency and this Order is an opportunity for residents to extend the service life and improve energy efficiency of the properties covered within this Order, whilst recognising the



importance they play in the town's history. One of the most efficient ways to eliminate unnecessary energy use is to improve a building's condition. Defects such as damp walls and poorly fitting doors or windows can substantially reduce thermal performance; and repairs are an important energy-saving measure in their own right, and an essential prerequisite for some thermal improvements, such as the addition of loft insulation.

- 15 The initial group of works will relate to the 'Warm and Healthy Homes' Grant Scheme works. However it is anticipated that many of the works proposed under the order would be of benefit for all residents in seeking to improve the condition of the buildings. It is therefore proposed that the order be in place for 10 years to allow time for works at other properties to be undertaken outside of the grant scheme.
- 16 The buildings contained within the order are all Grade II listed and as such would require individual consents for the works. This would create repetitive and almost identical applications for each individual property as each property within its row is to a matching design. The symmetry of the rows is an important part of the significance of the buildings and this order allows for a uniform approach to each row to preserve and enhance that uniformity.

## Consultation and Engagement

- 17 The LLBCO has been publicised for 21 days and under that public consultation the Amenity Societies and Historic England have been consulted. The Ward Councillor has also been consulted. Emails were sent to the Amenity Societies and Historic England and letter sent to all the properties with 2 notices per order also put up on lamp posts adjacent to the properties. Paper copies were available at Delamere House reception and Crewe Library and were also available electronically on the Council's website. The consultation ran from 14<sup>th</sup> April until midnight on the 12<sup>th</sup> May 2025 and responses were collected via email or letter. Crewe Town Council were also consulted, however due to their meetings schedule were not able to respond within the time frame set out above, therefore their comments will be added as a verbal update at the meeting.
- 18 5 consultation responses were received.
- 19 Consultation responses:

Cllr Morris - requesting clarification regarding paint colours
The Residents Association - requesting clarification regarding paint colours and a request to consider including porch colours for Tollitt and Dorfold Streets in the order.
Betley Street resident – asking for further information regarding the grant and window replacements

Victoria Street resident – supplied generally supportive comments
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Historic England – No Objection - The proposed orders will maintain adequate protections for these listed buildings.
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- 20 Following the consultation a change to colours is proposed for windows and rainwater goods in response to the residents' concerns. Whilst the proposed colour palette was taking from historic photos it is not the colour palette currently in use and would create a lack of symmetry amongst the rows. There has been some discussion over the use of colour names, and this has been resolved by using British Standard (BS) numbers rather than a brand name or RAL numbers to identify colours (see appendices for details) This change has been implemented into the draft orders attached.
- 21 The porches mentioned in the consultation responses are almost completely enclosed, each with a window and a door which, for the most part, has a metal gate. Most are painted shades of cream/white however a couple are painted in brighter colours. It is not proposed to include a paint colour for the porches in the orders as the painting of the porches does not affect the special character and appearance so it would not require Listed Building Consent. Only elements which require Listed Building Consent can be included in the orders.

### Reasons for Recommendation

- 22 The order has been put forward as an innovative tool to reduce future workload for council staff and enable the grant scheme to run smoothly to create more sustainable buildings.
- 23 The proposal will improve the health and wellbeing (commitment 2 of the Cheshire East Plan) for those residents who are a part of the scheme.

### Other Options Considered

- 24 The only other option is to do nothing, and the consultants/grants team would then need to apply for over 40 separate Listed Building Consent applications. However, this would not allow the Council to provide additional practical guidance on this matter or give clarity to the approach that should be employed by all parties in a consistent way that gives certainty to applicants and decision makers.

Option	Impact	Risk
Do nothing	Variation quality of designs and work – loss of significance of grade II listed buildings	Would increase workload of Heritage and Planning staff  Risk of losing grant aid due to delays



	<p>Would be hard to enforce such a large scheme</p> <p>Delay grant scheme as individual consents would be required</p>	
Approve Order	<p>Expedite works</p> <p>Reduce delays</p>	<p>Risk of inappropriate modifications if the order is not carefully drafted and implemented.</p> <p>Risk of compensation if order revoked or revised, see below</p>

### Implications and Comments

#### *Monitoring Officer/Legal*

- 25 Where an end date has been set and an Order expires, or where an Order is revised or revoked, there is a very small risk of compensation liability if abortive works have been carried out or any loss sustained which may be attributed to the expiry, revision or revocation. This liability can be avoided if the procedures in regulation 7 of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 are followed.
- 26 As soon as reasonably practicable after the LLBCO is adopted, the LPA must send a copy of the LLBCO to Historic England.

#### *Section 151 Officer/Finance*

- 27 Historic England's advice note 6 states:  
Where an end date has been set and an Order expires, or where an Order is revised or revoked, there is a very small risk of compensation liability if abortive works have been carried out or any loss sustained which may be attributed to the expiry, revision or revocation. This liability can be avoided if the procedures in regulation 7 of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 are followed.  
*'Drawing up a Local Listed Building Consent Order Historic England Advice Note 6'*
- 28 The overall cost of declaring the order and managing the applications and works as a part of the order will be met from within the Heritage Team and Planning Teams core budget and work. No additional funding is required.

- 29 The drawings/documentation for the LLBCO written by consultants have been funded by the grant scheme.
- 30 The proposals will not impact the Council's approved budget/ Medium Term Financial Strategy as the order aims to reduce the potential workload of council staff allowing the work to be covered under the current core budget and work.

*Policy*

- 31 The order will enable the repair and improvement of the 65 Grade II listed properties that form part of the core heritage within Crewe Town Centre. This scheme will regenerate and improve the thermal efficiency of the buildings and therefore make them better places to live.

<b>Commitment 1: Unlocking prosperity for all</b>	<b>Commitment 2: Improving health and wellbeing</b>	<b>Commitment 3: An effective and enabling council.</b>
<b>The scheme will improve the public realm and historic houses for the communities within the town centre of Crewe.</b>	<b>The scheme aims to reduce drafts, improve thermal efficiency and reduce damp issues to the properties.</b>	<b>The order is a novel one for the borough, made to enable the grant scheme to fit within the existing core workload of the Planning Team and Conservation Officers.</b>
<b>The scheme will improve the thermal efficiency of the buildings and make them better places to live.</b>	<b>The scheme aims to improve the external condition of the buildings and their setting.</b>	<b>The order will make getting consent for the works contained within it easier for residents.</b>
		<b>The order was subject to a public consultation.</b>

*Equality, Diversity and Inclusion*

- 32 The Council has a duty under Section 149 of the Equalities Act to have due regard to the need to: eliminate discrimination; advance equality of opportunity between persons who share a "relevant protected characteristic" and persons who do not share it; foster good relations between persons who share a "relevant protected characteristic" and persons who do not share it



- 33 The approach to the public consultation has been considered and has provided opportunities for all within each of the communities to engage and provide an input. There are no Equalities implications for the adoption of the LLBCO.

*Human Resources*

- 34 Work will be met by staff under existing core workload.

*Risk Management*

- 35 Where an end date has been set and an Order expires, or where an Order is revised or revoked, there is a very small risk of compensation liability if abortive works have been carried out or any loss sustained which may be attributed to the expiry, revision or revocation. This liability can be avoided if the procedures in regulation 7 of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 are followed.

*Rural Communities*

- 36 The properties are all within Crewe Town Centre.

*Children and Young People including Cared for Children, care leavers and Children with special educational needs and disabilities (SEND)*

- 37 The LLBCO is proposed to improve the living conditions of the properties within it which will be a benefit to all residents.

*Public Health*

- 38 The proposals are likely to have a positive impact on the health and wellbeing of Cheshire East residents within the Order.

*Climate Change*

- 39 The grant scheme is predominantly to improve the energy efficiency of the residential grade II listed buildings within Crewe Town Centre. This order is to support that scheme and will therefore improve the sustainability of the buildings.

Access to Information	
Contact Officer:	<b>Katherine Bailey</b>   Senior Conservation Officer <a href="mailto:katherine.bailey@cheshireeast.gov.uk">katherine.bailey@cheshireeast.gov.uk</a>
Appendices:	<p>Draft Local Listed Building Consent Order plus appendices/drawing pack - Betley Street</p> <p>Draft Local Listed Building Consent Order plus appendices/drawing pack - Dorfold Street</p> <p>Draft Local Listed Building Consent Order plus appendices/drawing pack - Tollitt Street</p> <p>Draft Local Listed Building Consent Order plus appendices/drawing pack - Victoria Street</p> <p>Details of the paint colour alterations</p>
Background Papers:	Historic England Good Practice Advice note 6: Drawing up a Local Listed Building Consent Order



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**DRAFT LOCAL LISTED BUILDING CONSENT ORDER FOR THE ON GRADE II LISTED BUILDINGS IN THE  
BOROUGH OF CHESHIRE EAST**

This Local Listed Building Consent Order is made under the provisions as set out in the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 and Sections 26D - G and 28A and Schedule 2A of the Planning (Listed Buildings and Conservation Areas) Act 1990

**1. Introductory**

THE LOCAL LISTED BUILDING CONSENT ORDER is made on the 28<sup>th</sup> day of May 2025

**2. The listed buildings covered by the order: -**

Betley Street numbers:

1, 3, 5, 7, 9, 11, 13, 15, 17 & 19

And

2,4,6,8,10,12, 14, 16, 18 & 20

**3. Description of the consented works**

**3.2 Replacement of non-original timber windows with **timber windows****

**3.2.1 to qualify for consent under this order the works must:**

A – be as per the drawings and spec noted in drawing 3121 in appendix A

B – any double glazing must be 14mm slim profile glazing with integral glazing bars

C - windows to be painted to one of the colours within the palette provided in Appendix C, reveals to be as per drawings in Appendix A.

D – Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

**3.3 Replacement of **timber external doors****

**3.3.1 to qualify for consent under this order the works must:**

A – be as per the drawings and spec noted in drawings 3124 & 3125 in appendix A

B - painted in the colour provided in Appendix C



C - Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

3.4 Works to the **roof**, specifically reroofing, replacing bargeboards, replacing flashing, but excluding works to the timber structure.

3.4.1 to qualify for consent under this order the works must:

A – Blue clay ridge tiles to be new or salvaged, plain or flaunching but must match the existing in colour, size/profile and finish of the existing, as per the images in Appendix B.

B - Renewal of roof covering, to include a permeable roofing membrane with eaves carrier, new slates to match existing and re-bedding ridge tiles. As per drawings in Appendix A.

C - Replacement insulation quilt may be installed in roof spaces, between and above rafters, providing an eaves ventilator system is installed to ensure the roof space remains ventilated at the eaves.

D - be as per to drawings in Appendix A.

E - Welsh slates: Wholesale replacement of a roof or roof slope – new Welsh slates to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator. Refer to drawing 3211 in Appendix A.

A sample slate must be submitted for approval by the Local Planning Authority via formal discharge of condition prior to works being carried out.

F - Mortar for Flaunching for chimney pots, to be as per the specification in 3.7.1C.

G - Lead flashings to:

Valley gutter and soakers– Code 6, Soakers Code 4 (minimum)

Roof abutment drip flashings and soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.5 Chimney works

3.5.1 To qualify for consent under this order the works must:

A – Re-bed existing sound clay chimney post in a mortar flaunching. - Flaunching for chimney pots to be a Natural Hydraulic Lime mix as per 3.7.1C.

B - Replacement chimney pots are to be cream clay and match the existing in size.

C - Cream clay pepper pot ventilators are advised to keep the weather out of redundant flues.

D - Refer to the images on drawings in Appendix B for the existing types.

E - Other clay pots and ventilators are not included in this order and require an application for Listed Building Consent.

F - Lead flashings to:

Coping DPC to chimney stack – Code 5 (minimum)

Chimney stepped flashings and drip flashings/ soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.6 Relocation of **Loft Hatch**

3.6.1 To qualify for consent under this order the works must:

A - Loft hatches and access ladders may be installed within the zones identified on the drawings only.

B - Adjacent finishes should be made good following installation on a like-for-like basis.

C - be as per the drawings and specification noted in drawing 3030 in appendix A

### 3.7 Repointing and replacement bricks

3.7.1 To qualify for consent under this order the works must:

A - New or salvaged red/orange clay facing bricks to match the colour size and texture of the existing, sample to be submitted for approval to the Local Planning Authority by the via formal discharge of condition prior to works being carried out.

B - Cut out defective bricks by hand and indent new bricks as single bricks, fully bedded and shimmed with mortar as below

C - Rake out (no mechanical tools to be used) and repoint with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

D – to be as per the repointing spec in drawing 3030 in appendix A including raking out details

E – mortar finish to be a flush joint/ tampered to expose aggregate following initial set.

### 3.8 Replacement **rainwater goods**

3.8.1 To qualify for consent under this order the works must:



A - The rainwater drainage system serves multiple properties and to function correctly must remain as installed. Replacement sections of cast iron gutters, downpipes and associated fittings must match the drawings in Appendix A exactly.

- 120mm diameter half round gutter on fascia brackets, 75mm diameter downpipes/ fixing brackets

B - To be as per drawings 3211 in Appendix A.

C - To be painted the colour in the palette provided in Appendix C

### 3.9 Works to **Stone**

3.9.1 To qualify for consent under this order the works must:

A - stone window cills are to be painted the colour in the palette provided in Appendix C

B - Stone/ render plinths - Careful removal of the remains of the stone plinth (to a specification in appendix A) and replacement render sections is permitted, providing the brickwork behind and pointing are repaired in line with this specification and undertaken at the same time.

### 3.10 Works to **garden/yard walls** and **gates**

3.10.1 To qualify for consent under this order the works must:

A – be treated softwood or hardwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing.

B - Gates to be as per drawing 3201 and images contained with Appendix B for the existing types.

C - Blue clay pitched wall coping on the rear boundary to match the colour, size and finish of the existing.

D - Refer to drawing 3201 and Appendix B for the existing types of blue clay pitched wall coping on the rear boundary.

E - New or salvaged blue clay engineering brick to form a coping on side walls and act as a Damp Proof Course. To match the colour size and texture of the existing.

F - Replacement of blue engineering brick copings to side/ party yard walls to be as per drawing 3201 and Appendix B.

G - Rake out and repoint / rebuild with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns

- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved) Refer to drawing 2120 for specification & raking out methodology
- Flush joint/ tamp to expose aggregate finish following initial set.

### 3.11 external joinery Replacement Joinery for **Barge Boards** and **Fascia Boards**

3.11.1 To qualify for consent under this order the works must:

A - Planed softwood timber boards to match the size, moulded profile and decorative features of the existing.

B - To be painted the colour in the palette provided in Appendix C

C - To be as per the images within Appendix B.

### 3.12.1 decoration of **External joinery, External metalwork, & Painted stonework**

3.12.1 To qualify for consent under this order the works must:

A - Be painted the colour in the palette provided in Appendix C

INFO NOTED IN APENDIX 1

## 4. **Statement of Reasons**

4.1 The Council recognises its role in the climate emergency and this Order is an opportunity for residents to extend the service life and improve energy efficiency of the properties covered within this Order, whilst recognising the importance they play in the town's history. One of the most efficient ways to eliminate unnecessary energy use is to improve a building's condition. Defects such as damp walls and poorly fitting doors or windows can substantially reduce thermal performance; and repairs are an important energy-saving measure in their own right, and an essential prerequisite for some thermal improvements, such as the addition of loft insulation.

4.2 Constructed in the 1840s, the properties, the cottages are directly associated with the development of the Grand Junction Railway in Crewe and specifically the relocation of the railway locomotive and engineering works from Edge Hill to Crewe in 1843. The cottages are some of the few rows of cottages remaining from this large-scale development and have high historical value as reminders of this significant development. There is also associative value in their connection with architect John Cunningham, known for his railway architecture and for his design of Liverpool's Lime Street Station. The houses are also associated with John Betjeman, who campaigned against the cottages' demolition in the 1970s whilst he was Poet Laureate. As houses constructed for the railway community of Crewe the cottages have high communal value, many of local people will have ancestors who worked in the railways and the cottages form part of the local heritage. The importance to the local community was both demonstrated and strengthen during campaigns in the 1970s for their retention and restoration following plans to demolish them.

## . **Justification for Making the Order**



5.1 The initial group of works will relate to the 'Warm and Healthy Homes' Grant Scheme works. However it is anticipated that many of the works proposed under the order would come up general works to improve the condition of the buildings and it is therefore proposed that the order be in place for 10 years to allow any properties not taking up the grant offer to carry out the same works under the same conditions.

## **6. Purpose of the order**

6.1 The buildings contained within the order are all Grade II listed and as such would require individual consents for the works. This would create repetitive almost identical applications for each individual property as each property within its row is to a matching design. The symmetry of the rows is an important part of the significance of the buildings and this order allows for a uniform approach to each row to preserve and enhance that uniformity.

## **7. Term of order**

7.1 Dates from 28<sup>th</sup> May 2025 and to 27<sup>th</sup> May 2035 (a period of no more than 10 years from the starting date of the Order).

## **8. Other particulars:**

### **8.1 Operation of the Order**

- i) The Order has been made in accordance with the requirements of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014, including a public consultation of at least 28 days, and consultation with Historic England of at least 28 days. Representations received in response to these consultations have been considered in drawing up the final version of the Order.
- ii) The Council will review the operation of the Order on an annual basis. If at any time during the life of the Order it is considered that it is either ineffective or is giving rise to unexpected and unacceptable harm to listed buildings to which it applies, it will be varied or revoked.
- iii) If the Council revokes this Order at any point prior to the end date given above, any works authorised by the Order which have been started but not completed may be completed within six months of the date of revocation. Works which have been started but not completed at the end date given above may also be completed within six months of that date. However, once the Order expires or is revoked, any works previously covered by the Order which have not been started, will no longer benefit from the consent granted through the Order.
- iv) If at the end of the term of the Order it is considered that it is operating effectively and does not give rise to undue harm, it will be renewed, and a longer term considered.
- v) As an Order confers listed building consent for specified works, a breach of the Order by carrying out works not authorised by the Order may lead to enforcement action.

## **9. Appendices** Supplementary information

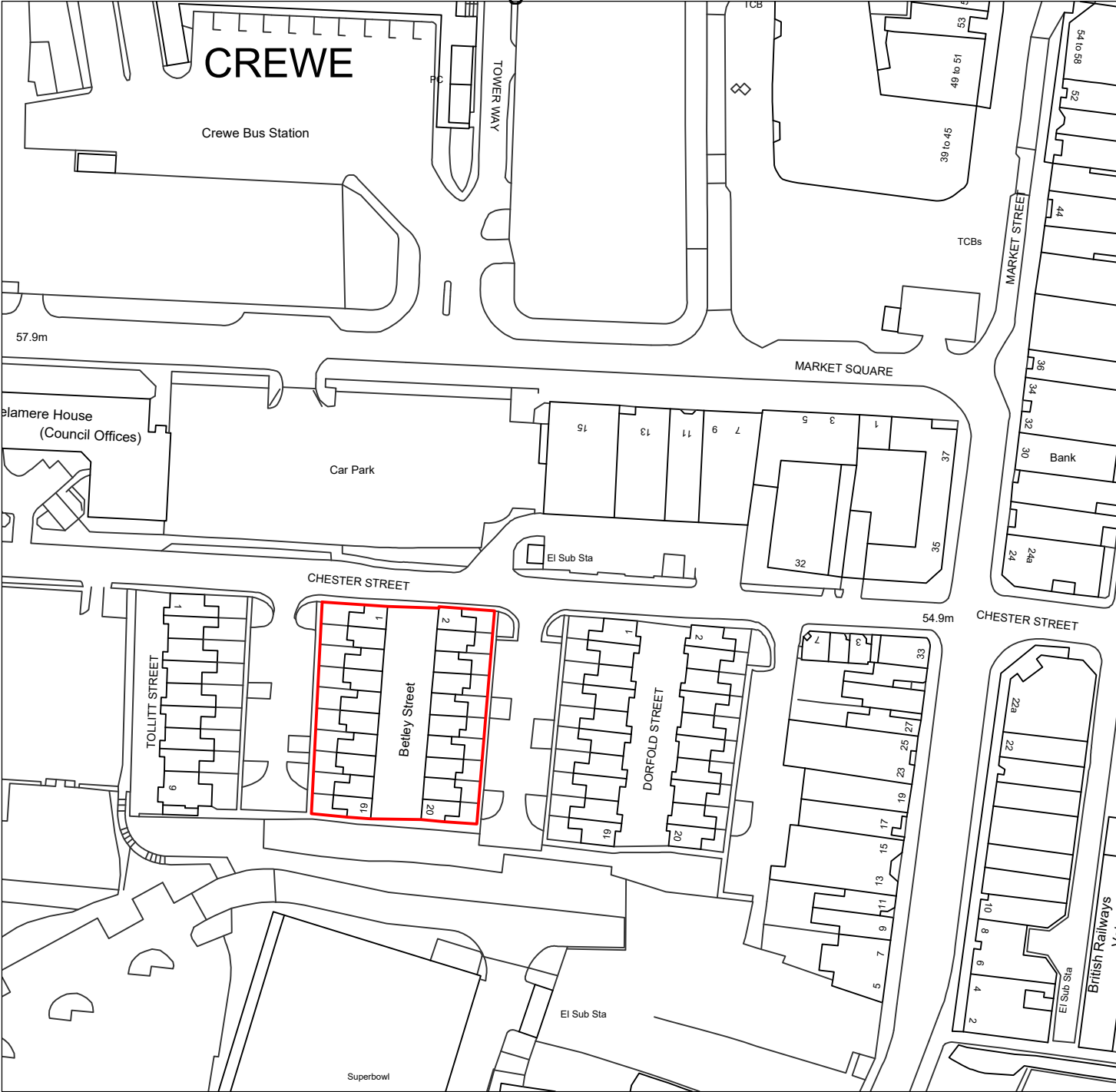
APPENDIX A – DRAWING PACKAGE

Betley Street

24/03/2025

PURCELL 



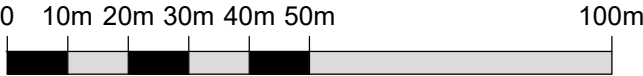


1  
0053

BETLEY STREET - SITE LOCATION PLAN  
SCALE 1:1250




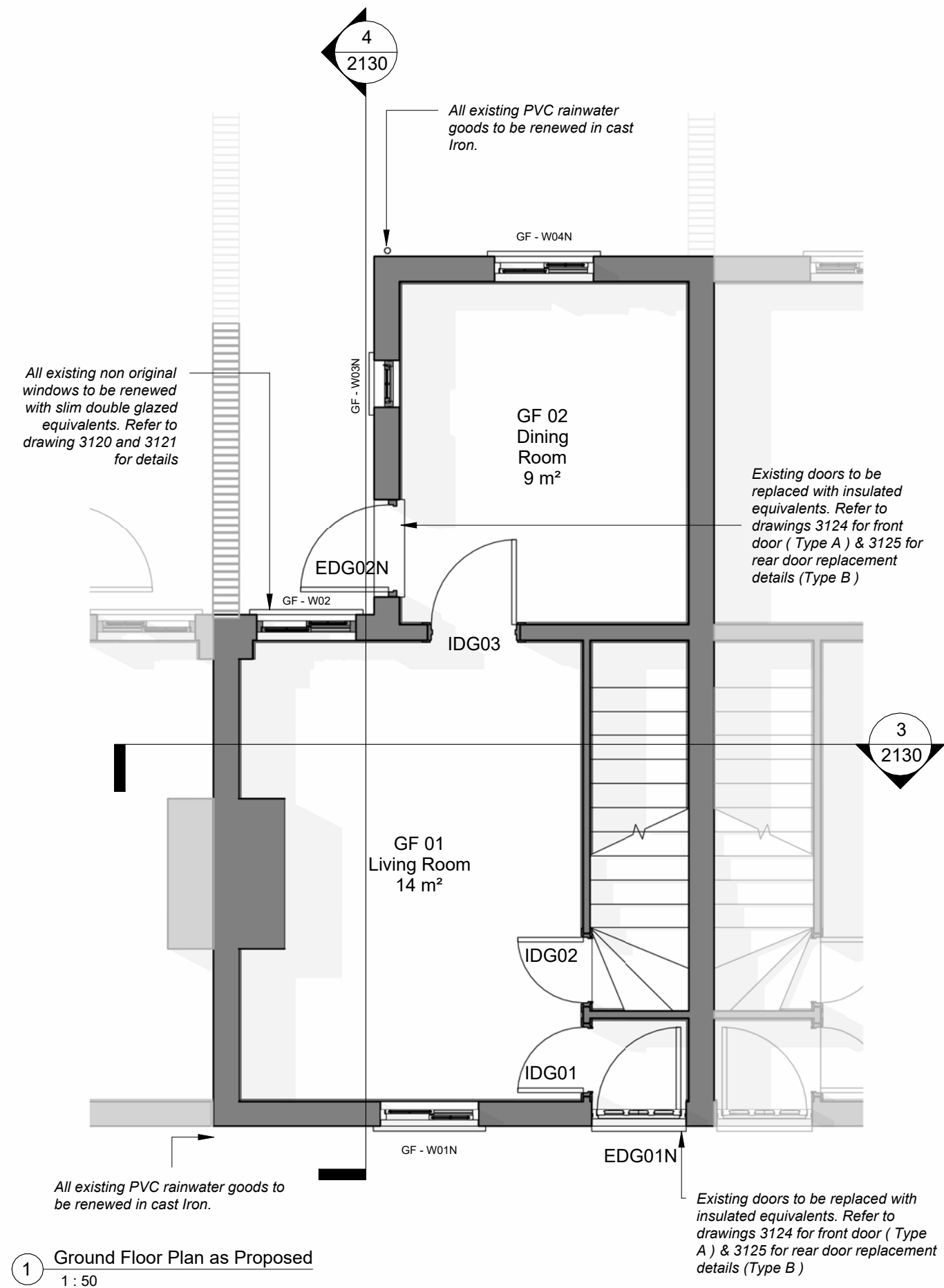
1:1250 Scale



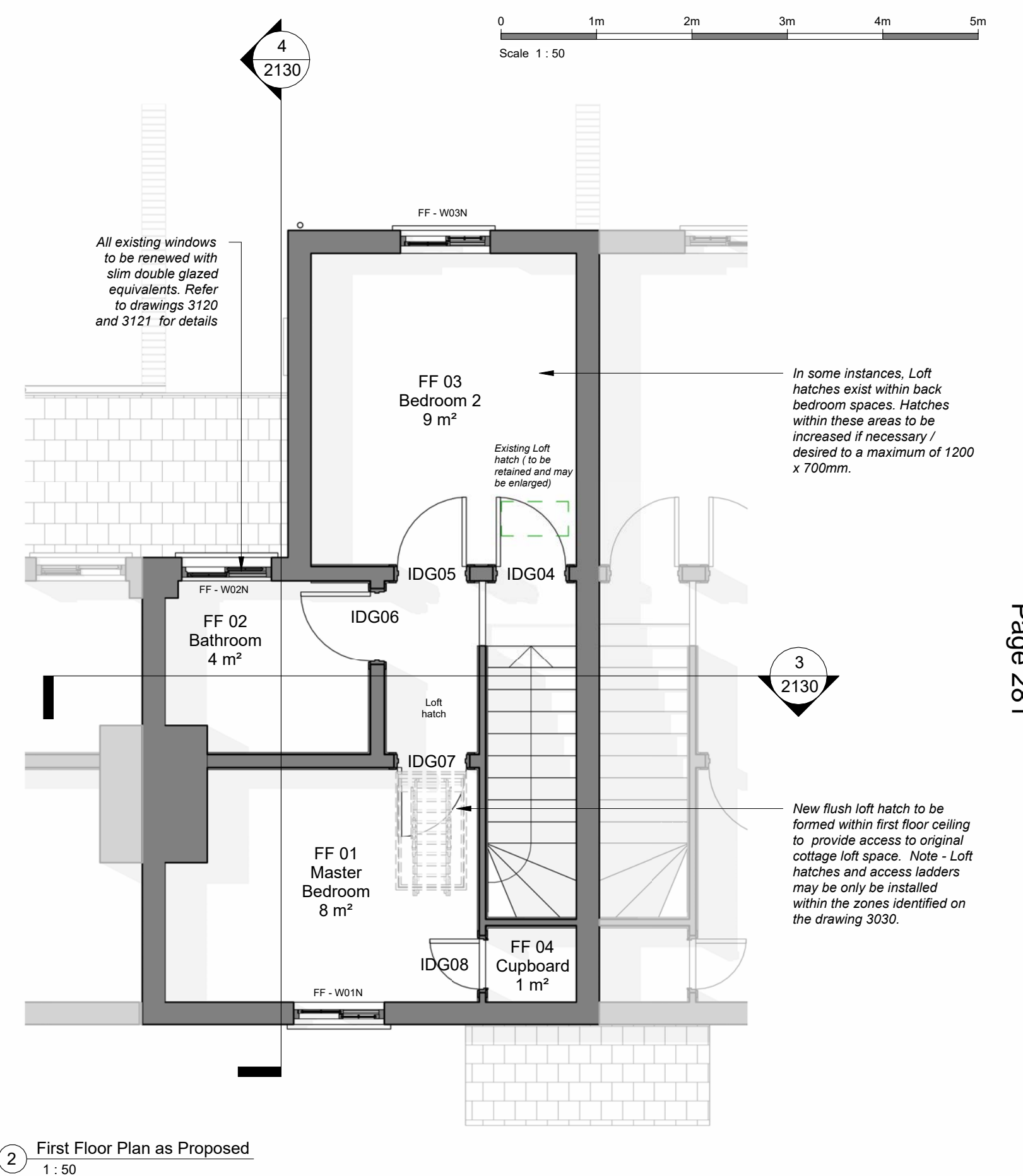
KEY

 Site Boundary Line

					CLIENT <b>Cheshire East Council</b>					
					JOB NUMBER <b>243231</b>	PROJECT <b>CEF Crewe, Warm and Healthy Homes</b>	SIZE <b>A4P</b>	SCALE <b>As Indicated</b>		
					TITLE <b>Betley Street - Site Location Plan</b>					
					REV <b>P01 S3 - For Review &amp; Comment</b>					
					DRAWING NUMBER <b>243231-PUR-03-00-DR-A-0053</b>					
P01	18/03/2025	AM	MP	First Issue						
REV	DATE	BY	CHK	DESCRIPTION						



1 Ground Floor Plan as Proposed  
1 : 50



2 First Floor Plan as Proposed  
1 : 50

**Notes:**

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REV	DATE	BY	CHK	DESCRIPTION
P03	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P02	24/03/2025	MP	JPH	Issued For LBC
P01	05/03/2025	AM	MP	For Client Review

**CLIENT**  
Cheshire East Council

**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231

**TITLE**  
Typical Betley Street Dwelling - Proposed Ground and First Floor Plans

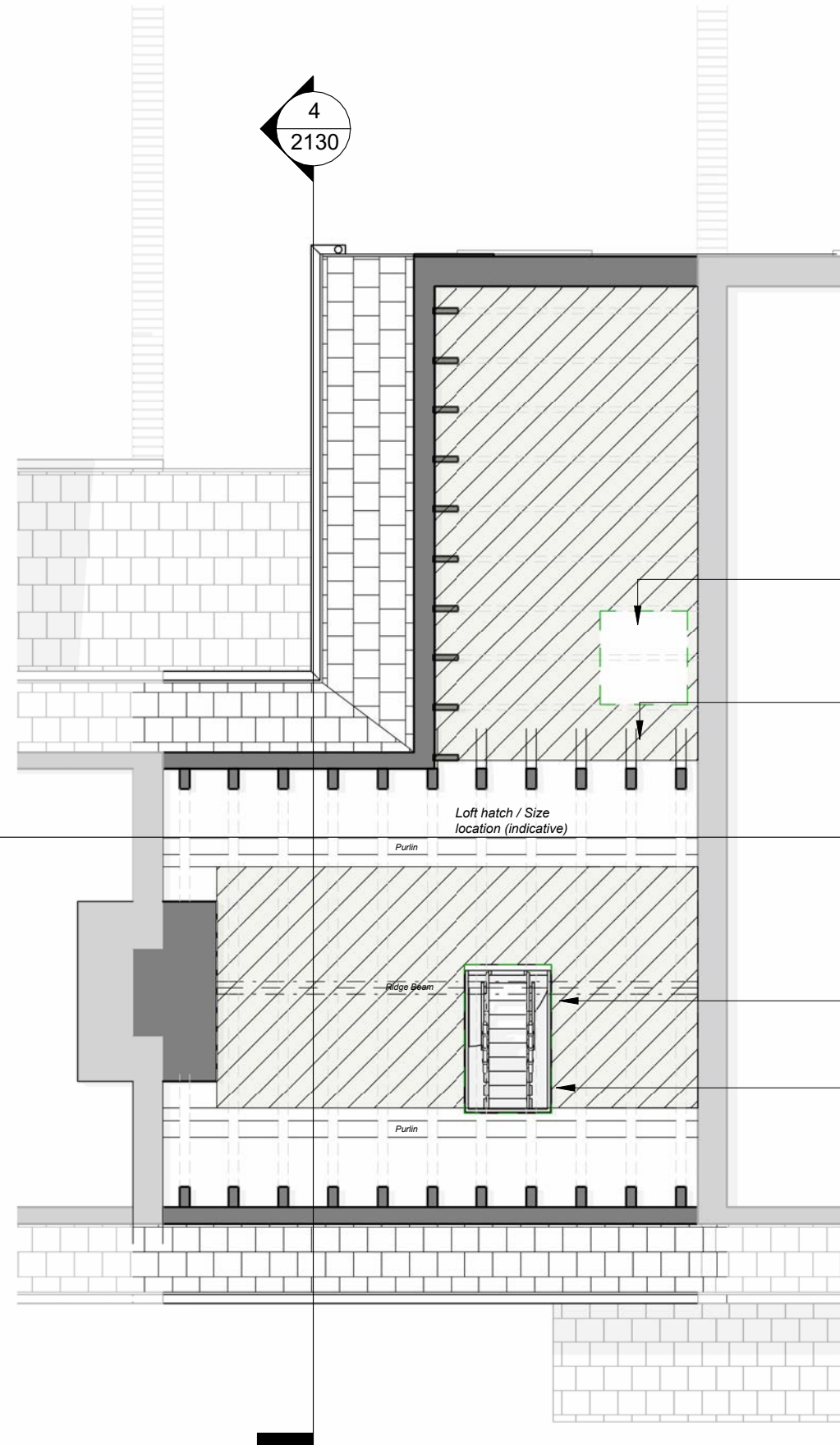
**SIZE**    **SCALE**  
A3L    1 : 50

**REV**    **SUITABILITY/REASON FOR ISSUE**  
P03 S4 - For Approval/

**DRAWING NUMBER**  
243231-PUR-03-ZZ-DR-A-2040

PURCELL





1 Loft Plan as Proposed.  
1 : 50

All Existing PVC half round gutters and downpipes to be renewed with cast Iron equivalents. Refer to drawing 3211 for typical details.

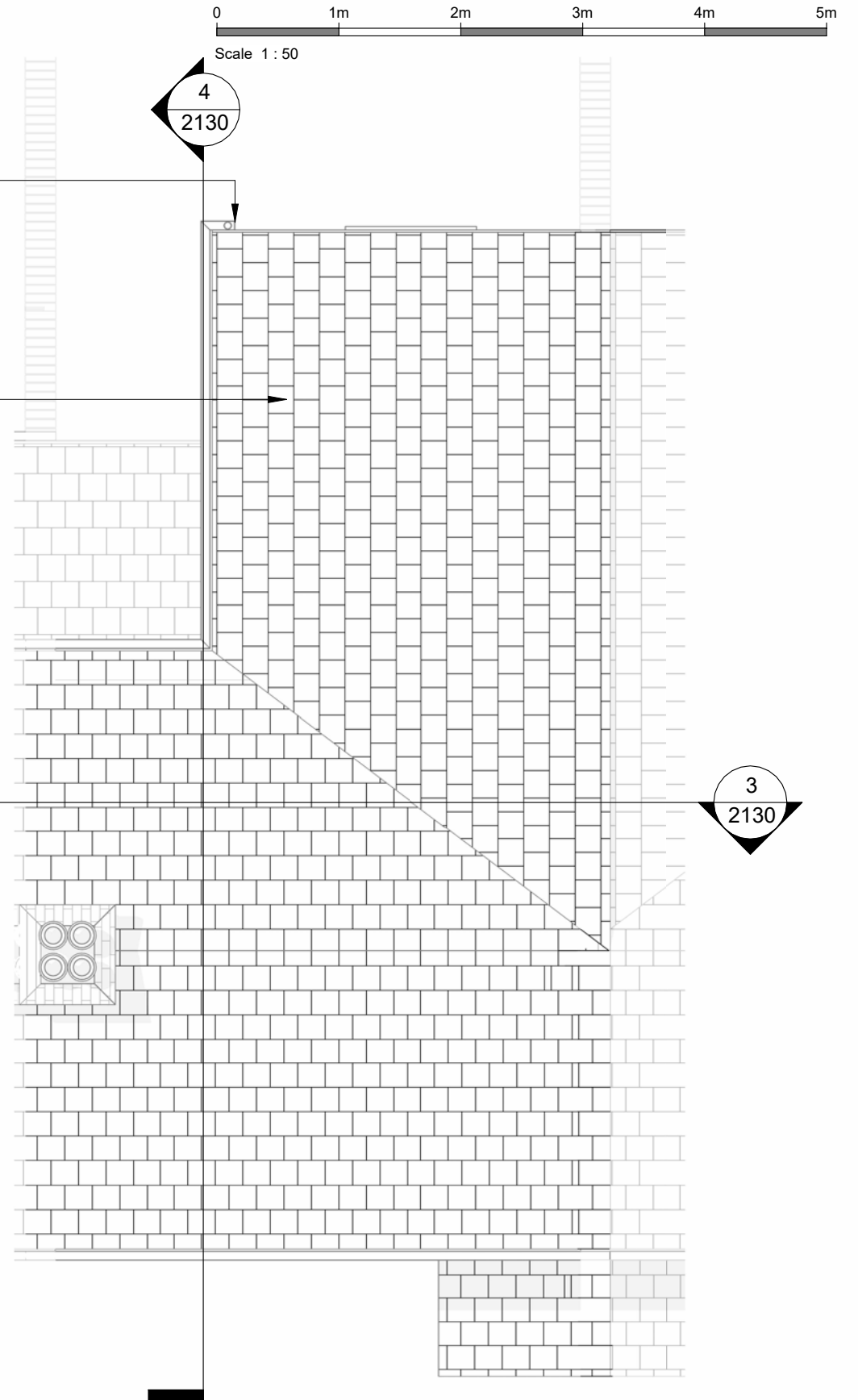
Where necessary to replace roof coverings, new slates are to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator

Loft hatch increased in size were necessary /desired. Maximum size 1200 x 700.

Existing rafters prevent safe access between loft space to 1970's extension and original cottage loft space.

New loft hatch with pull down ladder to be installed first floor ceiling. Refer to drawing 3020 for details.

Allow boarding out of loft space around new / enlarged hatches between existing purlins



2 Roof Plan as Proposed.  
1 : 50

**Notes:**  
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REV	DATE	BY	CHK	DESCRIPTION
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued For LBC
P02	17/03/2025	MP	JPH	For Client Review
P01	05/03/2025	AM	MP	For Client Review

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

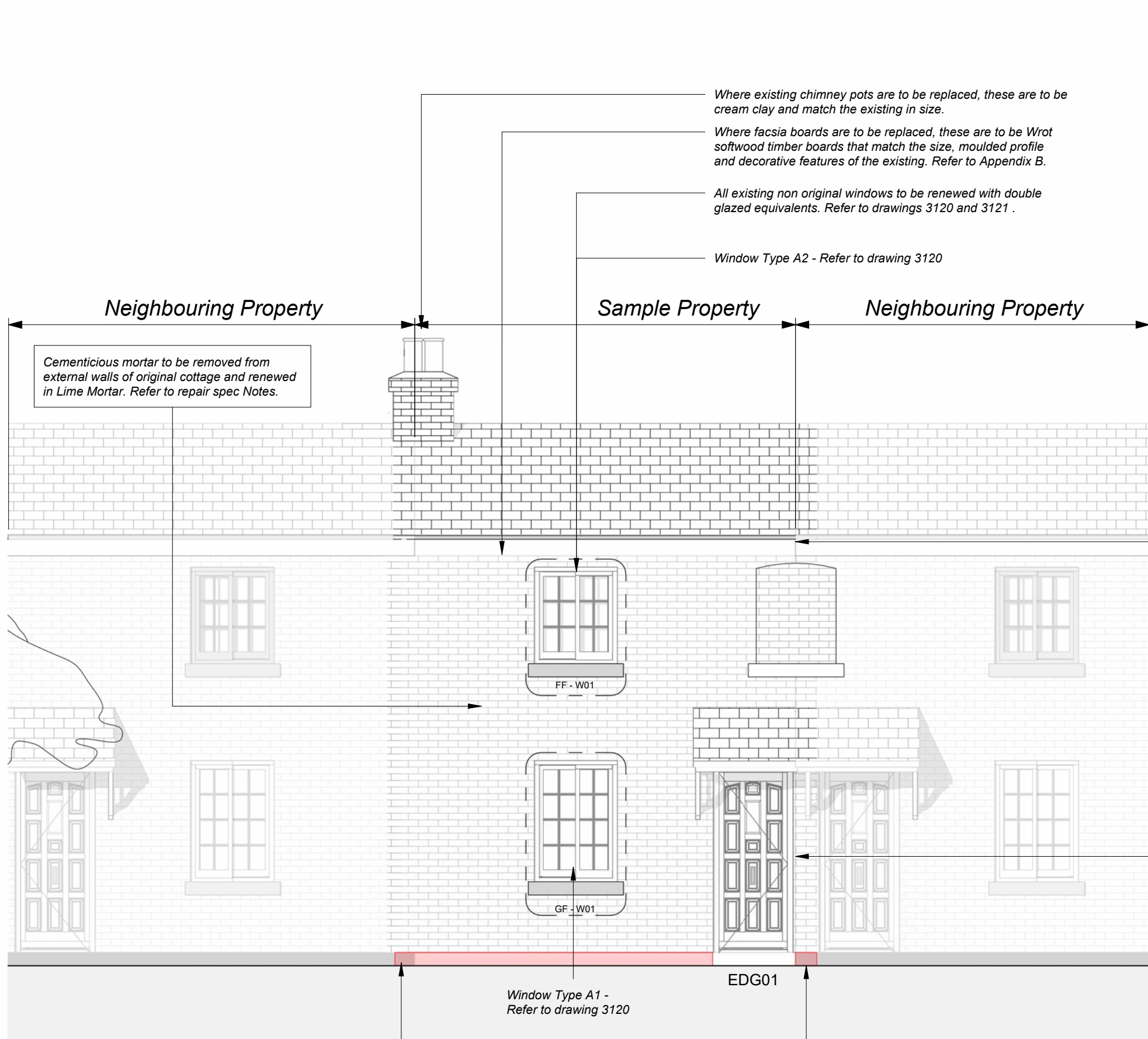
JOB NUMBER  
**243231**  
TITLE  
**Typical Betley Street Dwelling - Proposed Loft and Roof Plan**

SIZE SCALE  
A3L 1 : 50  
REV SUITABILITY/REASON FOR ISSUE  
**P04 S4 - For Approval/**  
DRAWING NUMBER  
**243231-PUR-03-ZZ-DR-A-2041**

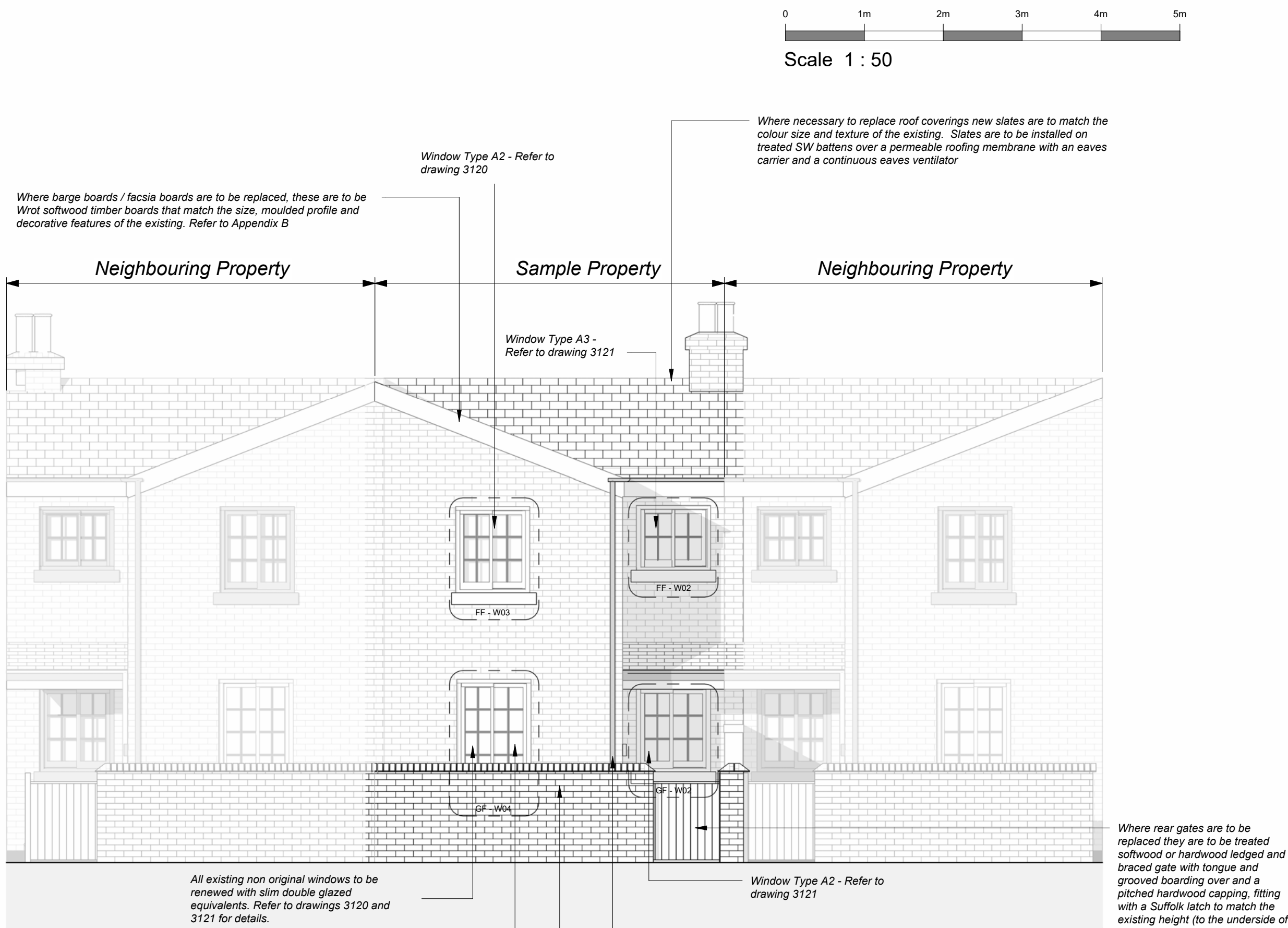
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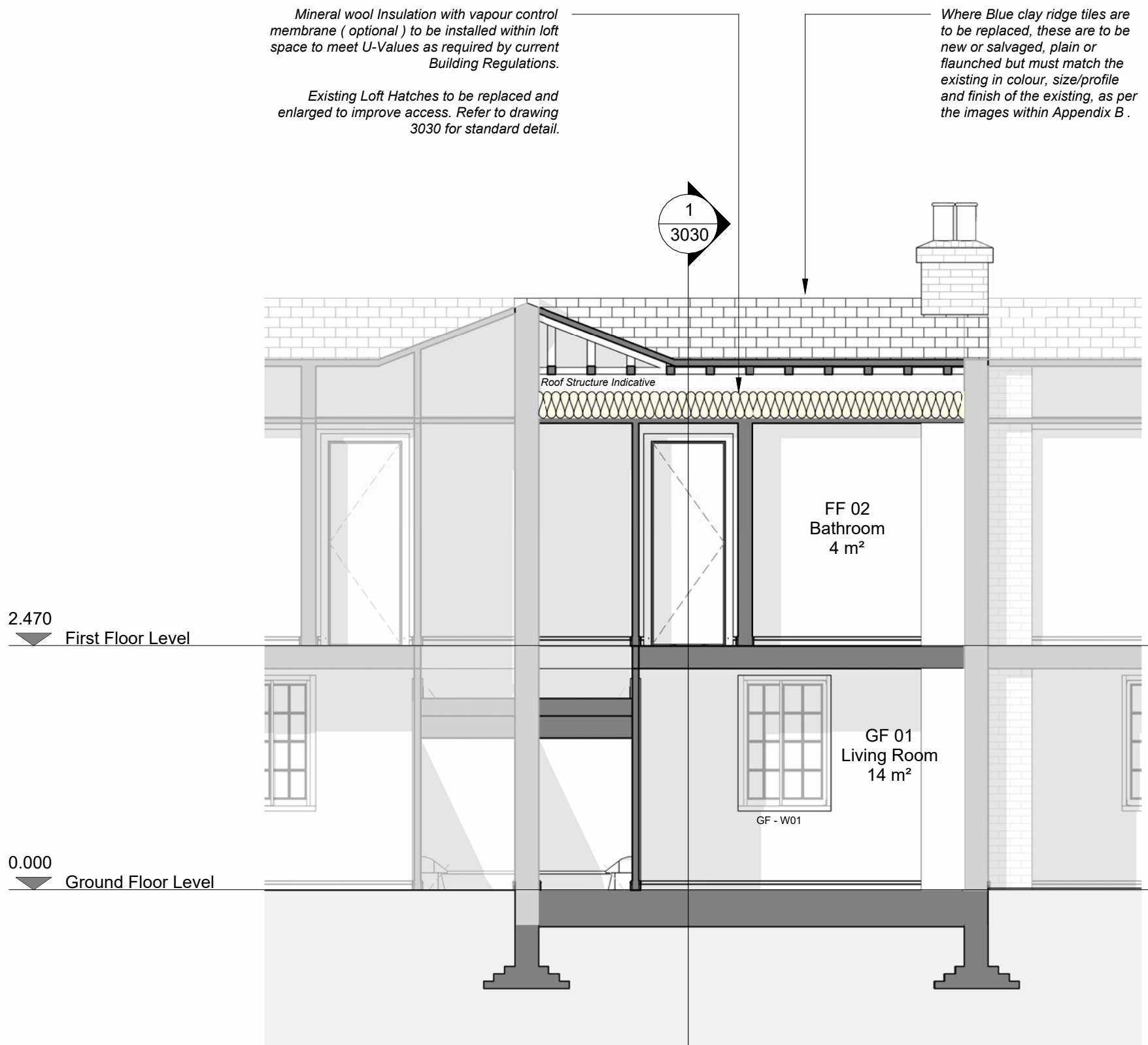




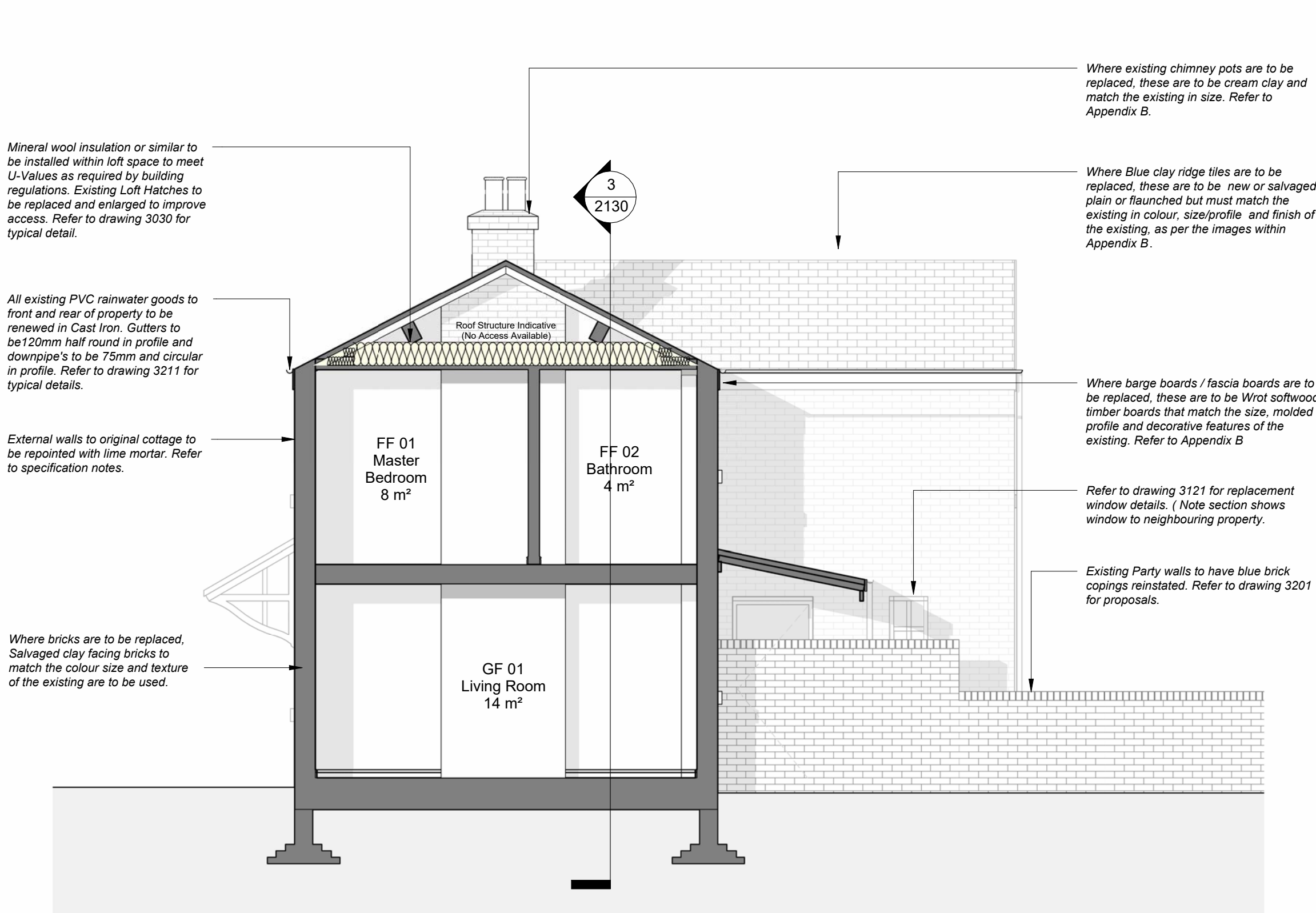
1 GA Principal Elevation as Proposed  
1 : 50



2 GA Rear Elevation as Proposed  
1 : 50



3 GA Section as Proposed  
1 : 50



4 GA Section as Proposed.  
1 : 50

0 1m 2m 3m 4m 5m  
Scale 1 : 50

#### Notes:

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#### Key Plan

not to scale

#### NOTES

##### Removal of cementitious pointing of brickwork with repointing with Lime Mortar

##### 1. Removal of existing cementitious mortar and cement patch repairs

Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arses and flush out with water. Remove cement pointing by using hand tools such as quirks or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.

Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.

Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.

##### 2. Repointing in Lime mortar

Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour; also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.

Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arrises or spread over any worn or rounded edges of the bricks or stone.

As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

##### 3. Lime Mortar Spec mix spec

##### 1. Mix:

- 1 part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- 1/2 part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

##### 2. Additives:

Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd

##### 4. Lime Mortar Spec mix Photo



P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued For LBC
P02	17/03/2025	MP	JPH	For Client Review
P01	05/03/2025	AM	MP	For Client Review
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes  
JOB NUMBER

243231

PURCELL

#### TITLE

Typical Betley Street Dwelling - Proposed Elevations and Sections

#### SIZE SCALE

A1L 1 : 50

#### REV SUITABILITY/REASON FOR ISSUE

P04 S4 - For Approval

#### DRAWING NUMBER

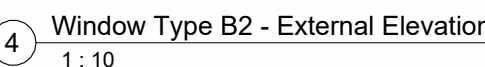
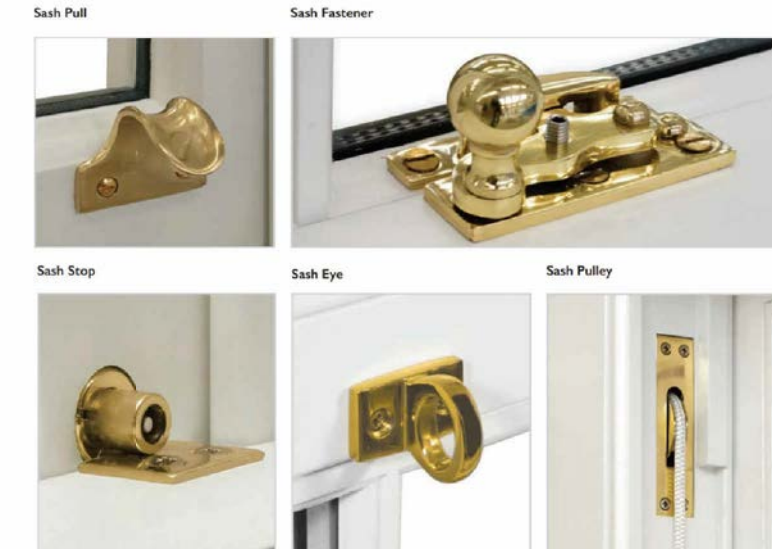
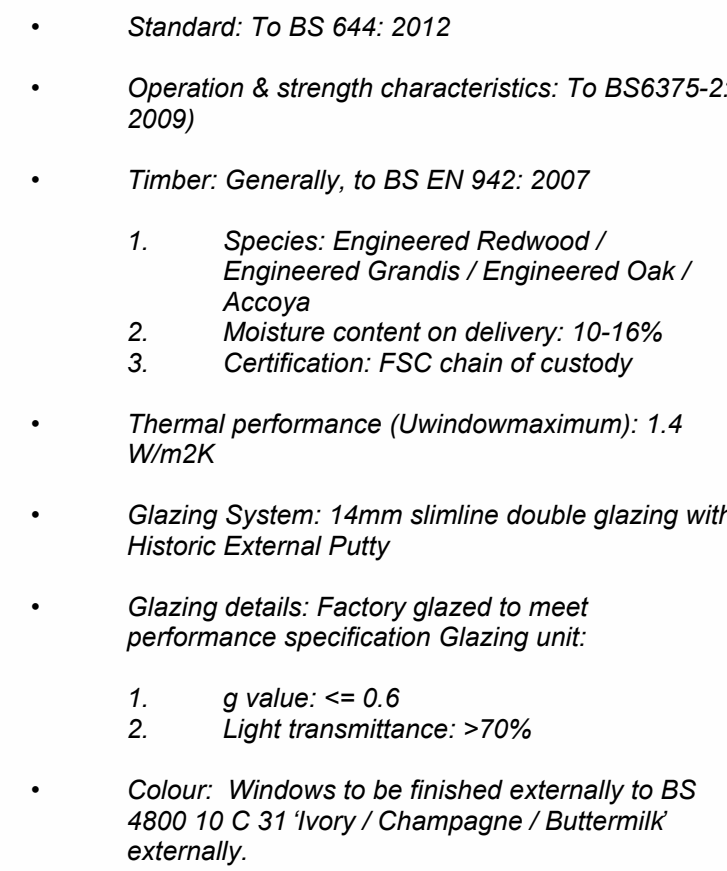
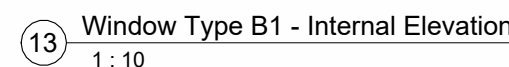
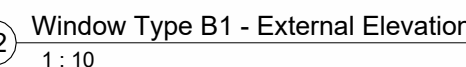
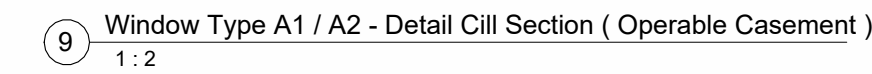
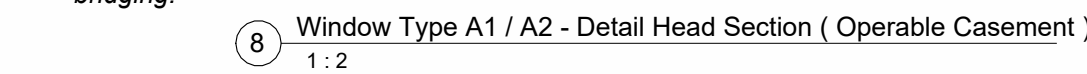
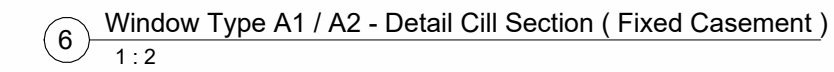
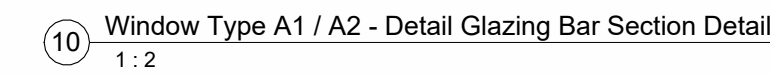
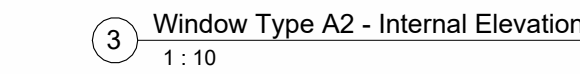
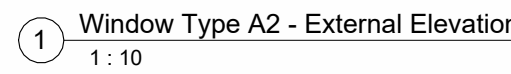
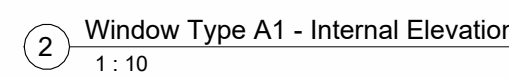
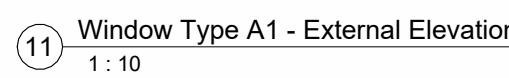
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P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

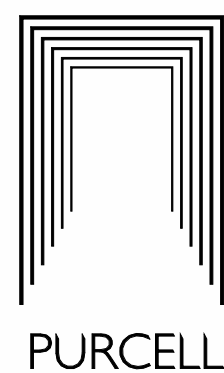
CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy  
Homes**

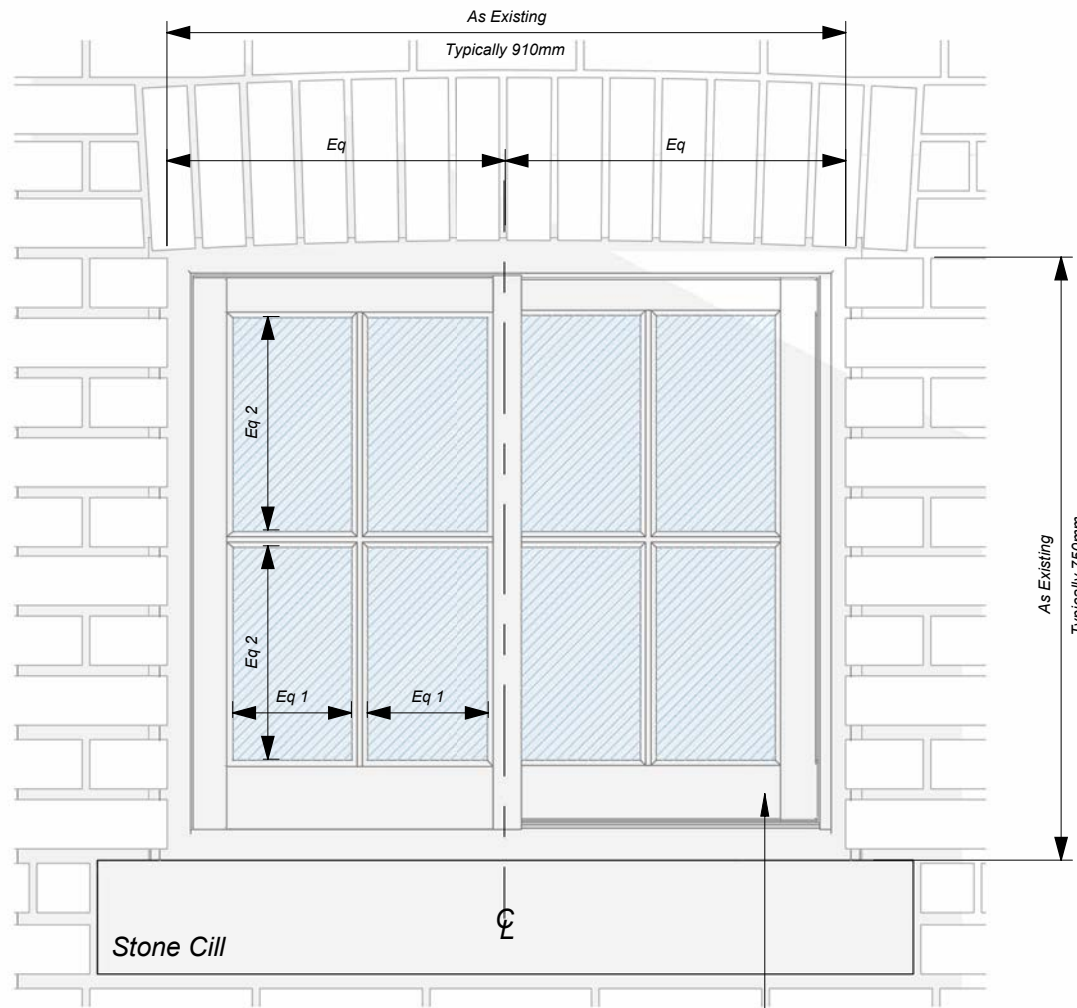
JOB NUMBER  
**243231**

TITLE  
**Dorfold / Betley / Tollitt Street - Window  
Details as Proposed**

SIZE	SCALE
A1L	As indicated
REV	SUITABILITY/REASON FOR ISSUE
<b>P07</b>	<b>S3 - For Review &amp; Comment</b>
DRAWING NUMBER	
<b>243231-PUR-02-ZZ-DR-A-3120</b>	

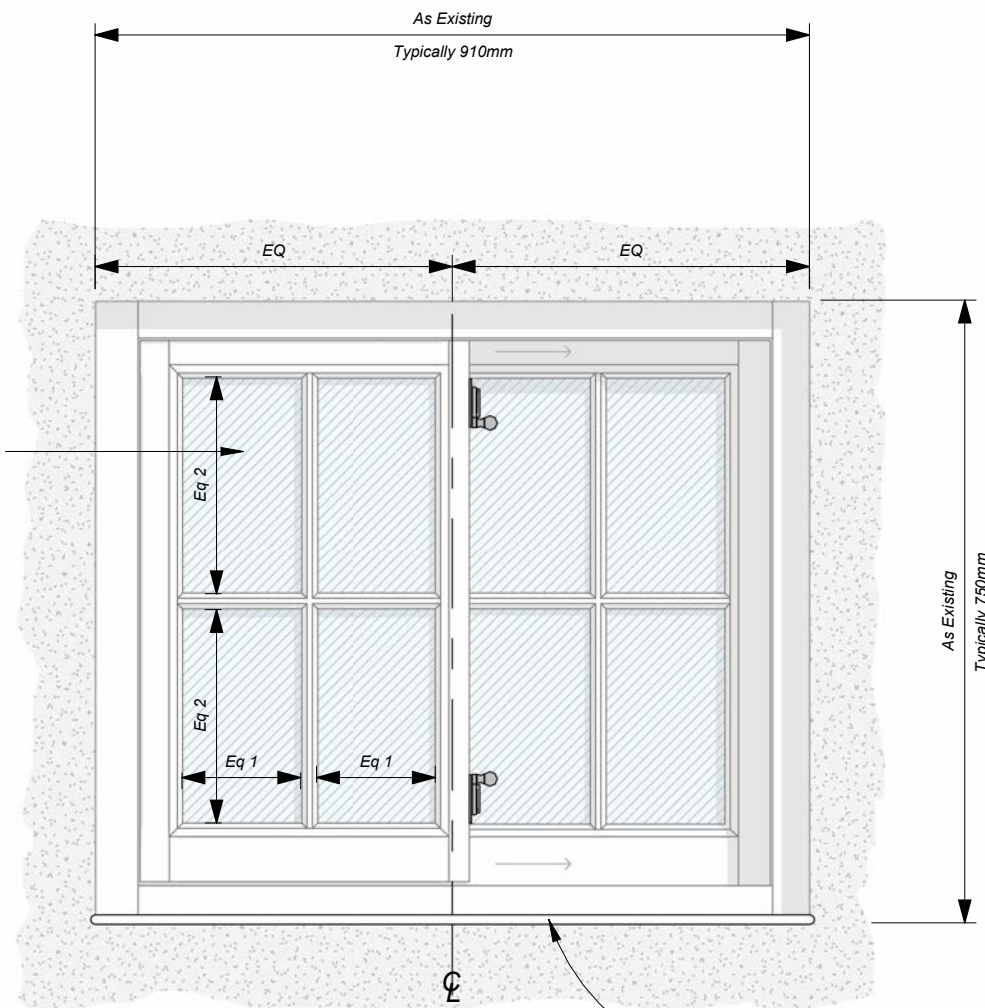






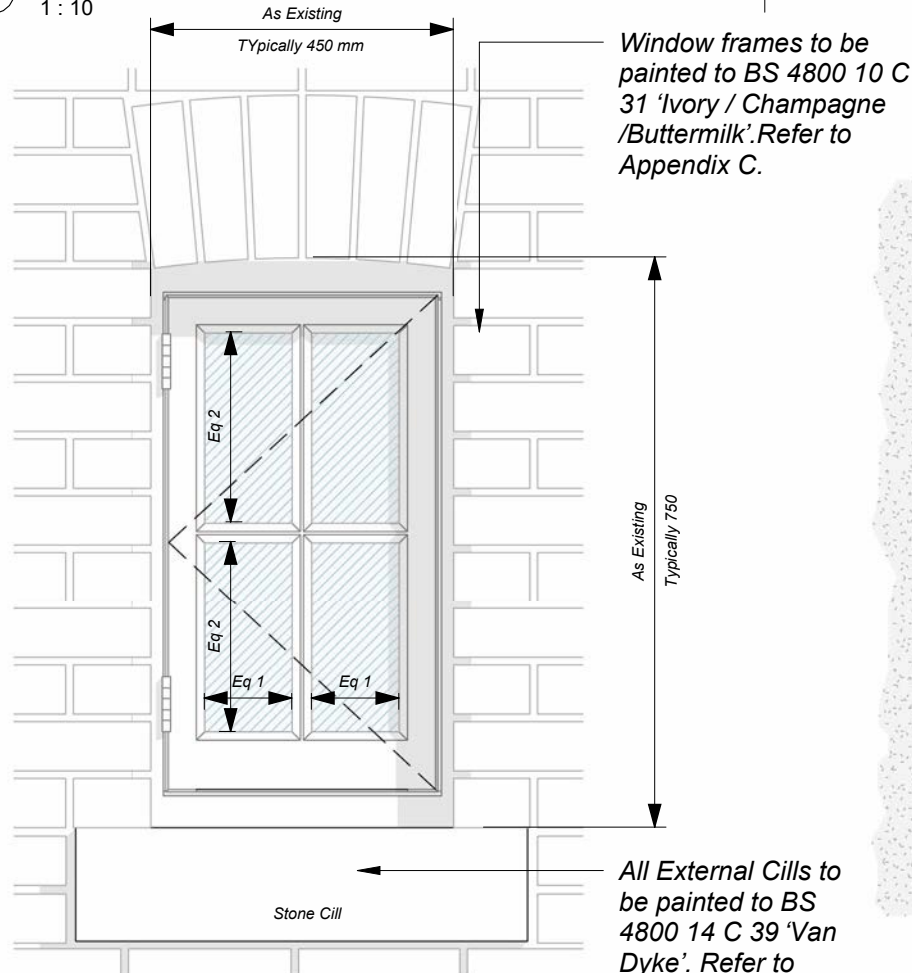
14 mm slim doubled glazed Low E Sealed unit (4mm/6mm Warm Edge Spacer/4mm) krypton filled cavity.

Standard Warm Edge Spacer.  
Overall Window U-Value to be achieve 1.4 W/m2.K



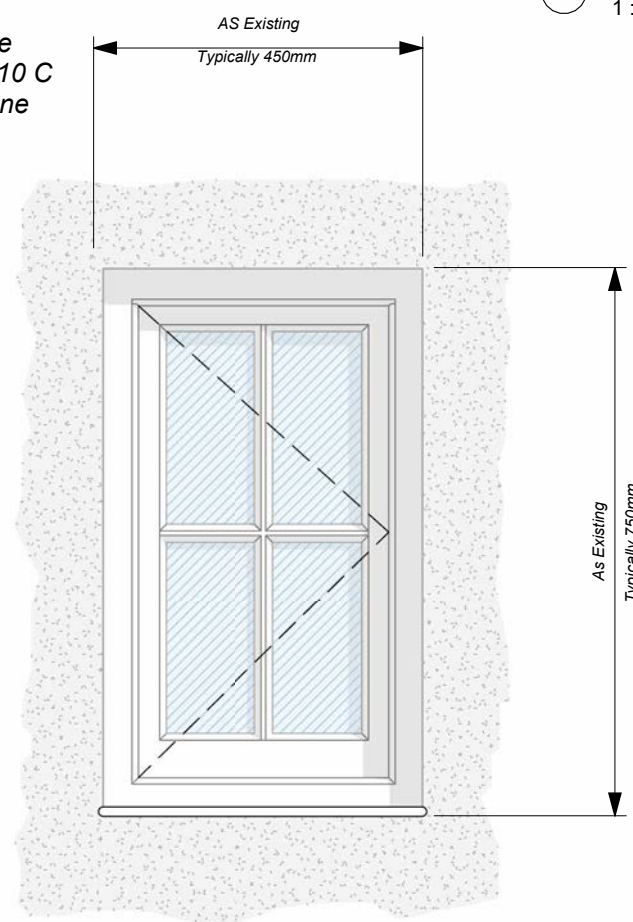
1 Window Type A3 External Elevation  
1 : 10

2 Window Type A3 Internal Elevation  
1 : 10



All External Cills to be painted to BS 4800 14 C 39 'Van Dyke'. Refer to Appendix C.

3 Window Type B3 - External Elevation  
1 : 10



4 Window Type B3 - Internal Elevation  
1 : 10

#### L10 - External Window Specification

- Standard: To BS 644: 2012
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance ( $U_{windowmax}$ ): 1.4 W/m2K
- Glazing System: 14mm slimline double glazing with Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - $g$  value:  $\leq 0.6$
  - Light transmittance:  $>70\%$

Colour: Windows to be finished externally in colour BS 4800 10 C 31 'Ivory / Champagne / Buttermilk'.

**REFER TO DRAWING 243231-PUR-02-ZZ-DR-A-3120 FOR IMAGES RELATING TO IRONMONGERY DESIGN INTENT**

#### Notes:

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Key Plan  
not to scale

#### NOTES:

For typical section details through windows refer to drawing 3120.

For window locations refer to drawings 2040, 2041, & 2042

Cill / reveal boards to be renewed where required and redecorated.

P05	16/05/2025	MP	JPH	Paint Colours Amended
P04	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P03	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P02	24/03/2025	MP	JPH	Issued For LBC
P01	17/03/2025	MP	JPH	For Client Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT	Cheshire East Council
PROJECT	CEF Crewe, Warm & Healthy Homes
JOB NUMBER	243231

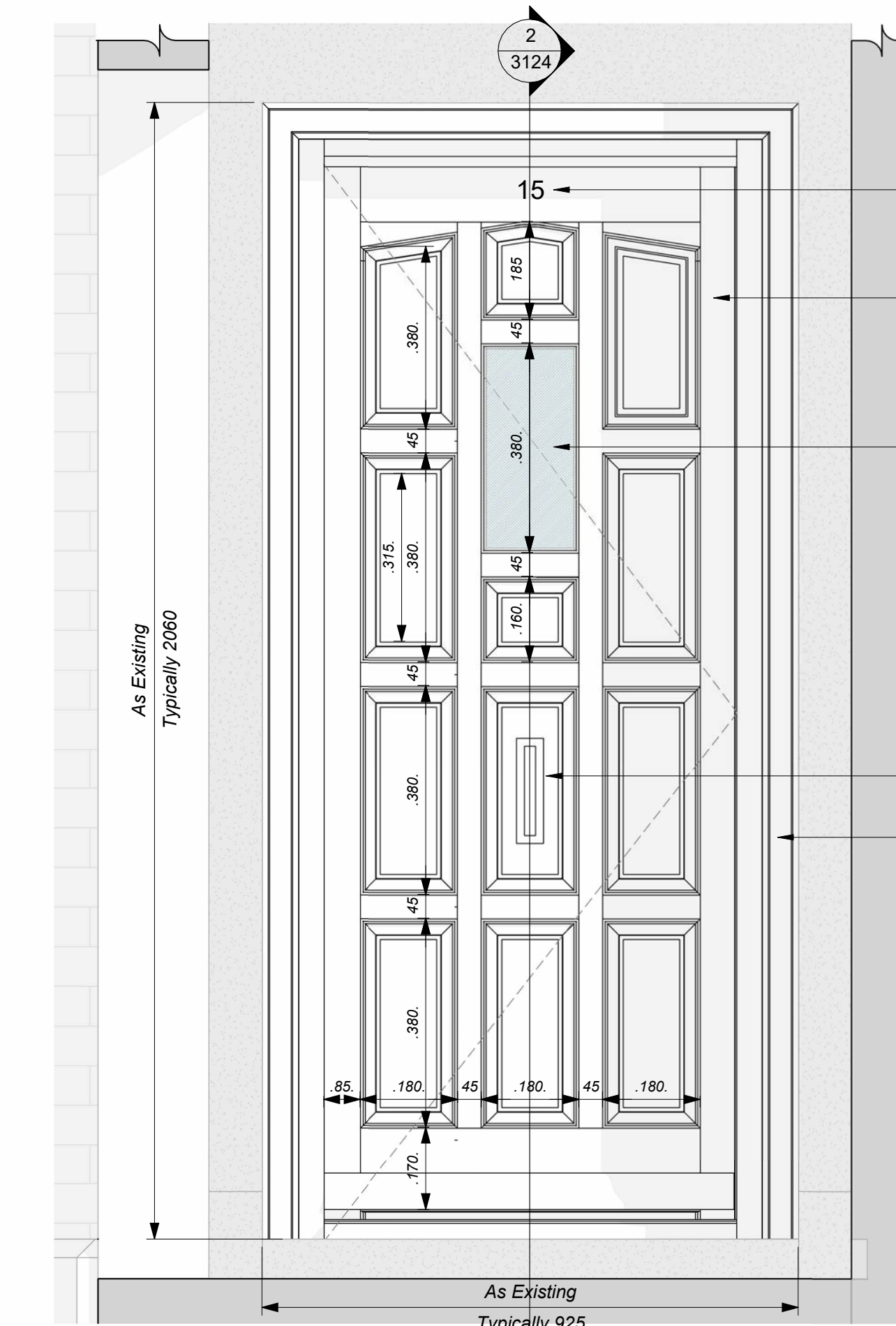


TITLE	Betley Street - Window Details as Proposed - DESIGN INTENT
-------	--

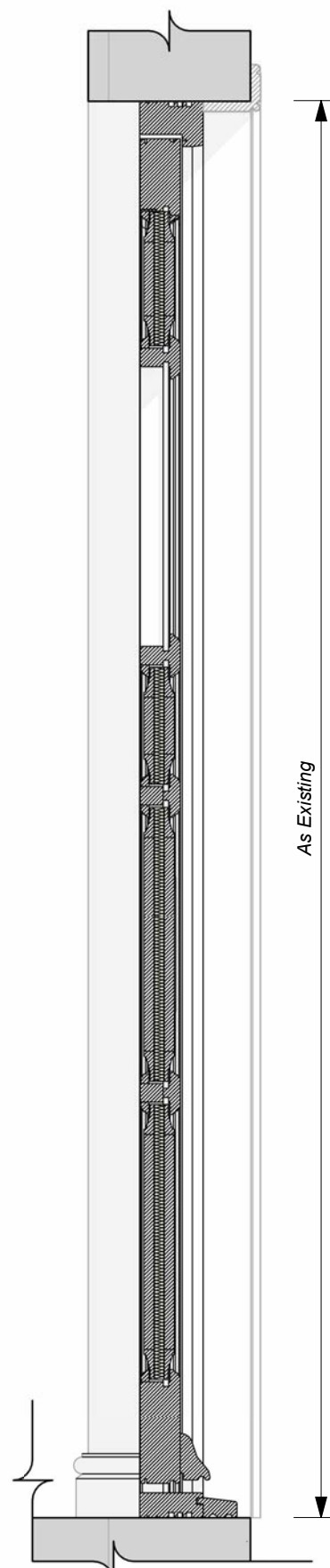
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REV	SUITABILITY/REASON FOR ISSUE
P05	S3 - For Review & Comment/
DRAWING NUMBER	243231-PUR-03-ZZ-DR-A-3121

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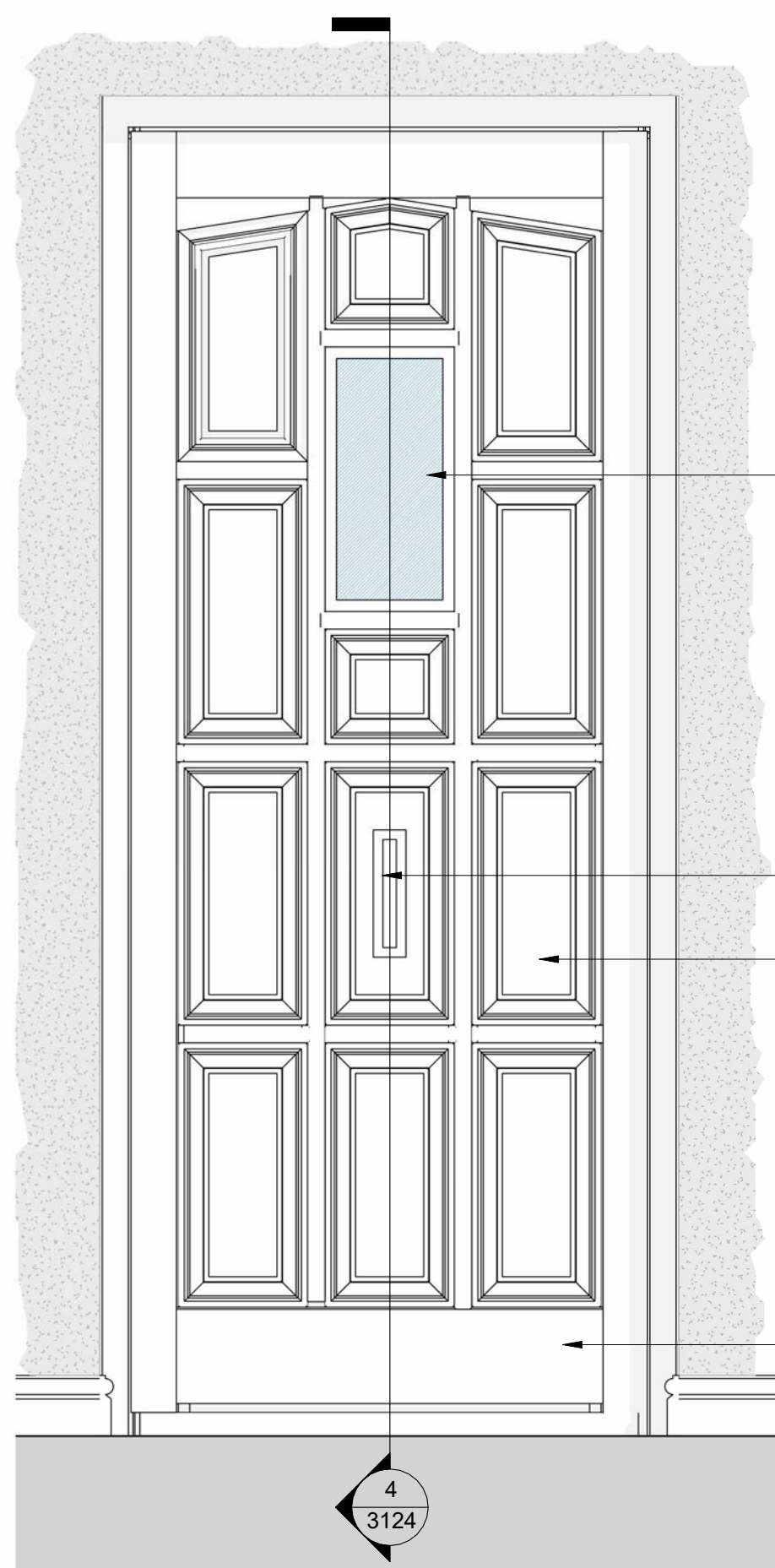




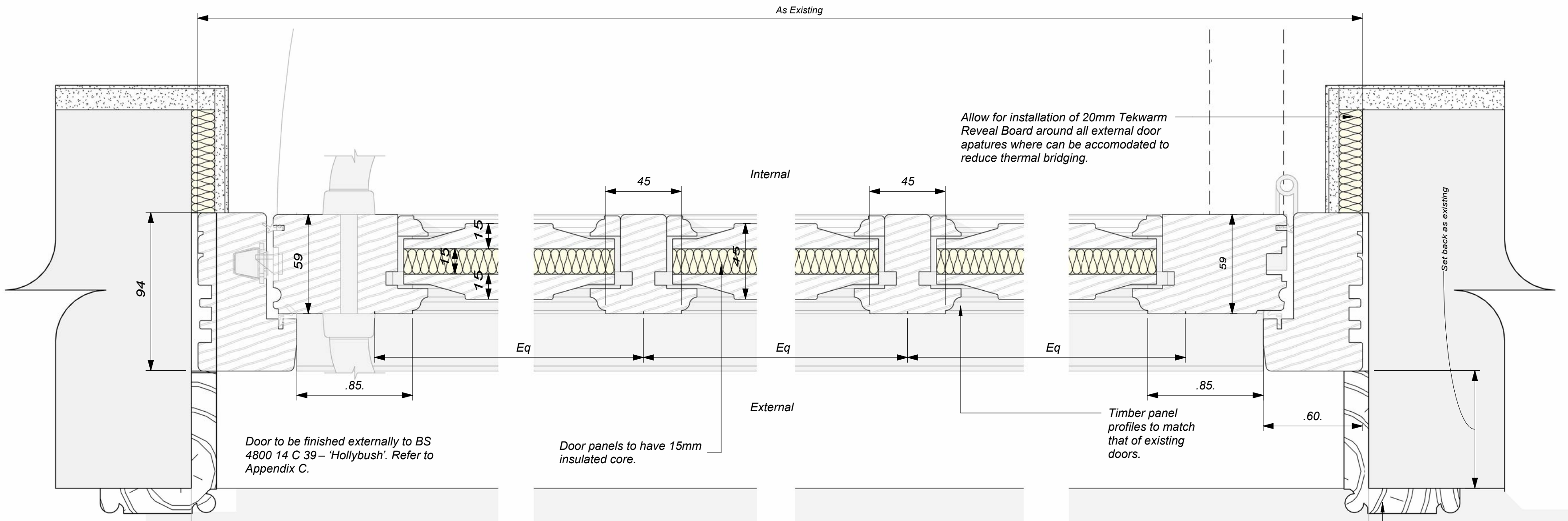
1 External Door Type A as Proposed - External Elevation  
1 : 10



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10



6 External Door Type A as Proposed - Plan Detail  
1 : 2

Allow for installation of 20mm Tekwarm  
Reveal Board around all external door  
apatures where can be accomodated to  
reduce thermal bridging.

Existing external Architrave profile  
to be retained and redecorated.

Allow for making good of reveals  
following installation of new door  
and reveal boards.

Door to be finished externally in BS  
4800 14 C 39 - 'Hollybush'  
Refer to Appendix C.

Slim Double glazed vision  
panel.

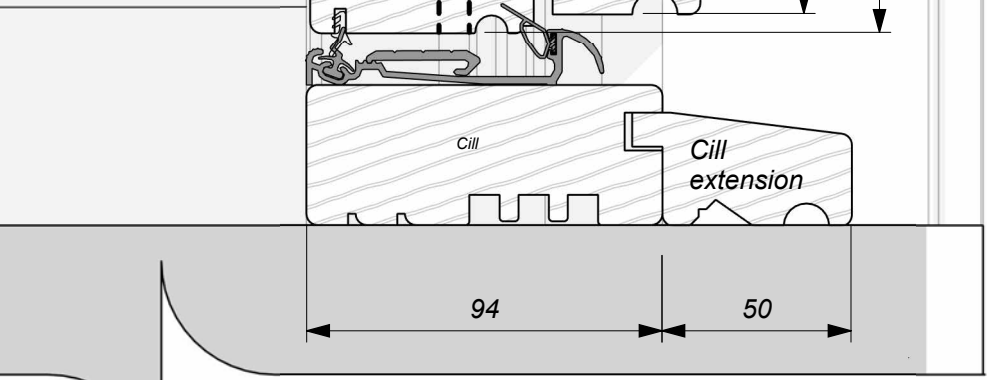
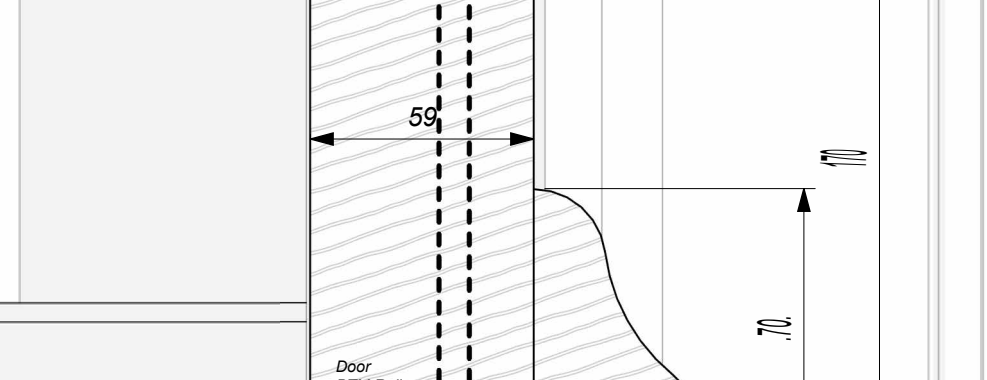
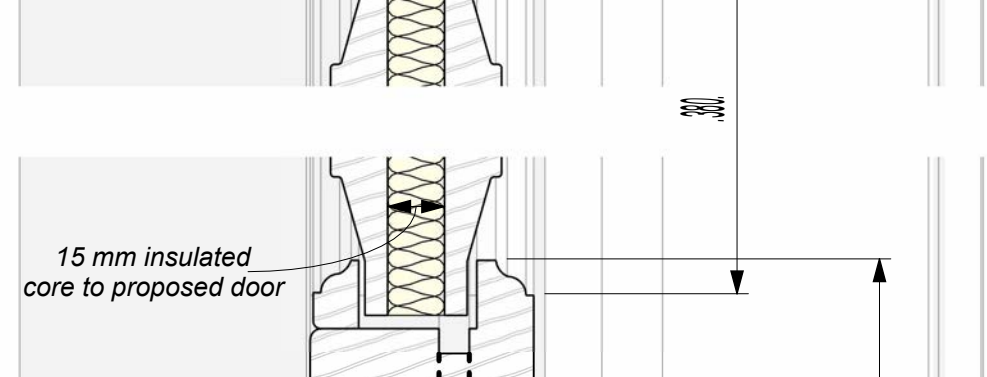
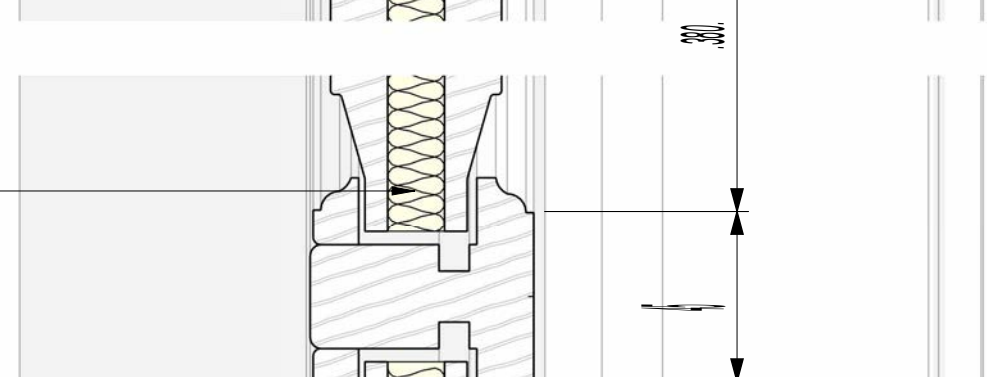
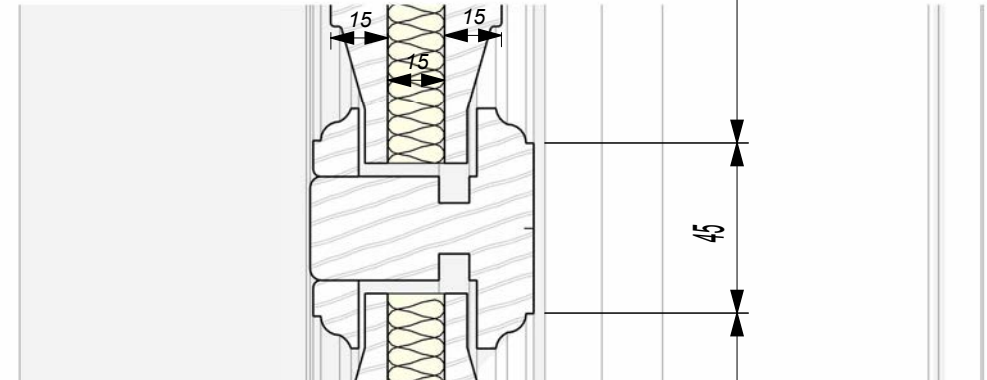
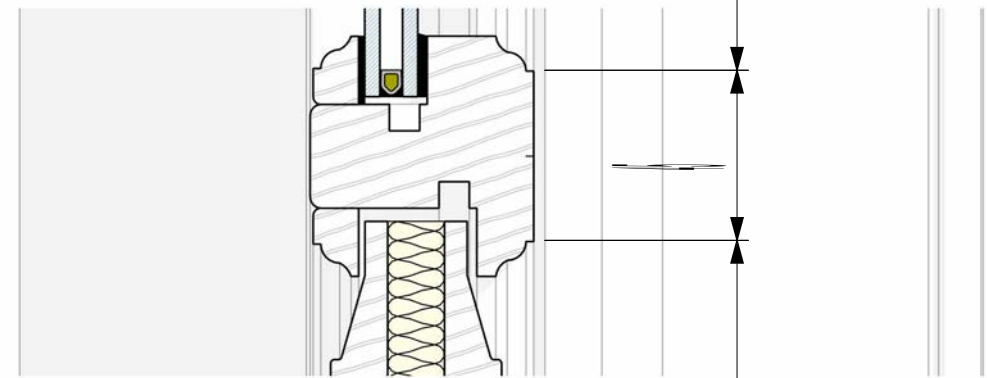
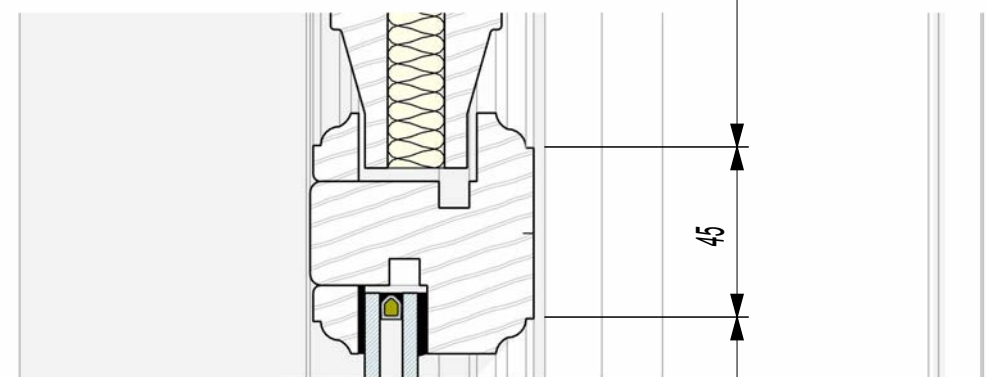
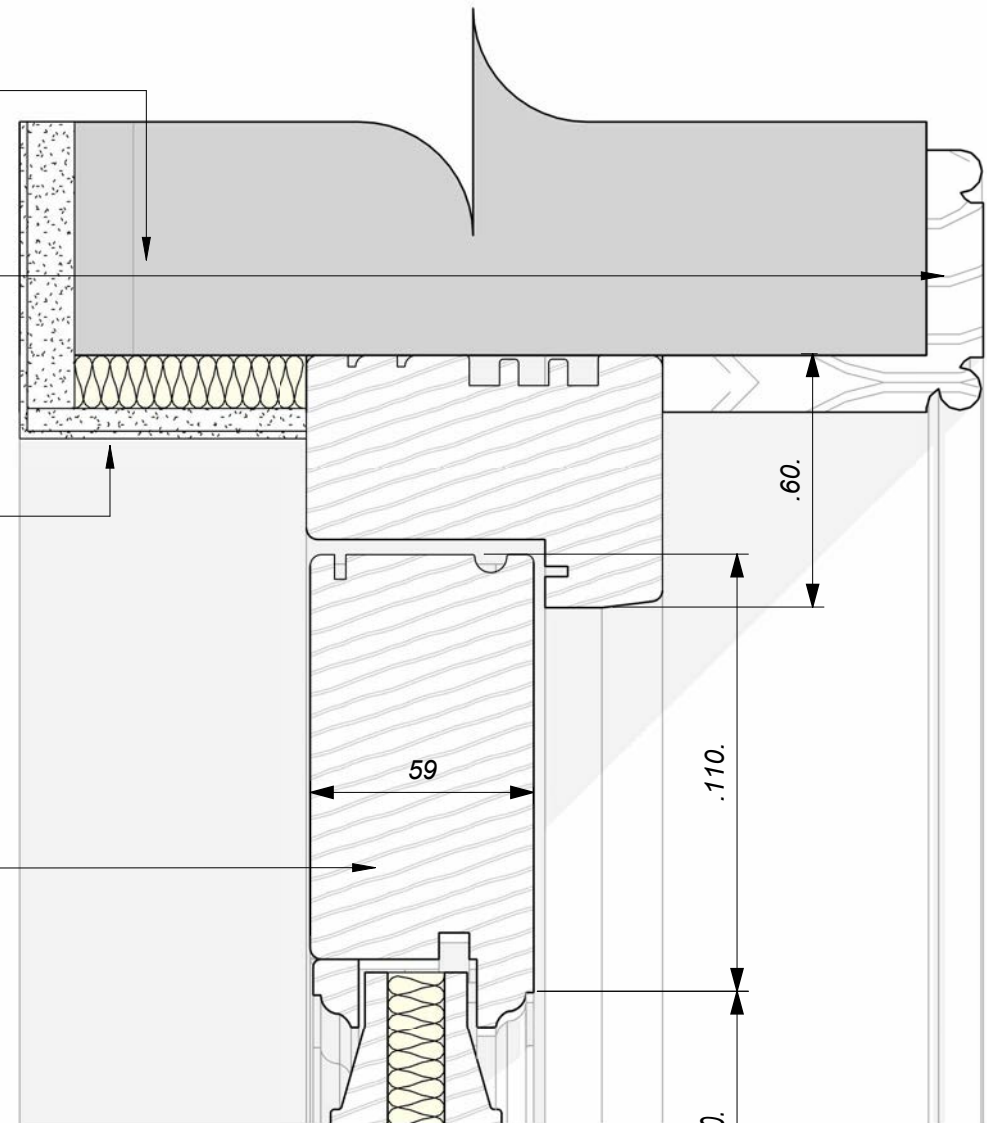
Letter box

General setting out of door  
arrangement to match  
existing.

Overall U-Value of door to  
achieve between 1.4  
W/m²K minimum.

Door panels to have 15mm  
insulated core (Optional).

Existing external Architrave  
profile to be retained and  
redecorated.



#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Colour: Door to be finished externally to BS 4800 14 C 39- 'Hollybush'
- Door to achieve PAS24 / secure by Design

#### Ironmongery Design Intent:



P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

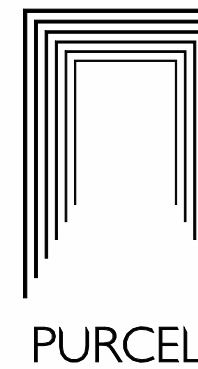
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy  
Homes

JOB NUMBER

243231



#### TITLE

Dorford / Betley / Tollitt Street - External  
Door Type A as Proposed - DESIGN  
INTENT

#### SIZE

A1L As indicated

#### REV

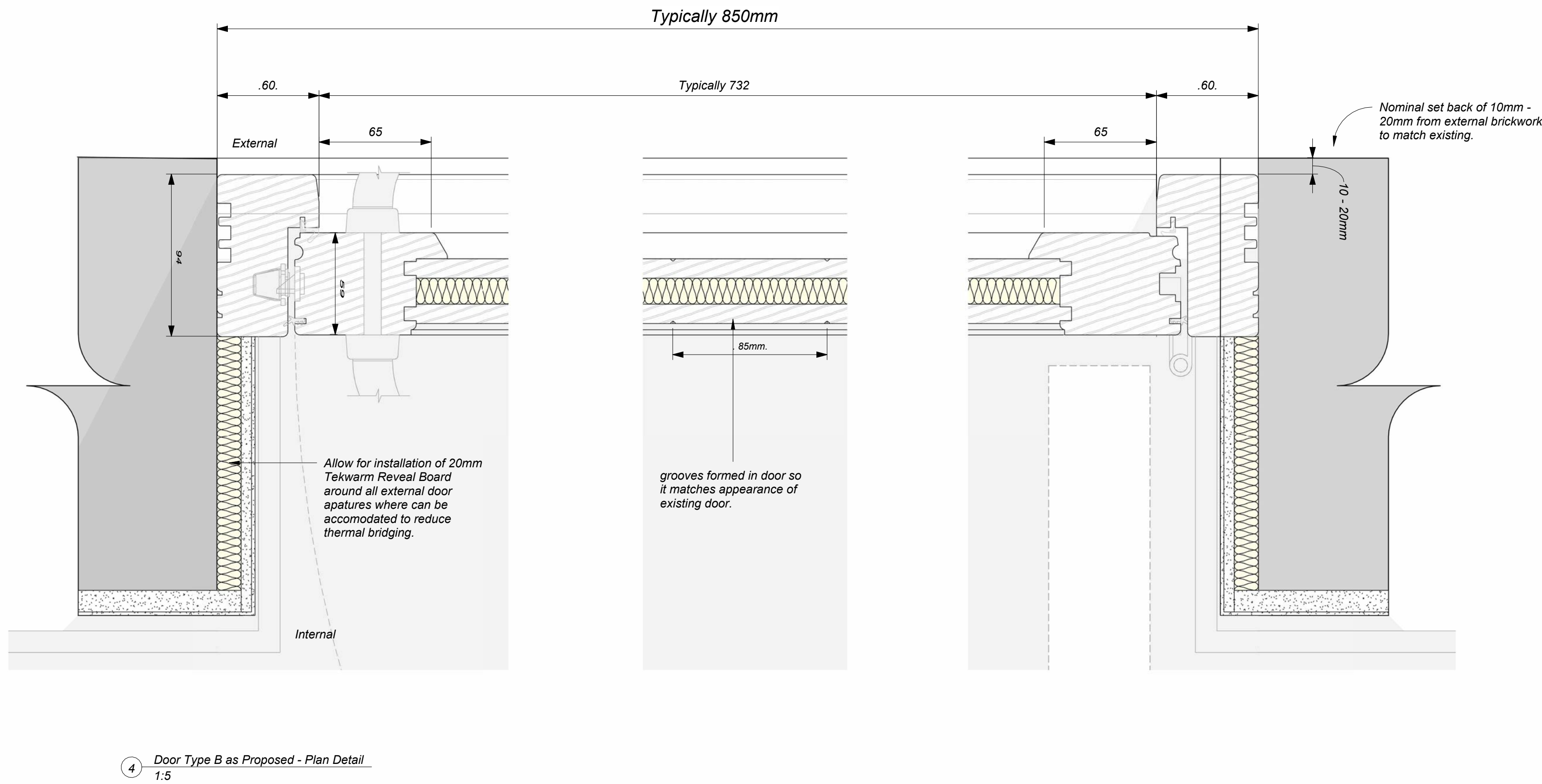
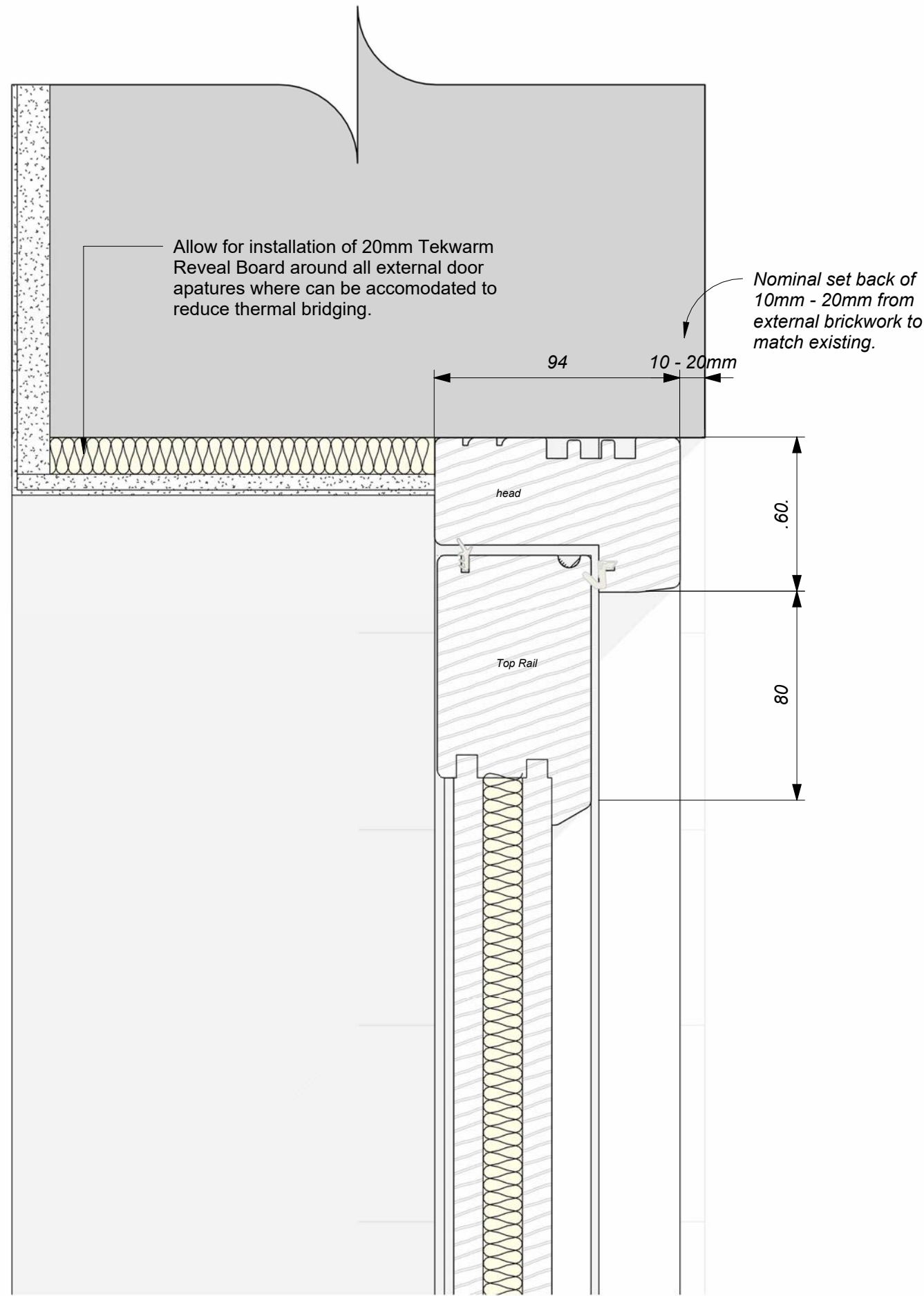
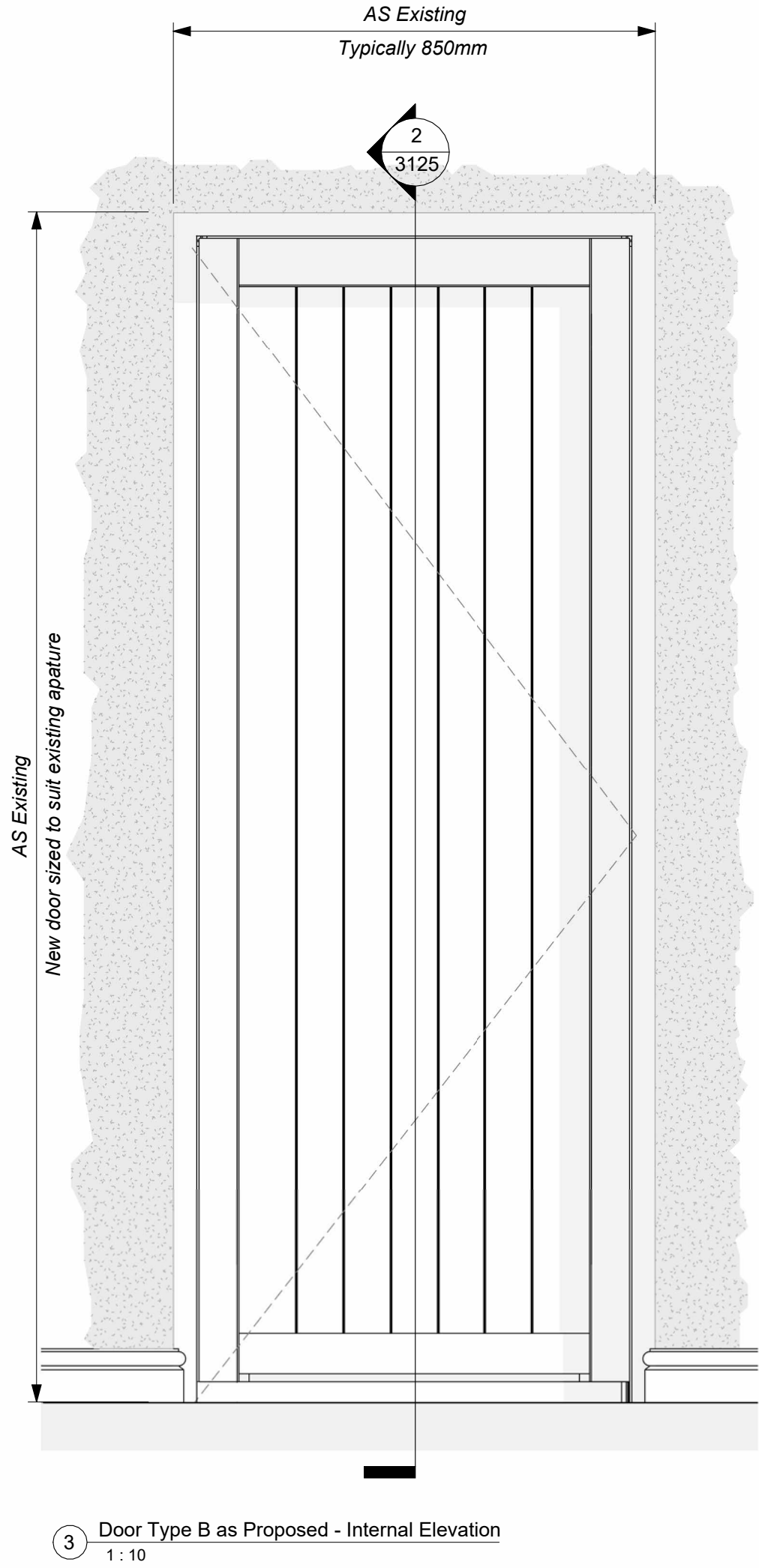
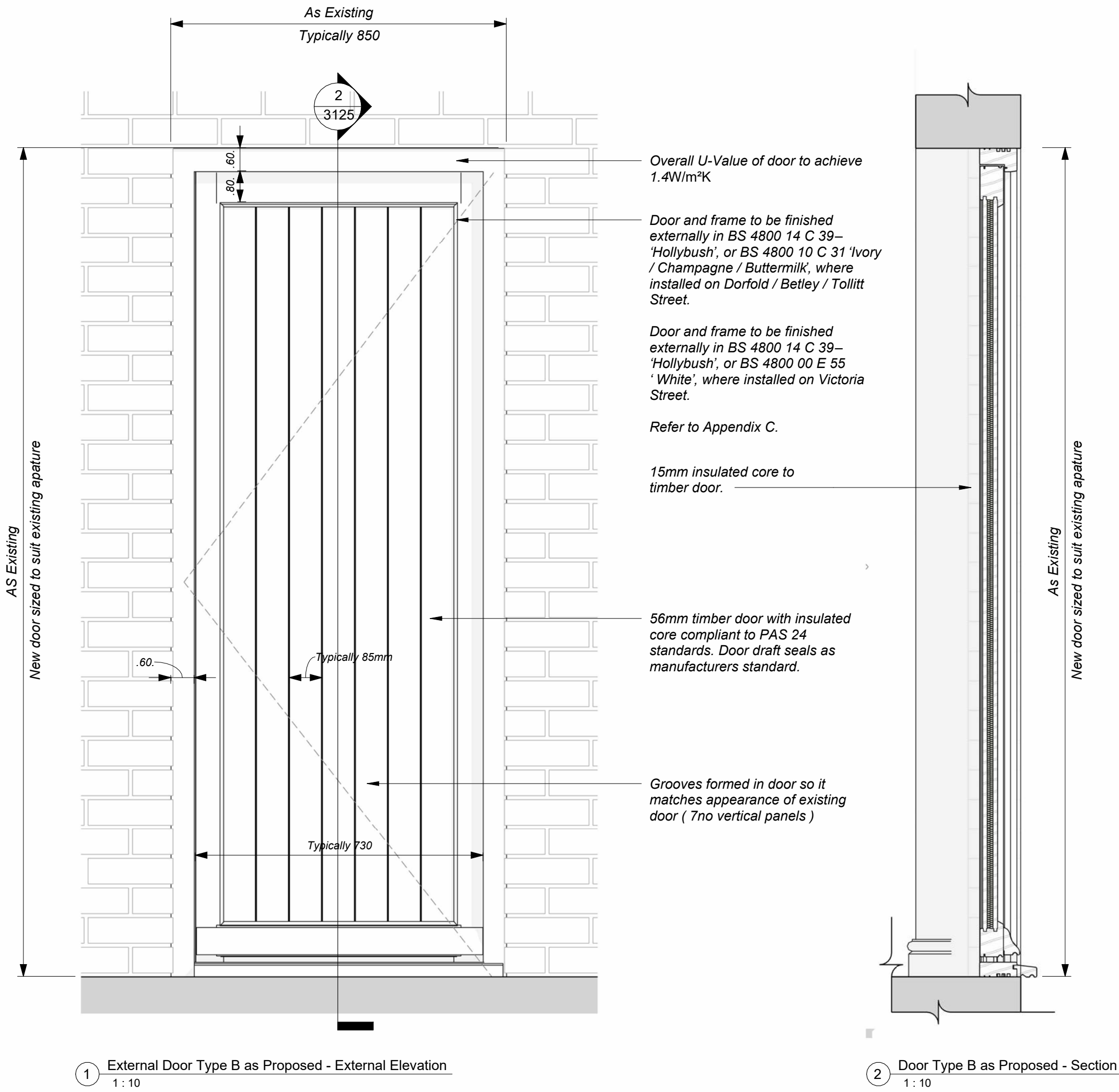
SUITABILITY/REASON FOR ISSUE  
P07 S3 - For Review & Comment

#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3124

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Udoormaximum): 1.4 W/m²K
  - 15mm insulated core to door
- Acoustic performance: 38 dB
- Security: Certified to PAS 24 and Secured by Design
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.

#### Ironmongery Design Intent:



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

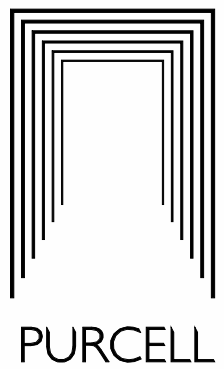
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT

#### SIZE

A1L

#### SCALE

As indicated

#### REV

SUITABILITY/REASON FOR ISSUE  
P06 S3 - For Review & Comment

#### DRAWING NUMBER

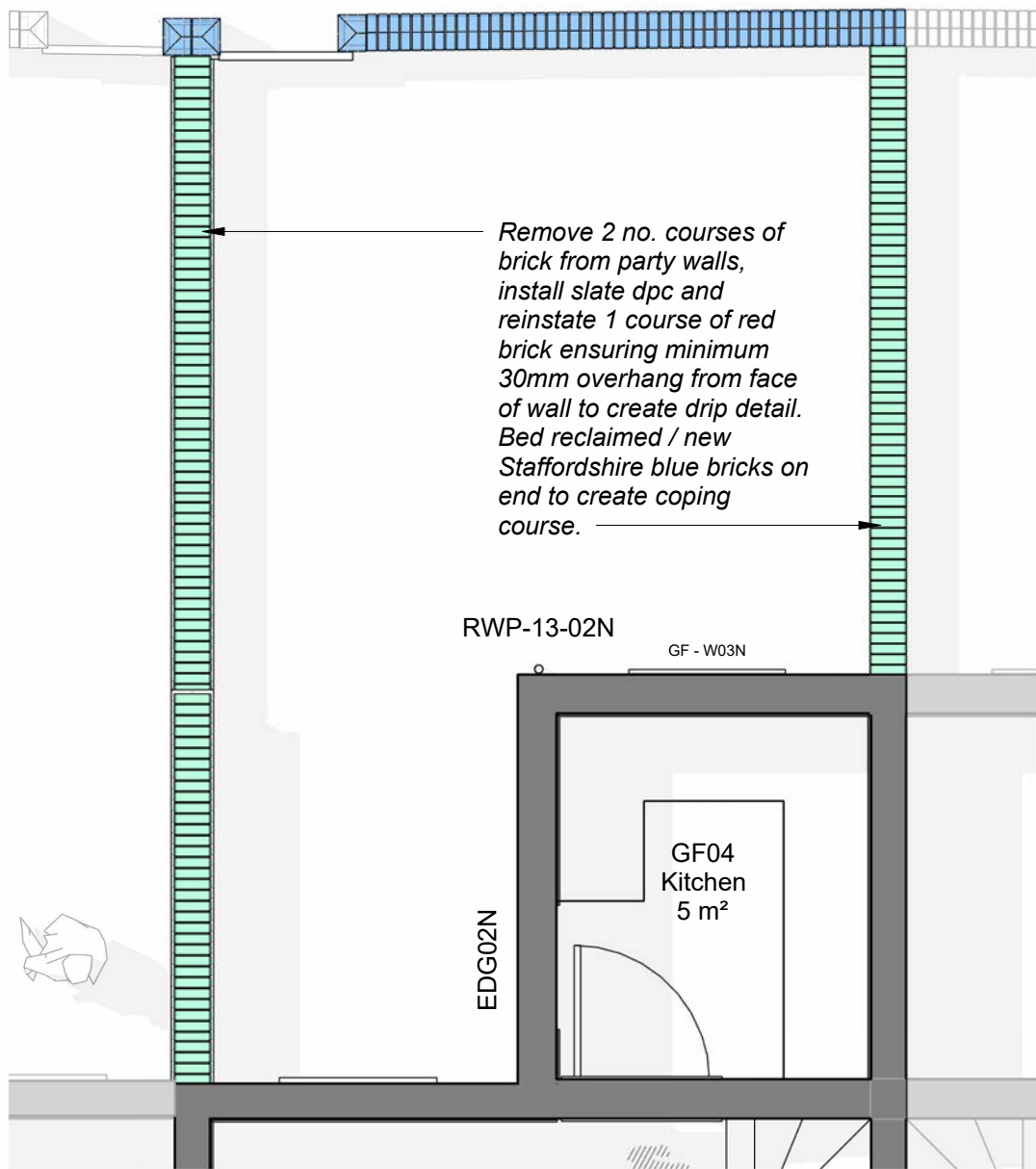
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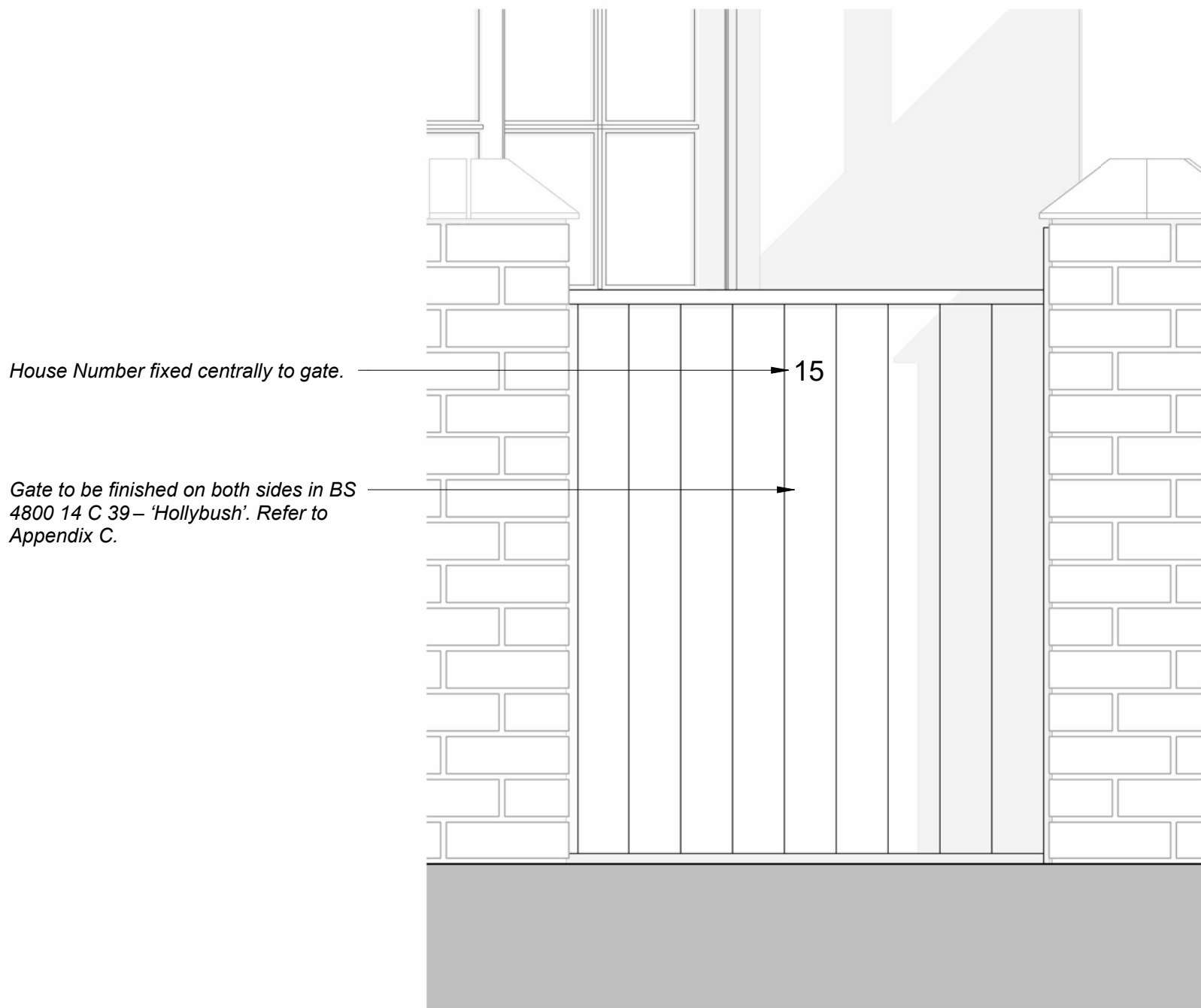




1 Typical Rear Elevation as Proposed  
1 : 50



2 Typical Back Yard Plan as Proposed  
1 : 50



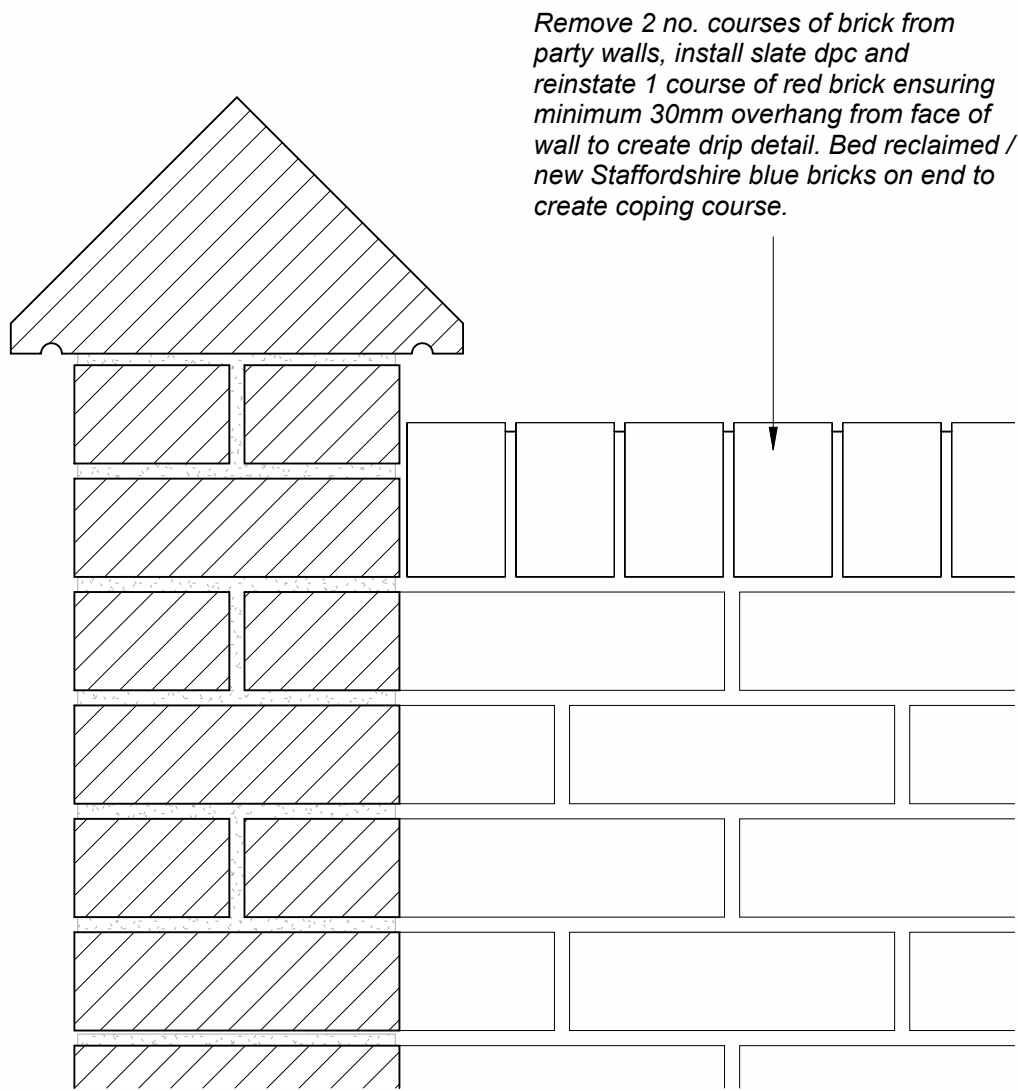
6 Rear Gate - Front Elevation  
1 : 10



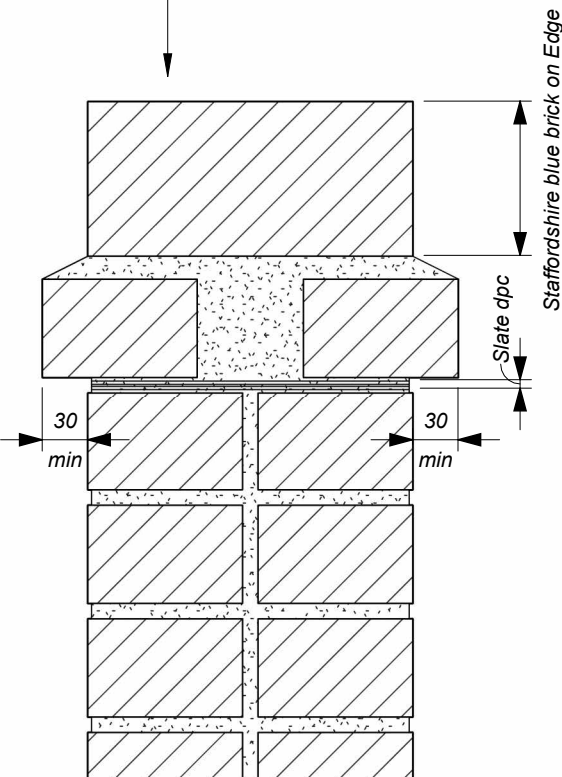
4 Typical Coping Detail to party walls  
NTS



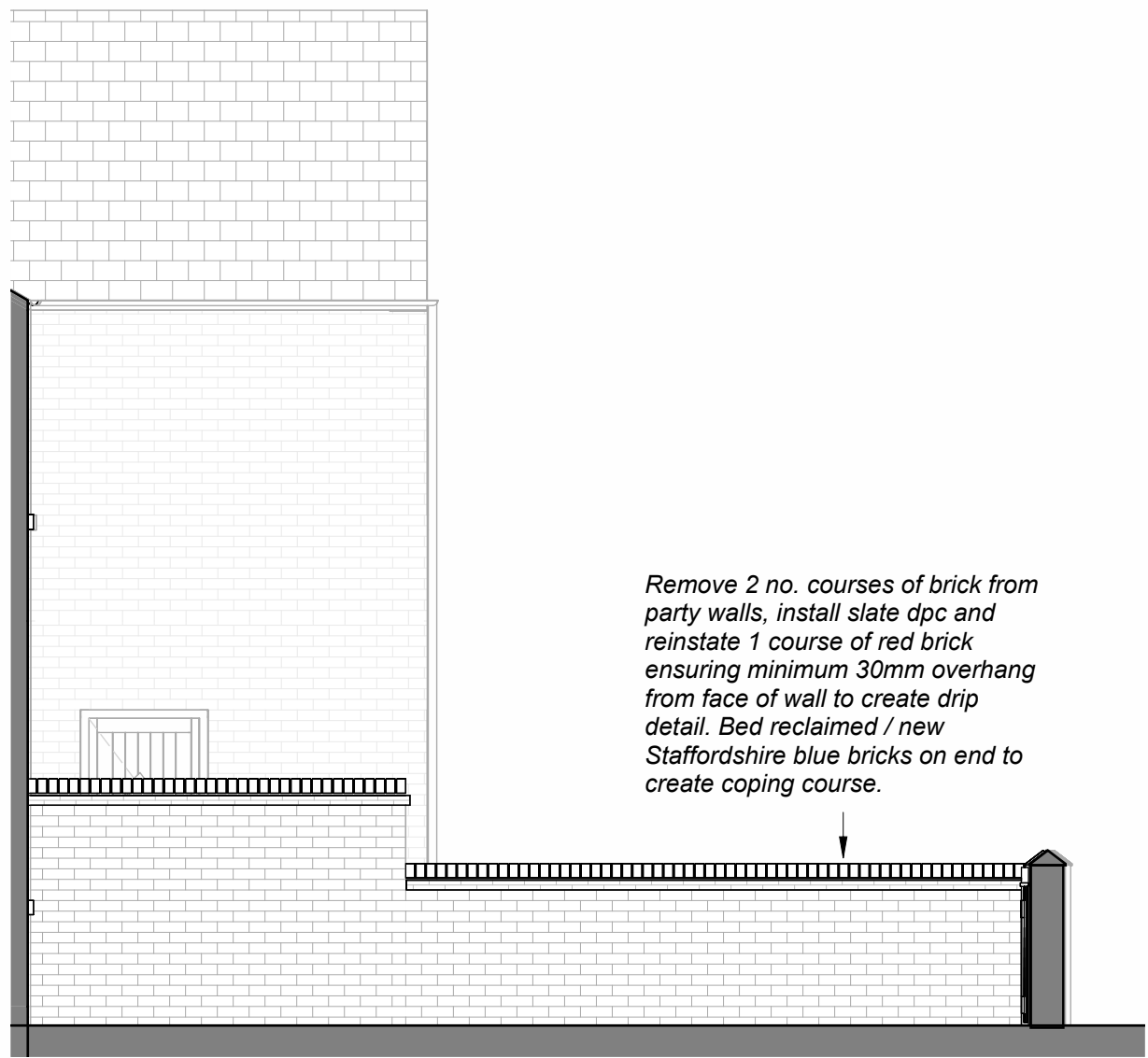
4 Typical Coping Detail to Rear / Side Boundary walls  
NTS



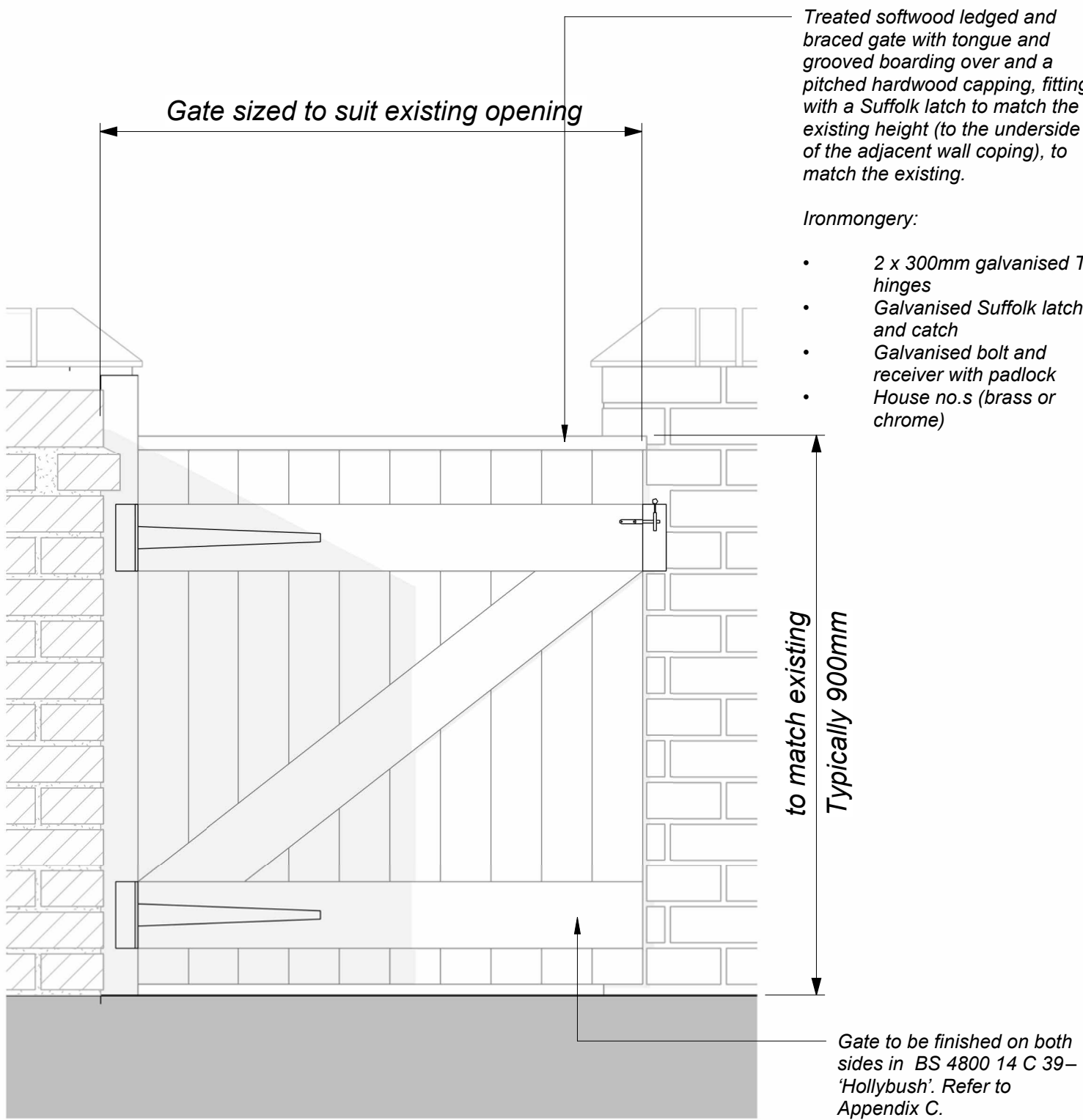
5 Boundary to Party Wall Connection Detail  
1 : 5



8 Section Through Party Wall as Proposed  
1 : 5



4 Party Wall Elevation as Proposed  
1 : 50



7 Rear Gate - Rear Elevation  
1 : 10

Notes:

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P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

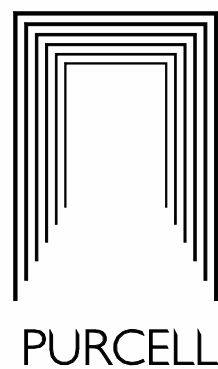
JOB NUMBER  
**243231**  
TITLE  
**Dorfold / Betley / Tollitt - Brick Copings Details to Boundary & Part Walls**

SIZE SCALE  
A1L As indicated

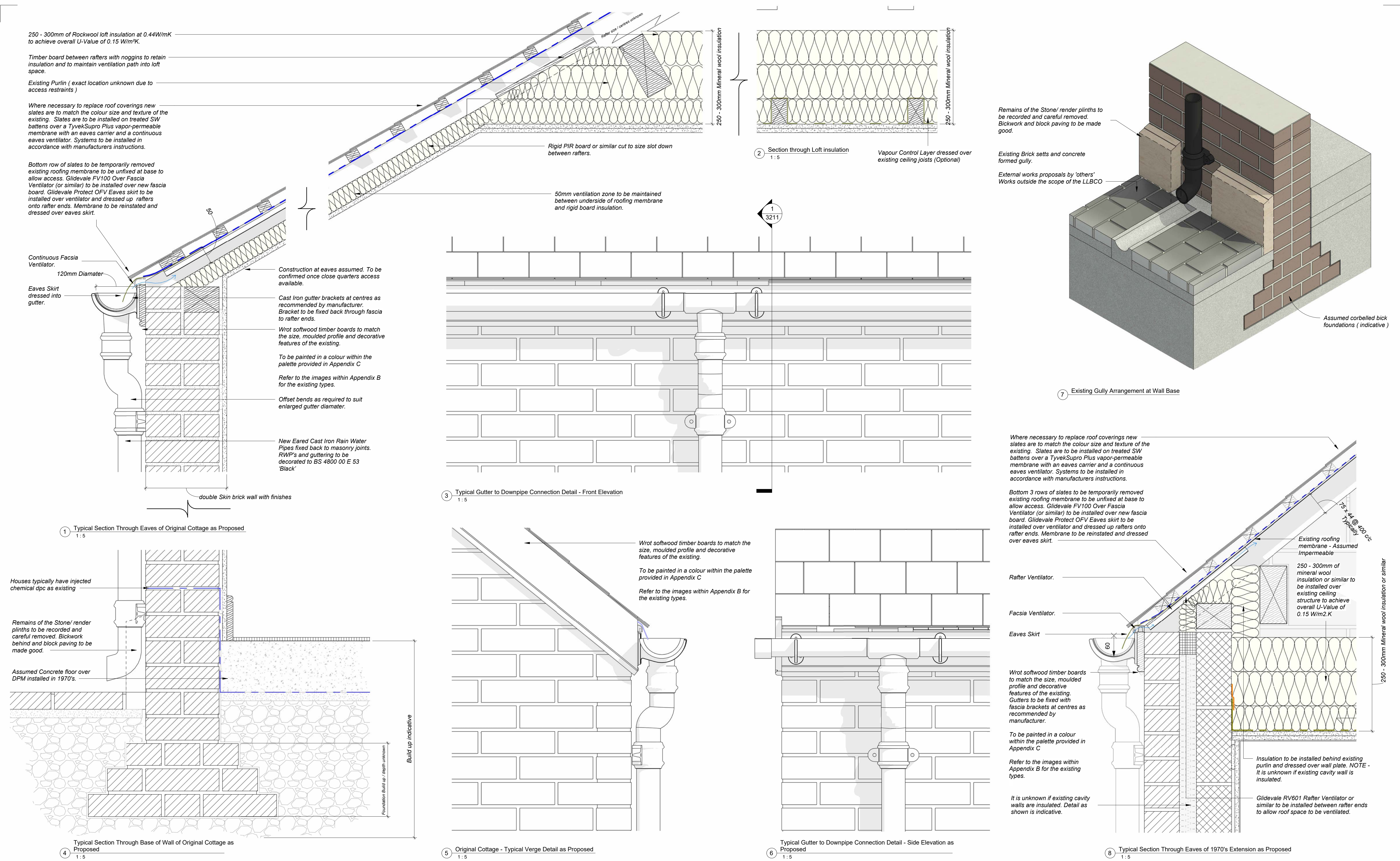
REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**

DRAWING NUMBER  
**243231-PUR-02-XX-DR-A-3201**

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APPENDIX B – 03 BETLEY STREET  
Betley Street – Photo Reference  
04/04/2025

PURCELL 



## Mark Popely

St James's Building

79 Oxford St

Manchester

M1 6FQ

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[www.purcelluk.com](http://www.purcelluk.com)

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## APPENDIX B - 03 BETLEY STREET

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## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Replacement chimney pots are to be cream clay and match the existing in size.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Replacement buff stone copings are to match existing in size, profile and geology.</p> <p>Where original stone coping has been previously been replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	

APPENDIX B - 03 BETLEY STREET



		 <p data-bbox="863 891 1460 958">Example of where coping has been replaced with brick</p>
<p data-bbox="124 999 376 1028">Blue Clay Ridge Tiles</p>	<p data-bbox="426 999 813 1171">These may be new or salvaged, plain or flaunches but must match the existing in colour, size/profile and finish of the existing.</p>	



## APPENDIX B - 03 BETLEY STREET

<p>Replacement Joinery for Barge boards to Gable ends</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to projecting rear gable</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement blue clay pitched wall coping on the rear boundary.</p>	<p>New or salvaged blue clay triangular coping bricks to match the colour, size and finish of the existing.</p>	

APPENDIX B - 03 BETLEY STREET

<p>Replacement of blue engineering brick copings to side/ party yard walls</p>	<p>New or salvaged blue clay engineering brick to form a coping on side walls and act as a DPC. To match the colour size and texture of the existing. Refer to drawing 3201 for coping detail.</p>	
<p>Replacement yard gates</p>	<p>Treated softwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing. Refer to drawing 3201</p>	

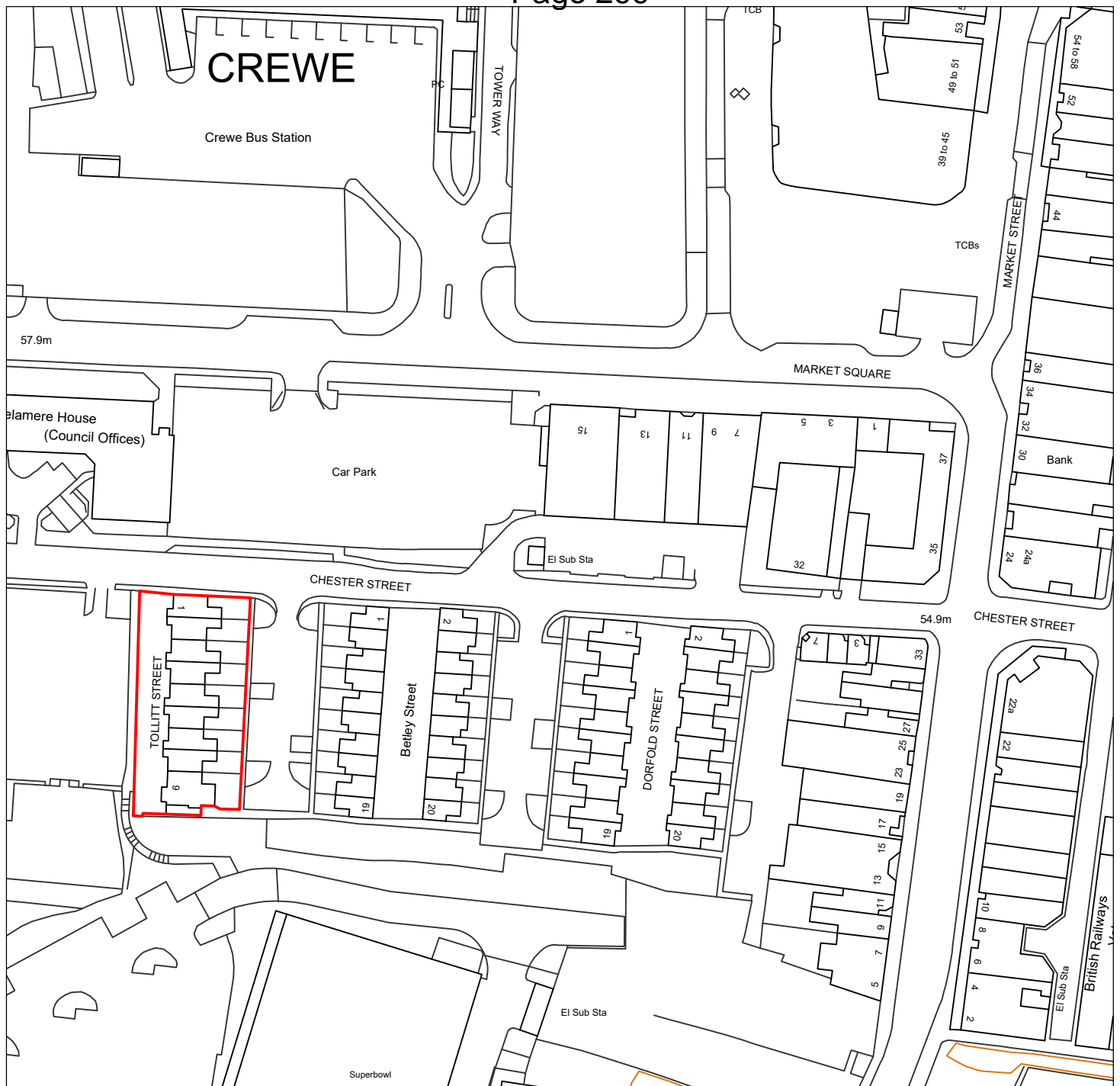


APPENDIX A – DRAWING PACKAGE

Tollitt Street

24/03/2025

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1  
0054

TOLLITT STREET - SITE LOCATION PLAN  
SCALE 1:1250



1:1250 Scale



### KEY



Site Boundary Line

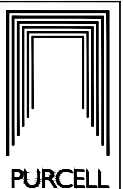
CLIENT  
**Cheshire East Council**  
JOB NUMBER PROJECT  
**243231 CEF Crewe, Warm and Healthy Homes**

TITLE  
**Tollitt Street - Site Location Plan**

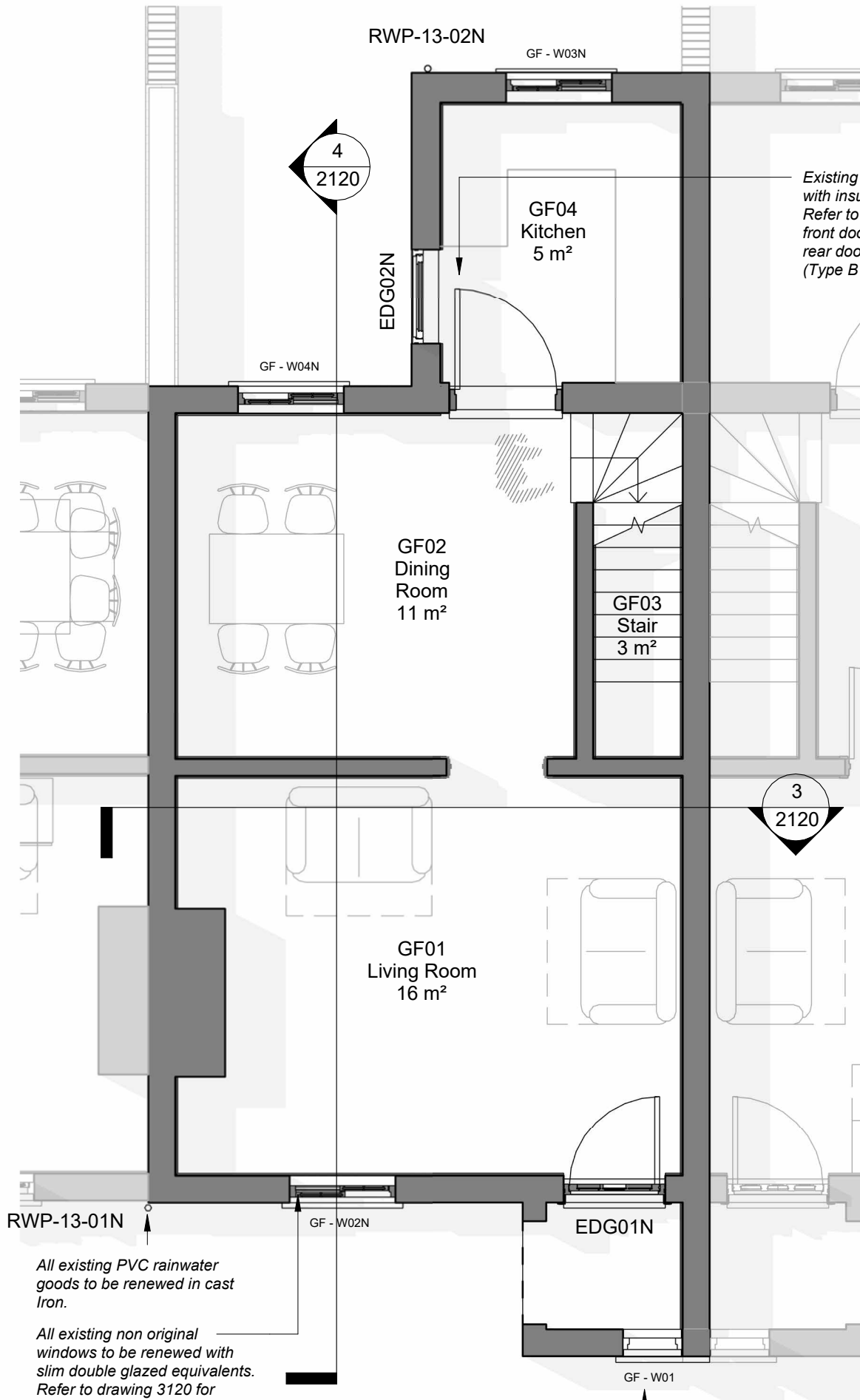
SIZE SCALE  
**A4P As Indicated**

REV SUITABILITY/REASON FOR ISSUE  
**P01 S3 - For Review & Comment**  
DRAWING NUMBER  
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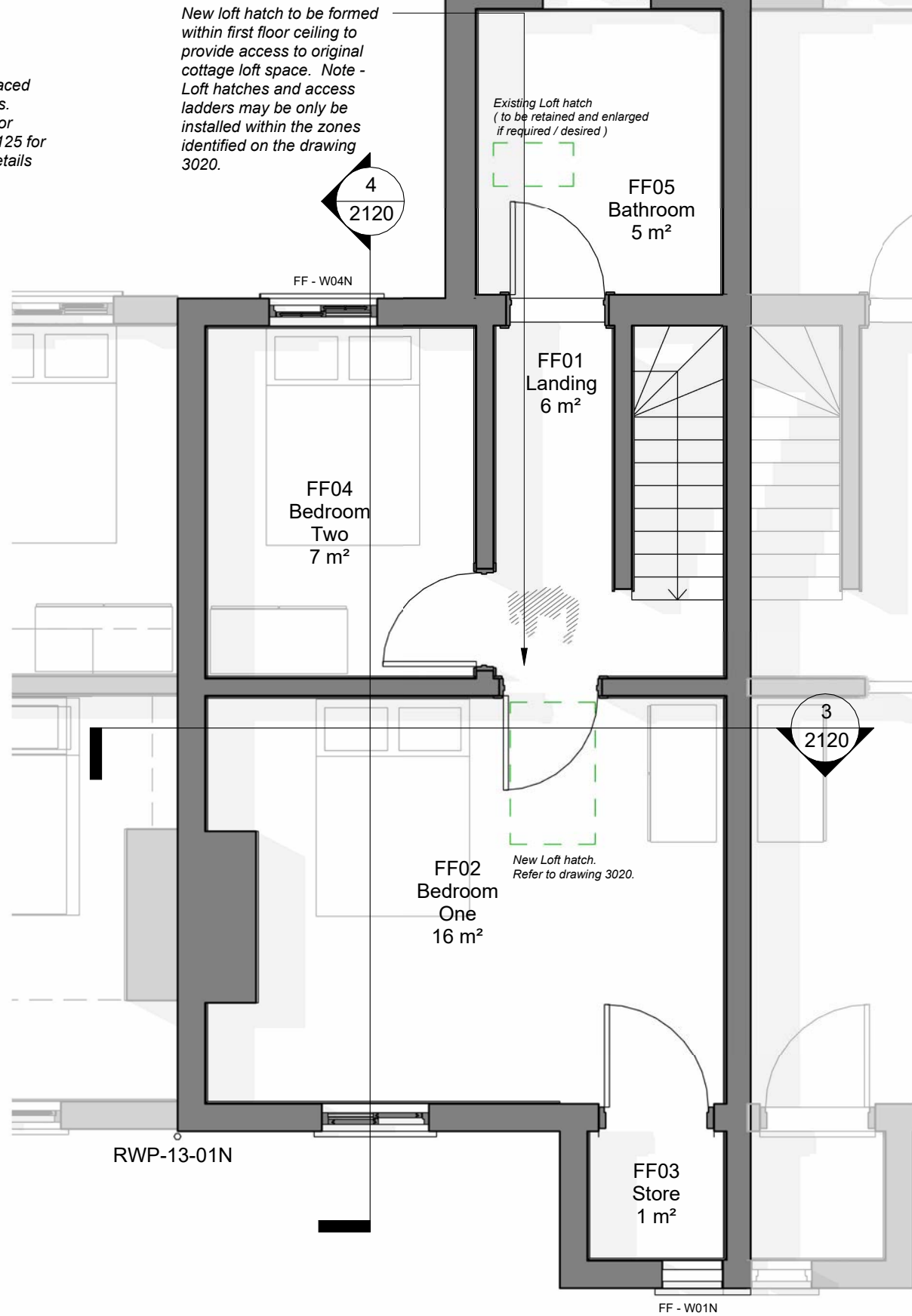
P01	18/03/2025	AM	MP	First Issue
REV	DATE	BY	CHK	DESCRIPTION







① Ground Floor as Proposed  
1 : 50



② First Floor As Proposed  
1 : 50



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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
**Cheshire East Council**

**PROJECT**  
**CEF Crewe, Warm & Healthy Homes**

**JOB NUMBER**  
**243231**

**PURCELL**

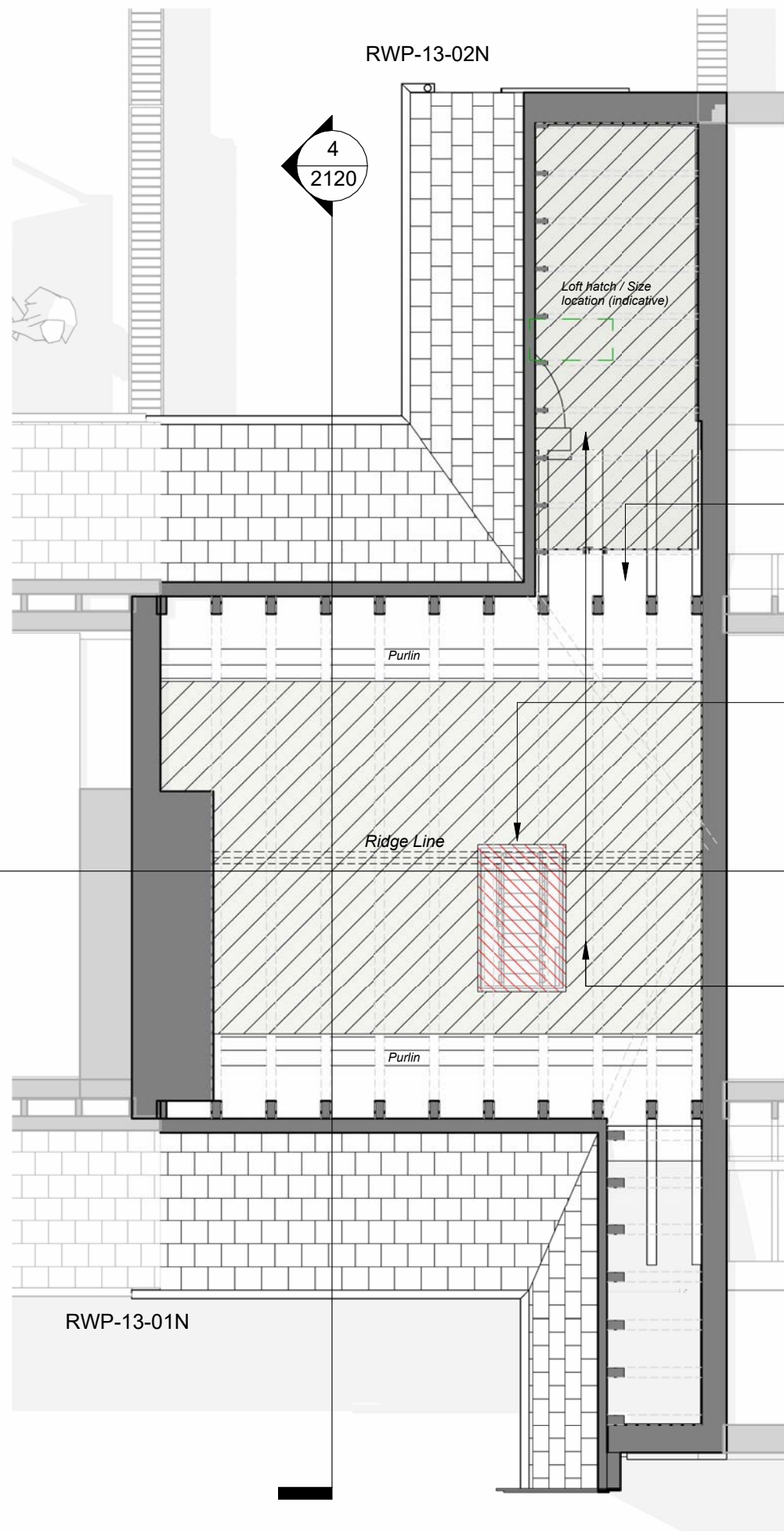
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**Typical Dorfold / Tollitt Street Dwelling - Proposed Ground and First Floor Plans**

**SIZE** **SCALE**  
**A3L 1 : 50**

**REV** **SUITABILITY/REASON FOR ISSUE**  
**P05 S4 - For Approval/**

**DRAWING NUMBER**  
**243231-PUR-02-ZZ-DR-A-2020**

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All existing PVC rainwater goods to be renewed in Cast Iron.

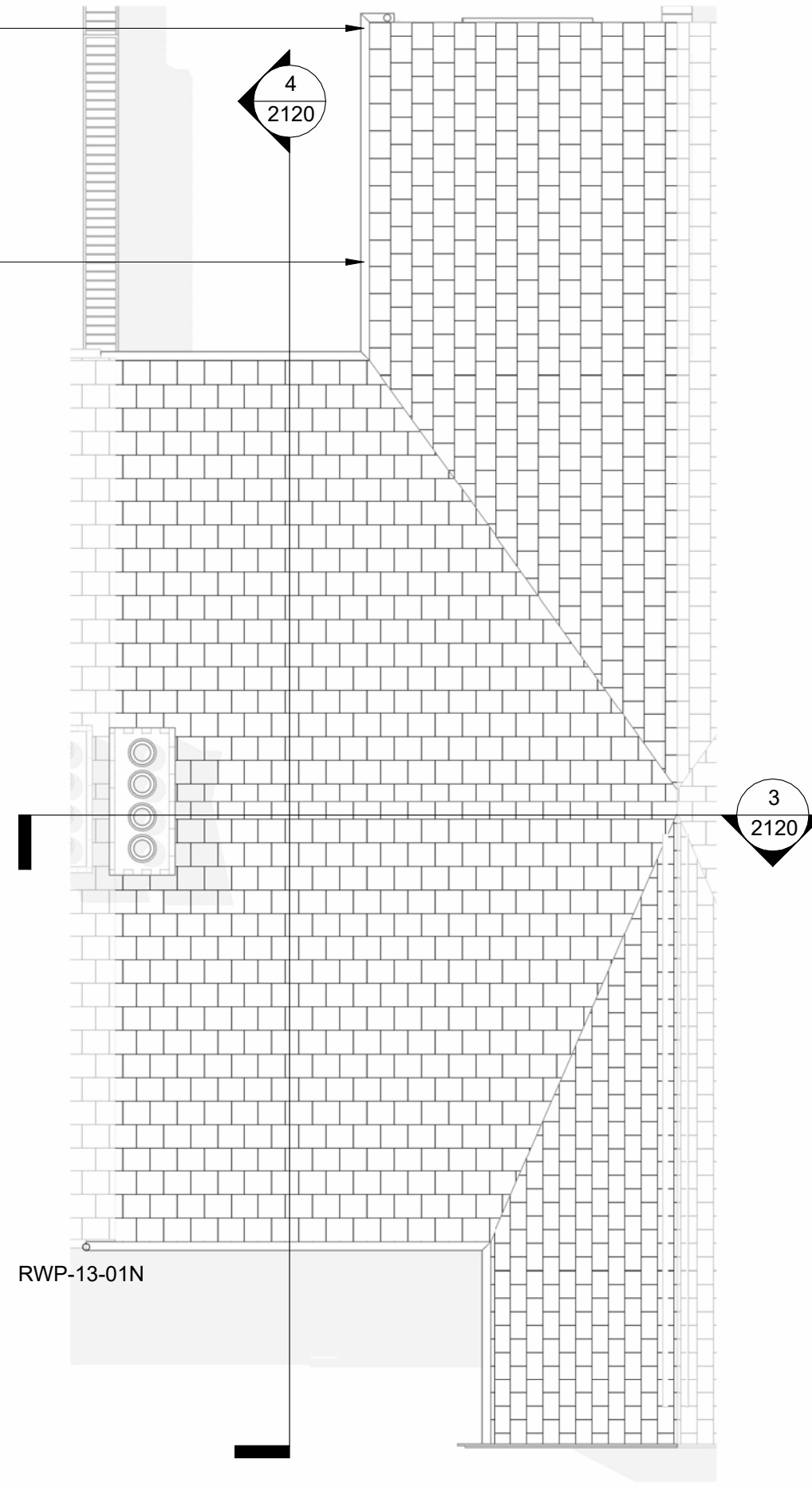
Refer to drawing 3211 for typical details

Where necessary to replace roof coverings new slates are to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator

Existing rafters prevent safe access between loft space to 1970's extension and original cottage loft space.

New loft hatch with pull down ladder to be installed first floor ceiling. Refer to drawing 3020 for details.

Allow boarding out of loft space around new / enlarged hatches between existing purlins



1 Loft Plan as Proposed  
1 : 50

2 Roof Plan as Proposed  
1 : 50

**Notes:**  
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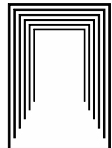
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not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**

**PURCELL**

TITLE  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Loft and Roof Plan**

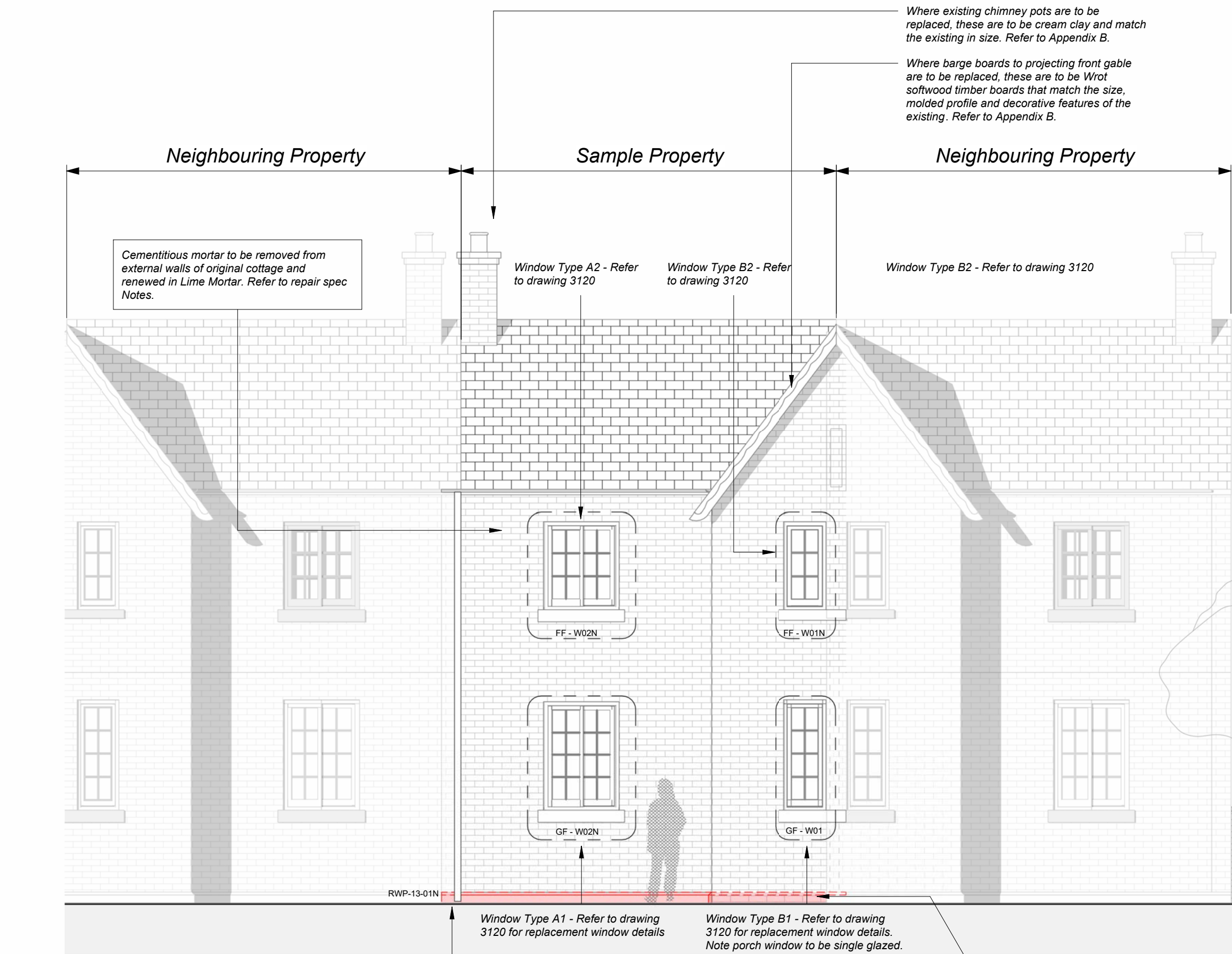
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A3L 1 : 50

REV SUITABILITY/REASON FOR ISSUE  
**P05 S4 - For Approval/**

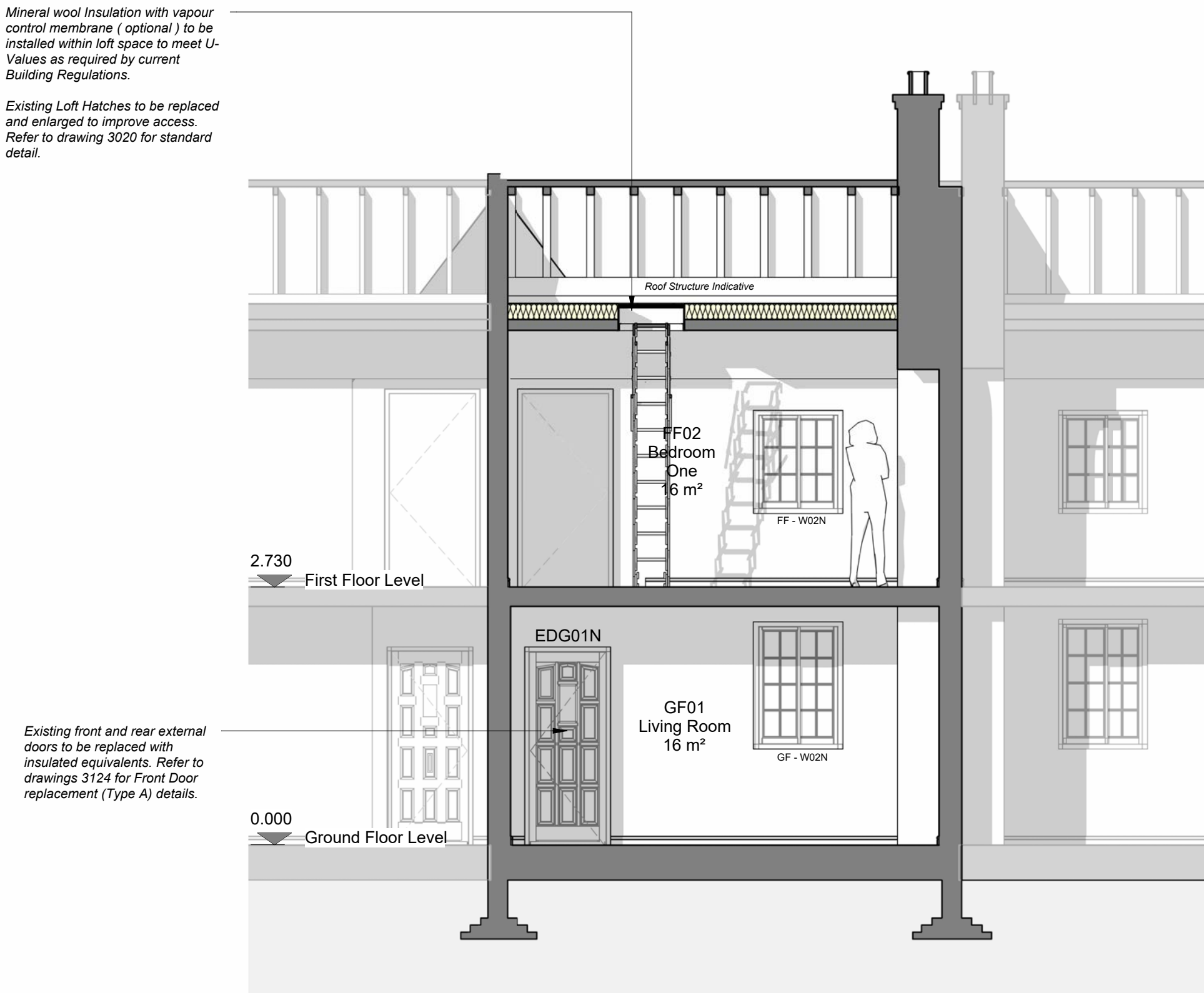
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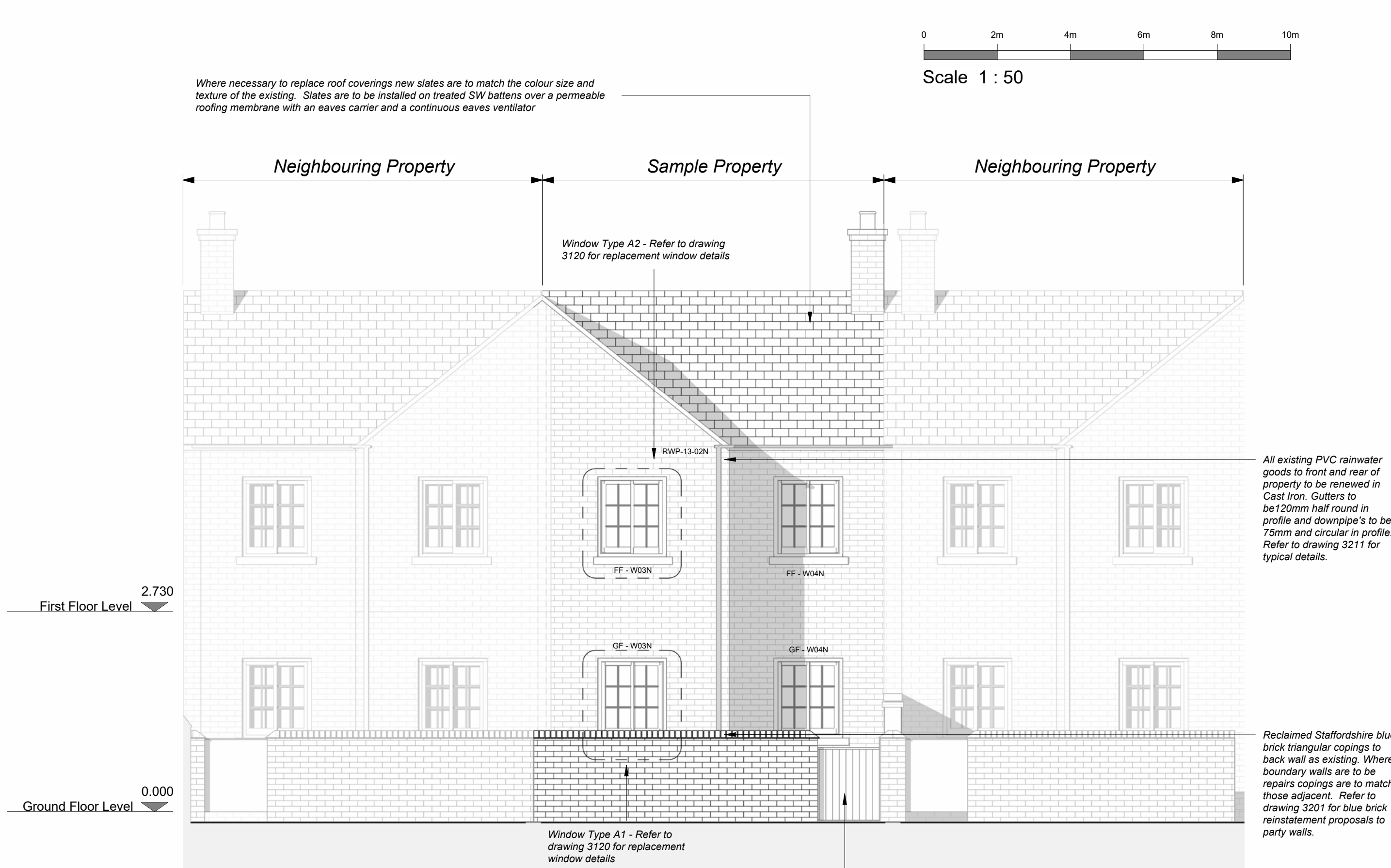




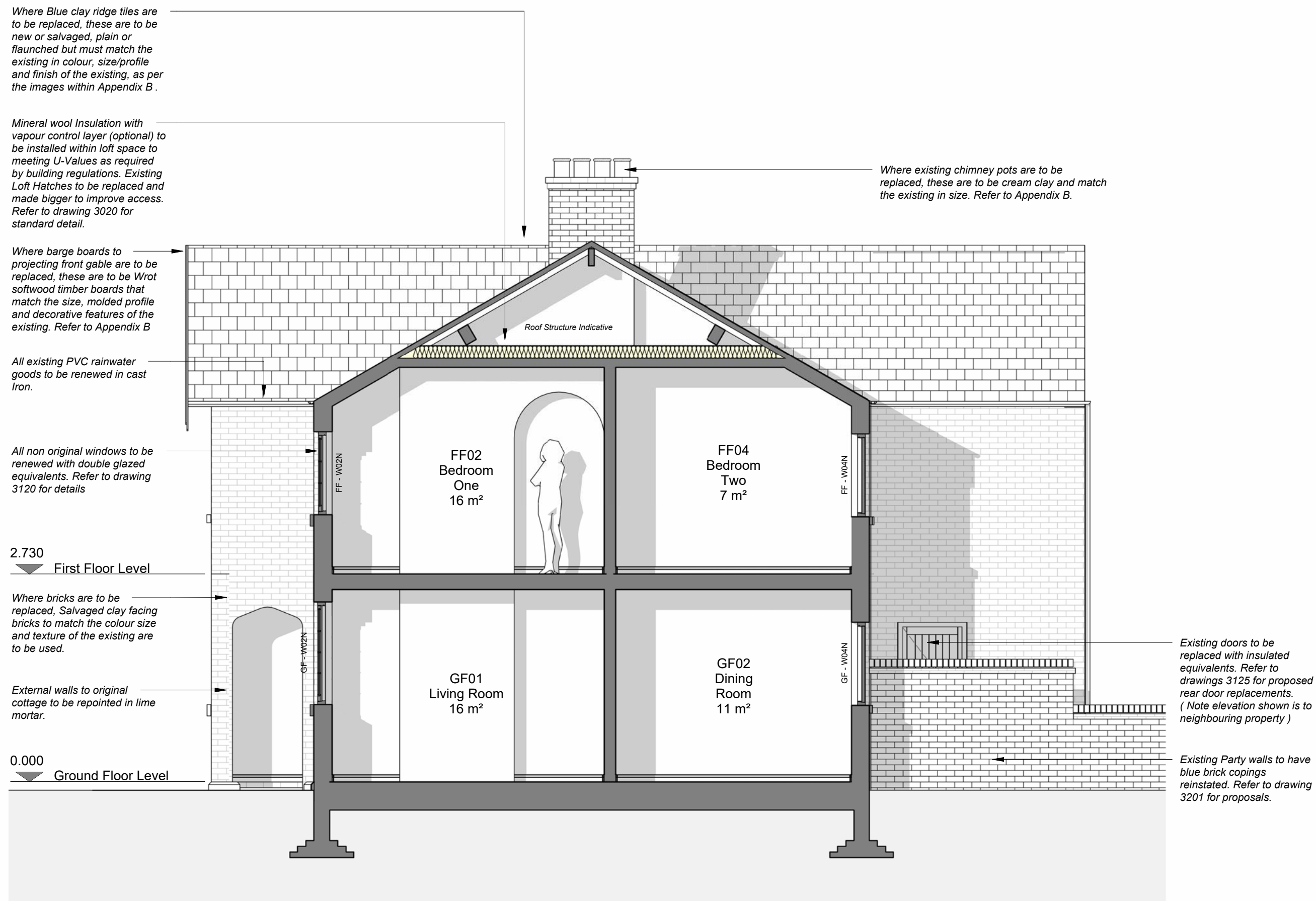
1 Principal Elevation as Proposed  
1 : 50



3 GA Section as Proposed A-A  
1 : 50



2 Rear Elevation as Proposed  
1 : 50



4 GA Section as Proposed B-B  
1 : 50

**Notes:**

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**Key Plan**  
not to scale

**NOTES**

**Removal of cementitious pointing of brickwork with repointing with Lime Mortar**

- 1. Removal of existing cementitious mortar and cement patch repairs**
  - Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arises and flush out with water. Remove cement pointing by using hand tools such as quills or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.
  - Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.
  - Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.
- 2. Repointing in Lime mortar**
  - Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour; also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.
  - Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arisesses or spread over any worn or rounded edges of the bricks or stone.
  - As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

- 3. Lime Mortar Spec mix spec**

1. Mix:

  - 1 part Hydraulic Lime, 3.5 NHL
  - 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
  - 1/2 part fine red sand sieved to <600 microns
  - 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

2. Additives:

Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd



P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	21/11/2024	MP	MP	Issued for Information
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
**Cheshire East Council**

**PROJECT**  
**CEF Crewe, Warm & Healthy Homes**  
**JOB NUMBER**  
**243231**

**TITLE**  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Elevations and Sections**

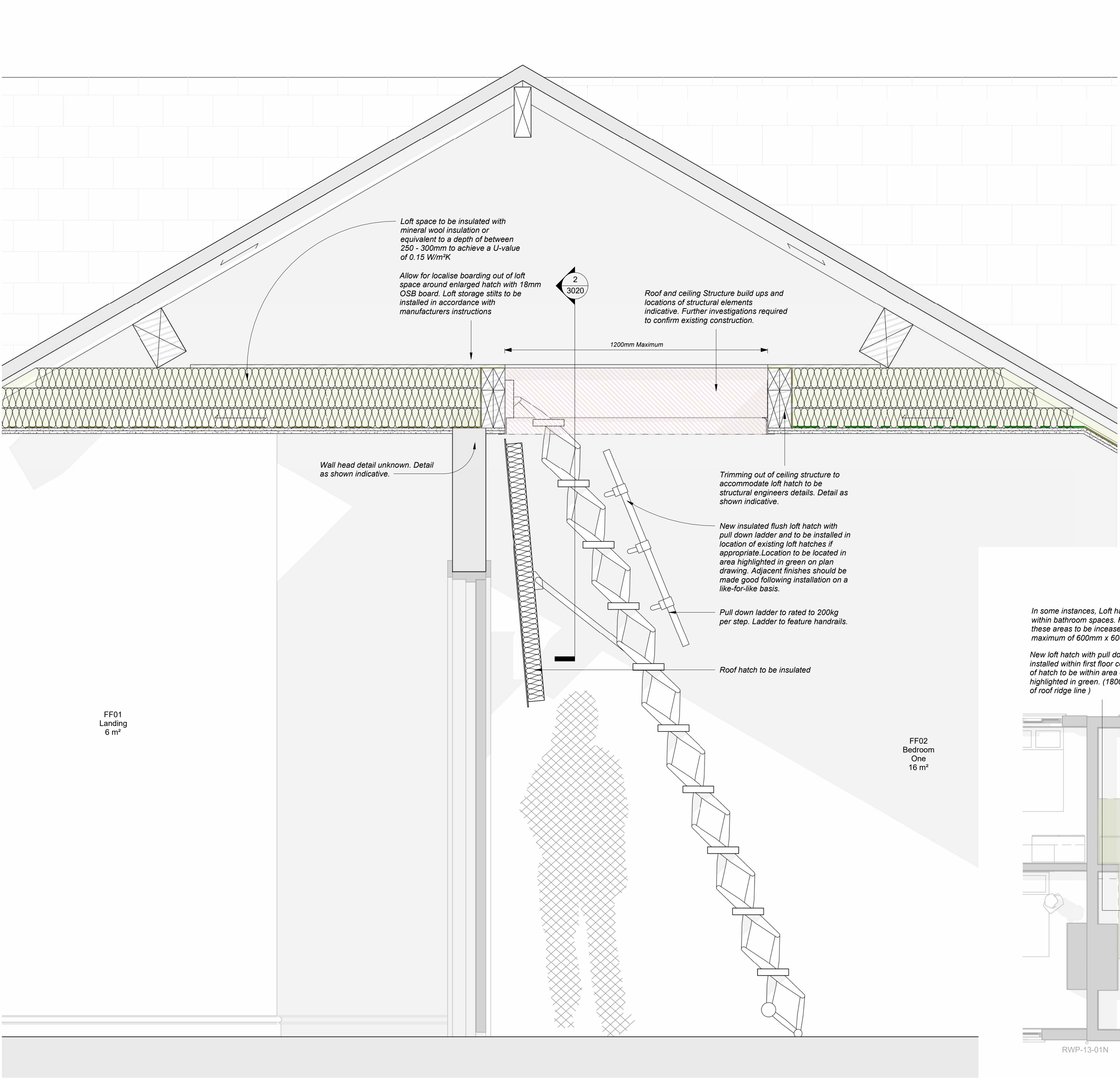
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A1L    1 : 50

**REV**    **SUITABILITY/REASON FOR ISSUE**  
**P05 S4 - For Approval**

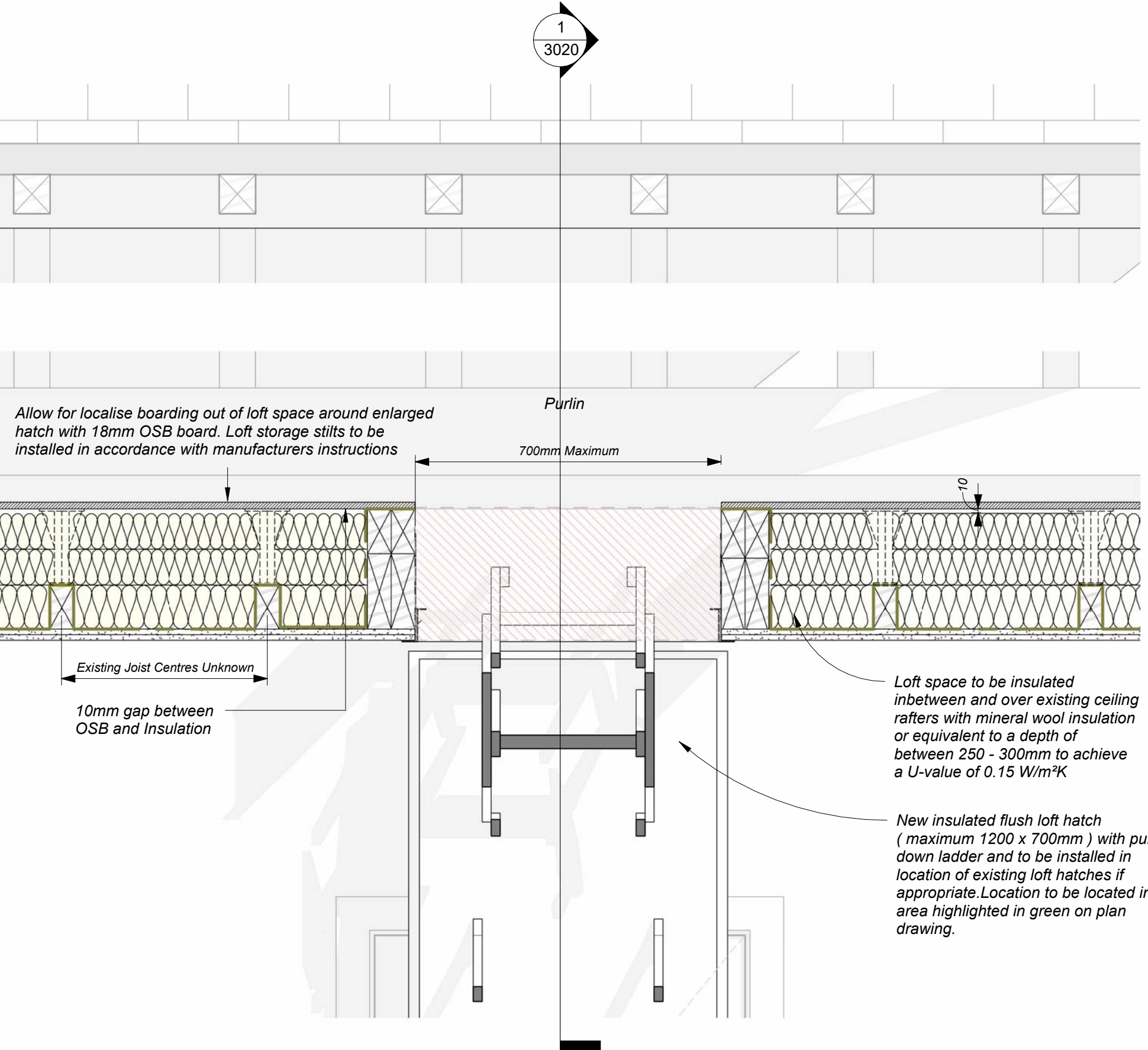
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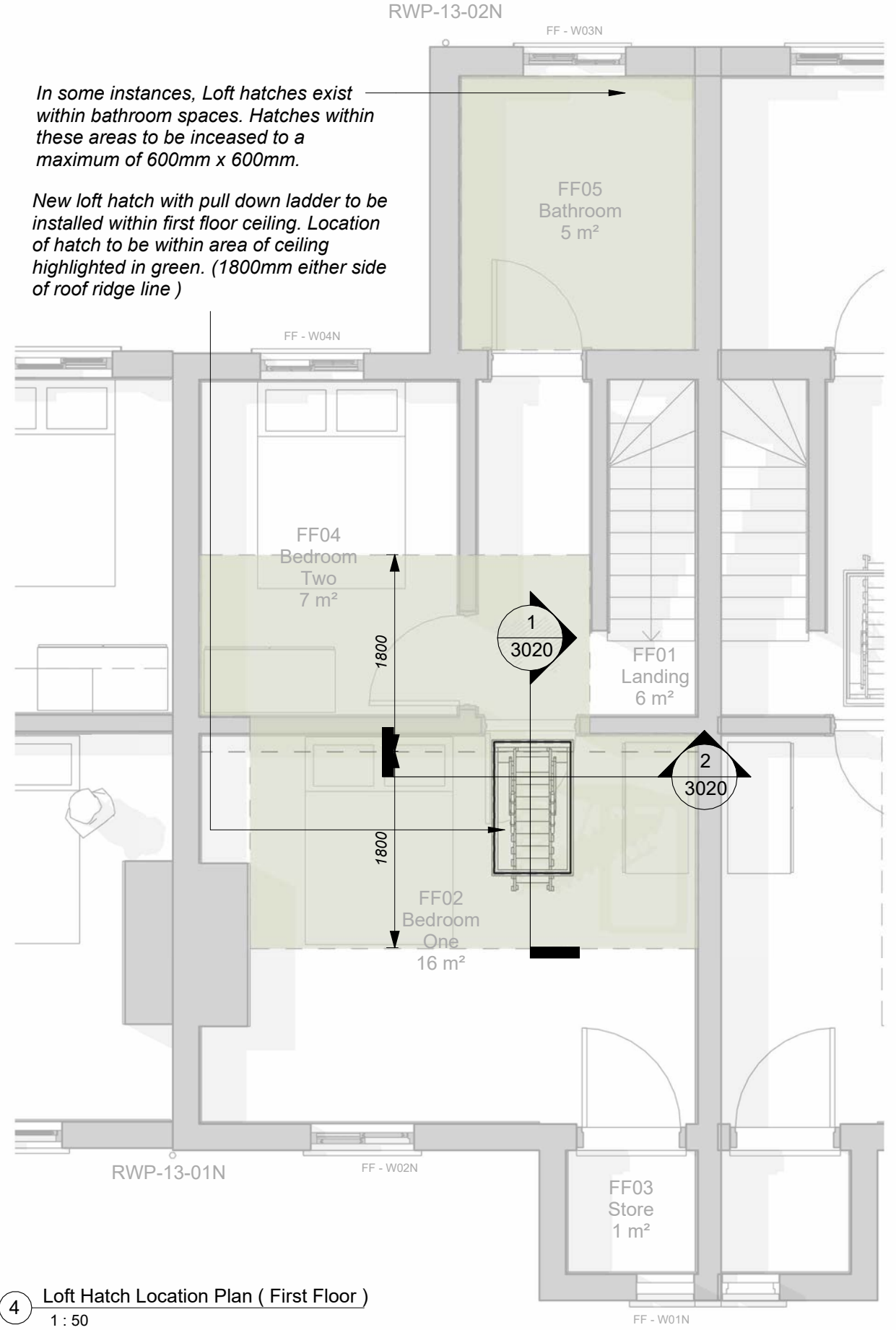




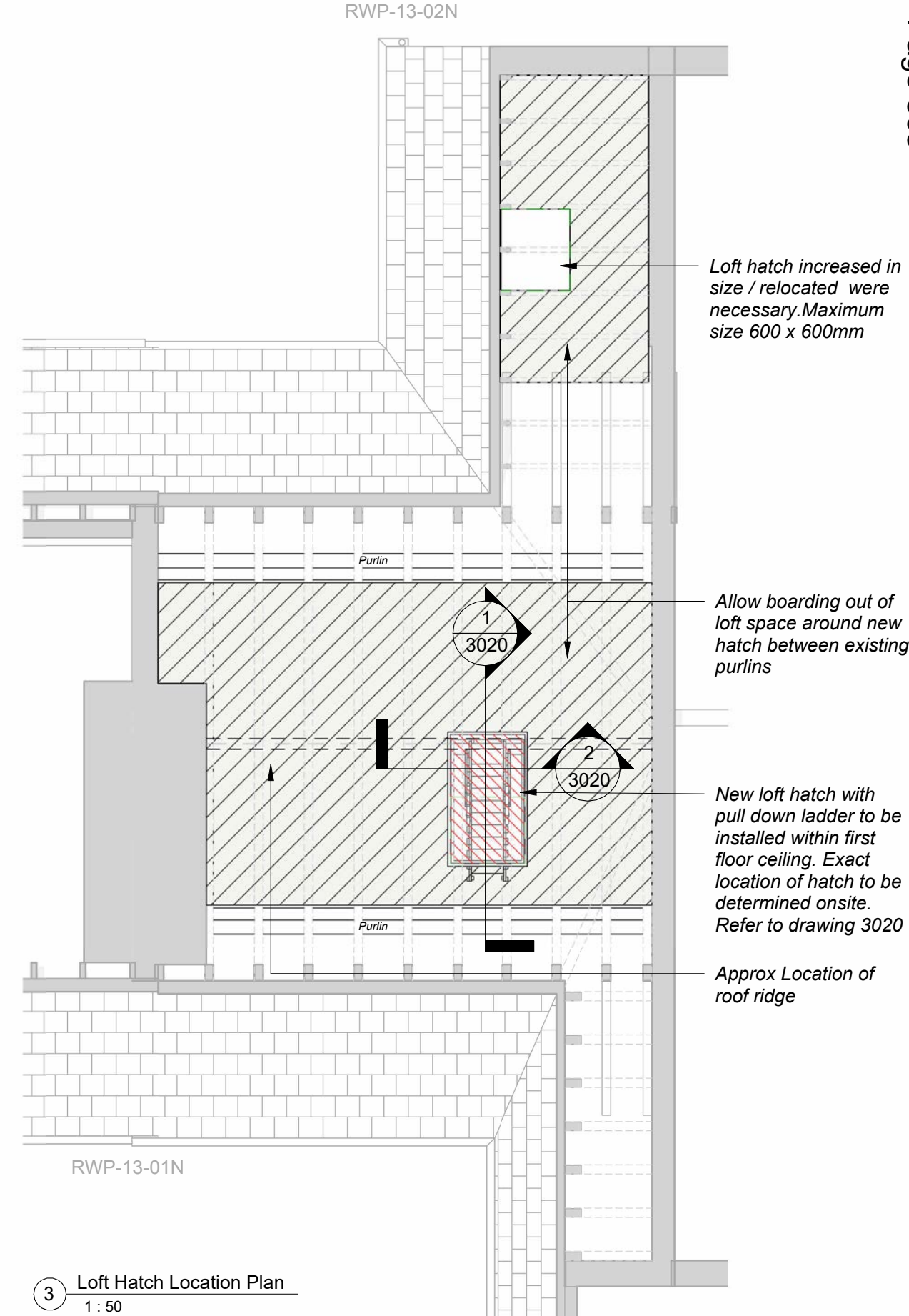
1 Typical Section A-A Through Loft Hatch  
1:10



2 Typical Section B-B Through Loft Hatch  
1:10



4 Loft Hatch Location Plan ( First Floor )  
1:50



3 Loft Hatch Location Plan  
1:50

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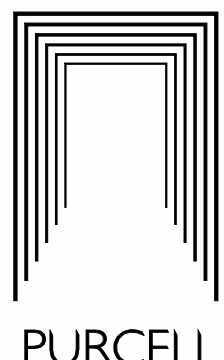
- NOTES**
- Loft hatches and access ladders may be installed within the zone identified on this drawings only.
  - Roof / ceiling structure as shown is indicative due to lack of available access.

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
Cheshire East Council  
**PROJECT**  
CEF Crewe, Warm & Healthy Homes

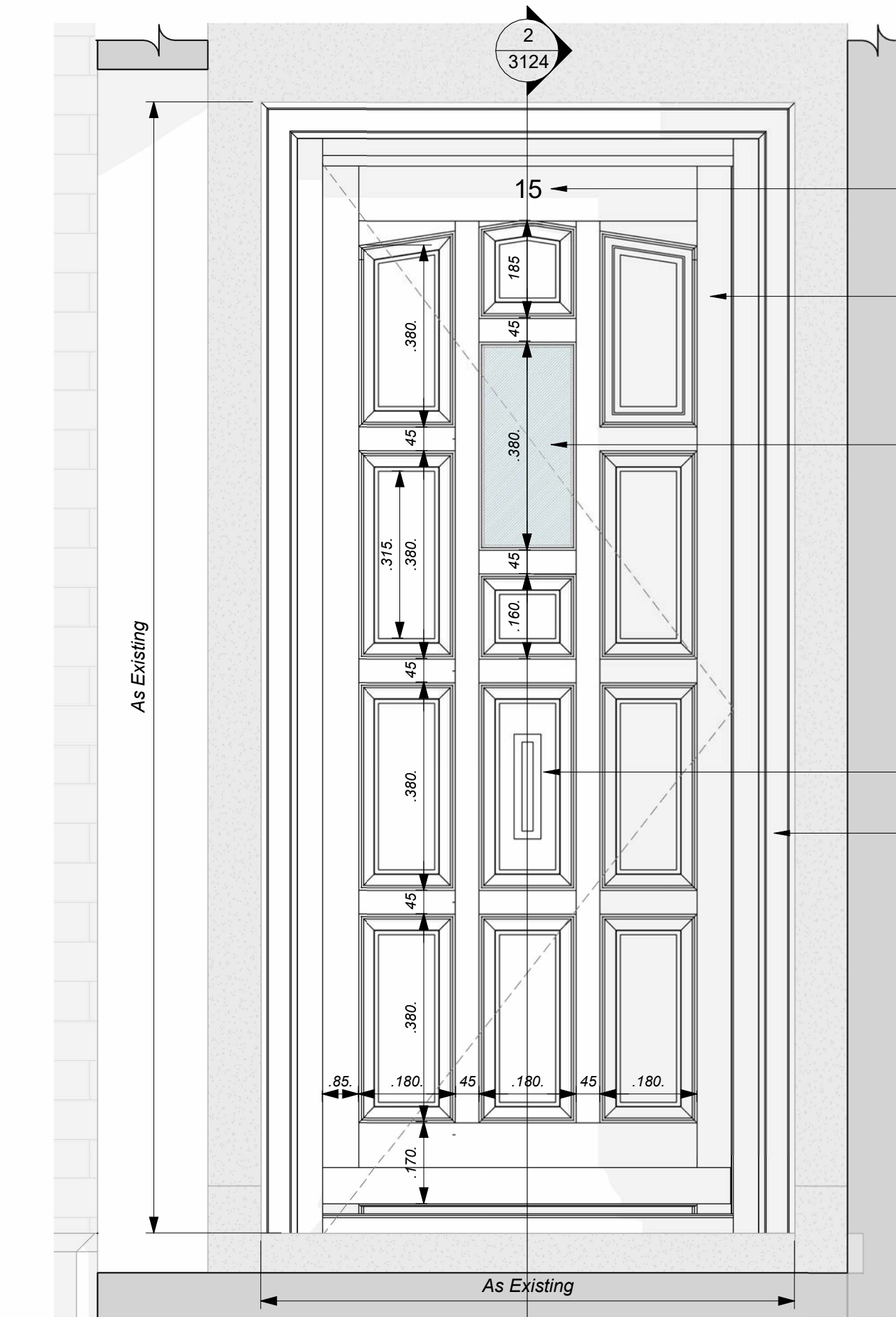
**JOB NUMBER**  
243231  
**TITLE**  
Dorfold / Tollitt Street - Typical Loft Hatch Detail

**SIZE** A1L  
**SCALE** As indicated  
**REV** P05  
**SUITABILITY/REASON FOR ISSUE** S4 - For Approval/  
**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-3020

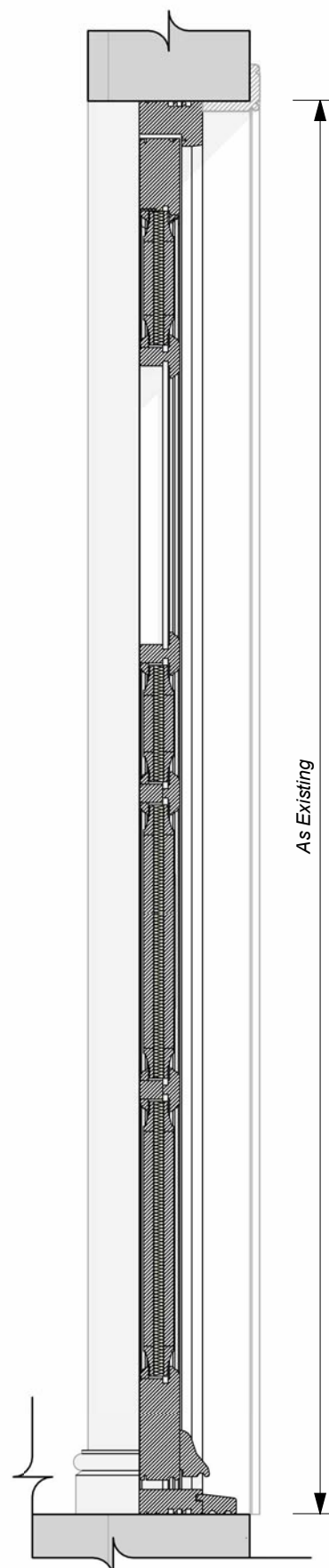


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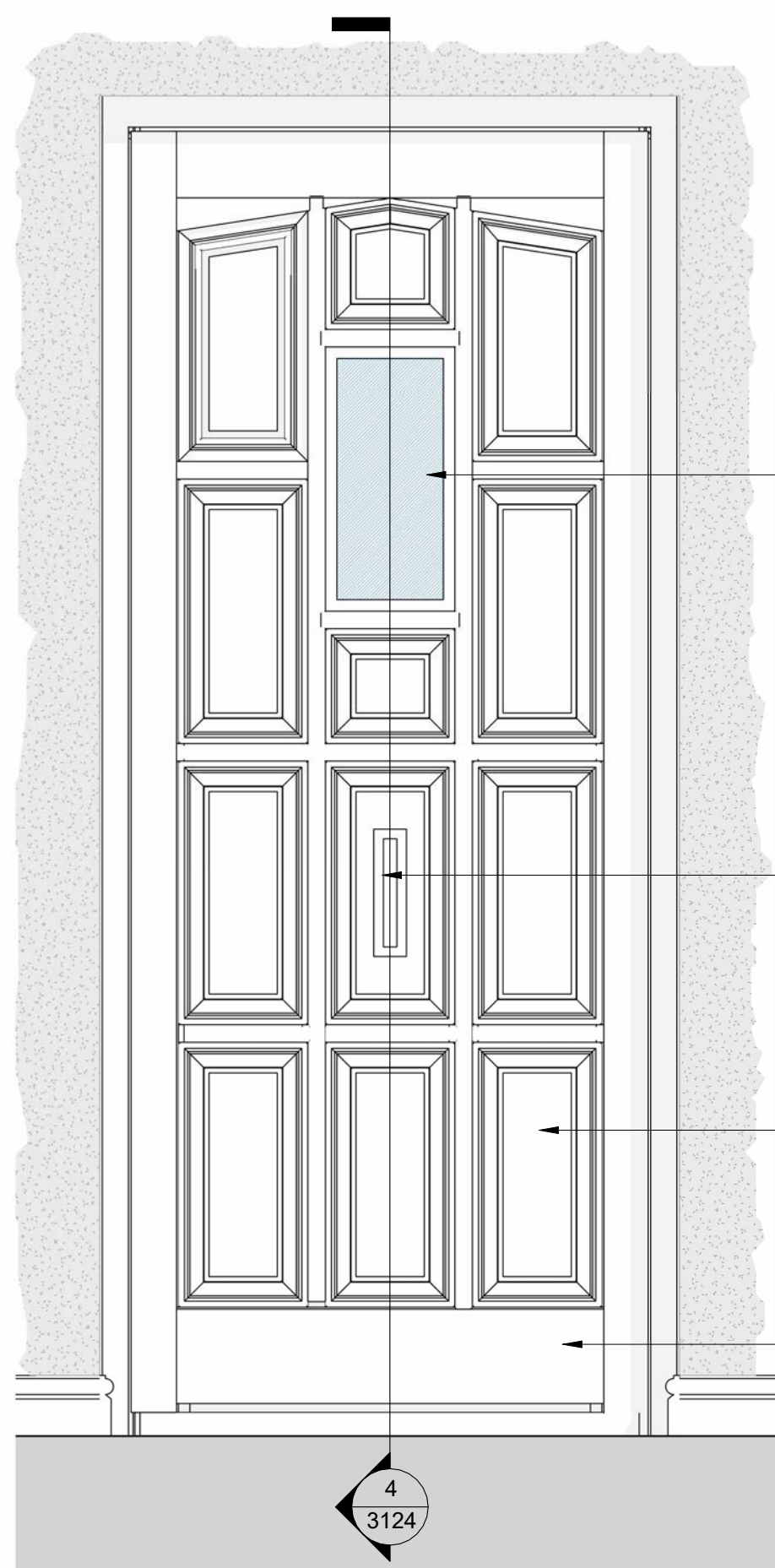




1 External Door Type A as Proposed - External Elevation  
1 : 10



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10

Existing external Architrave profile to be retained and redecorated.

Allow for making good of reveals following installation of new door.

Door to be finished externally in RAL 170 40 15 Palace Green. Refer to Appendix C.

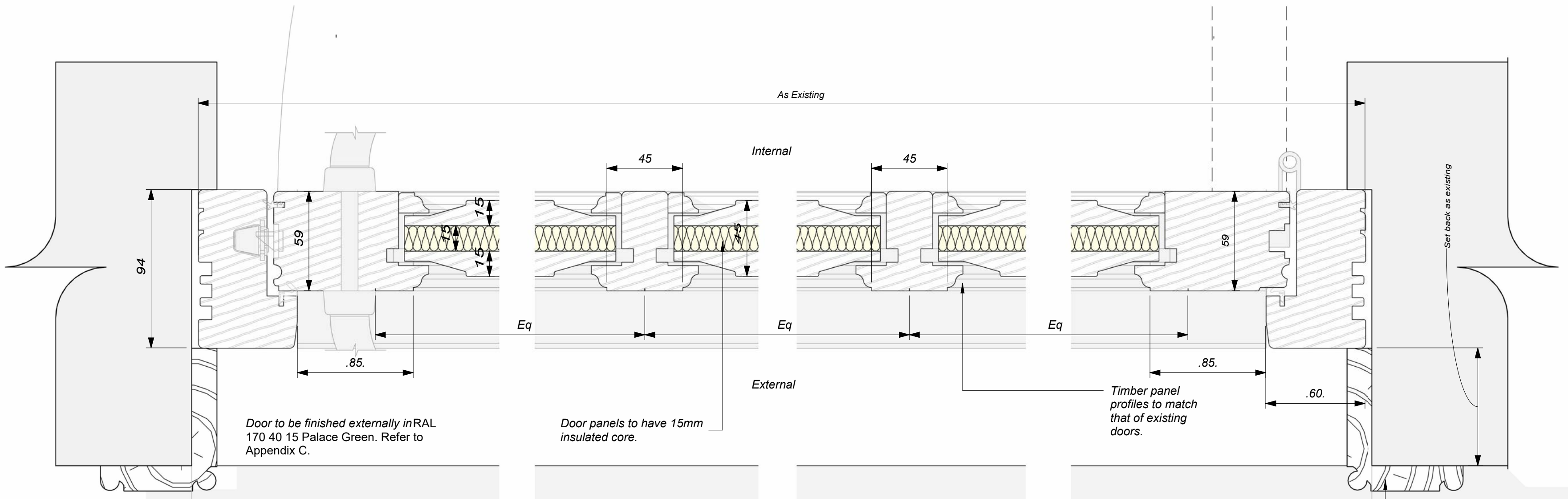
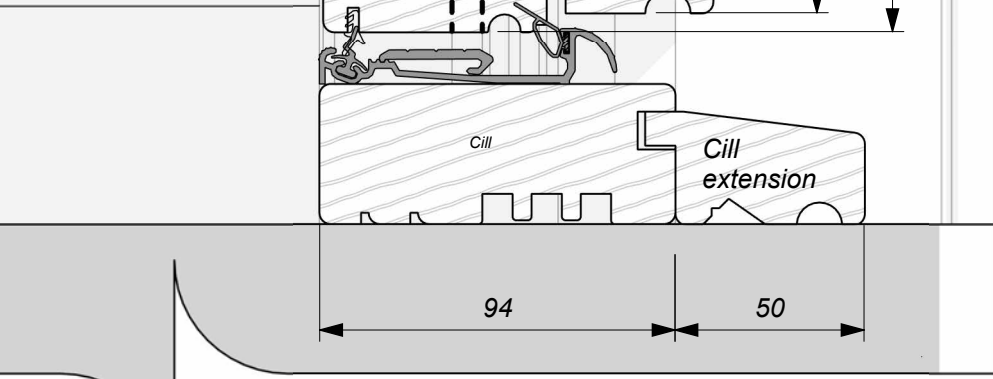
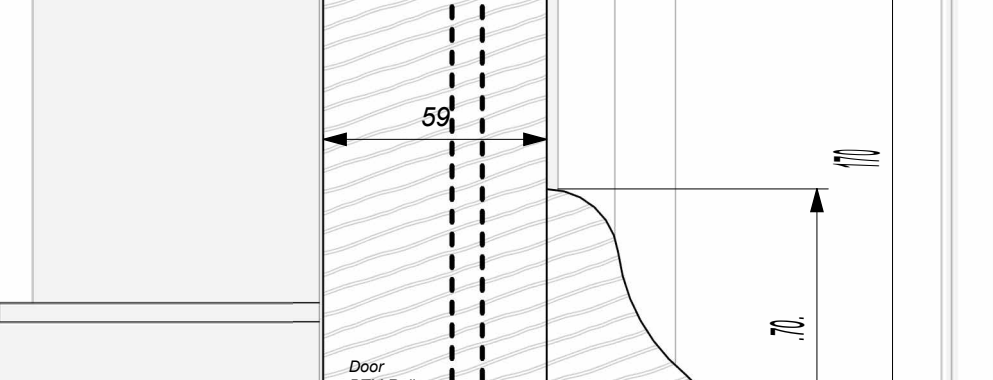
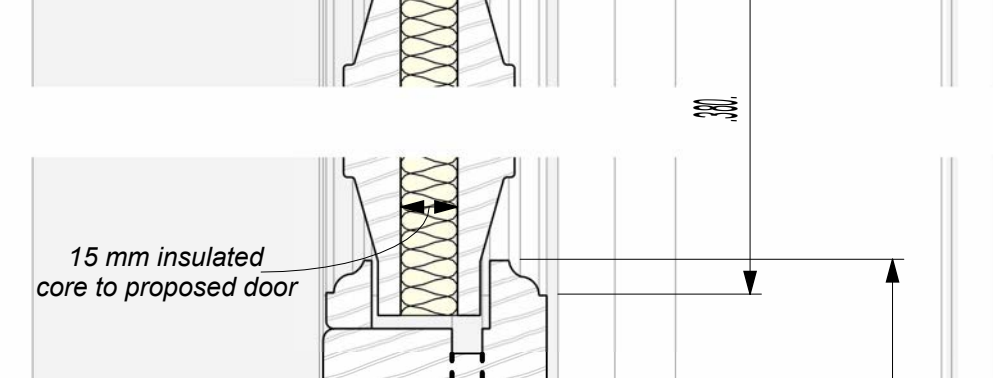
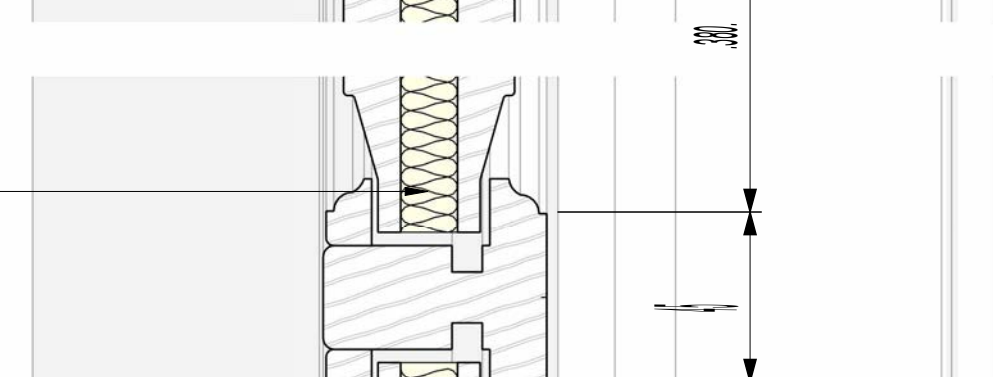
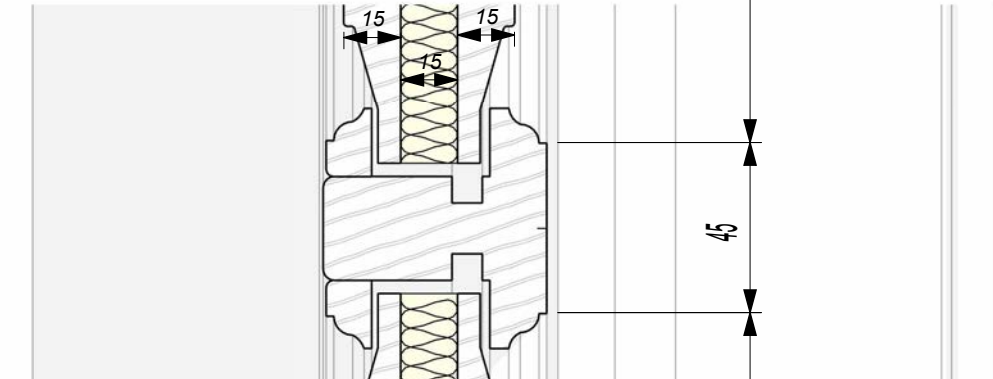
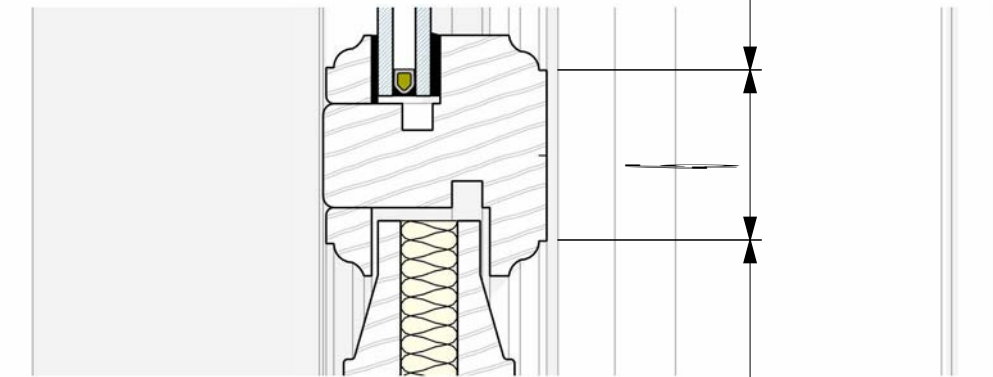
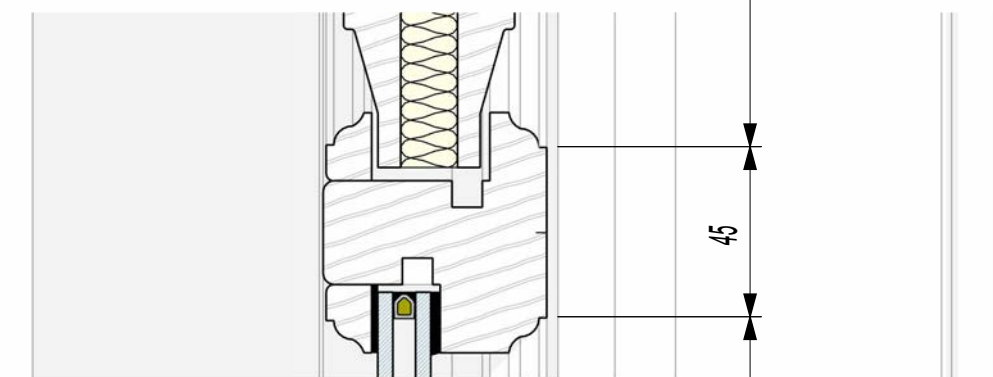
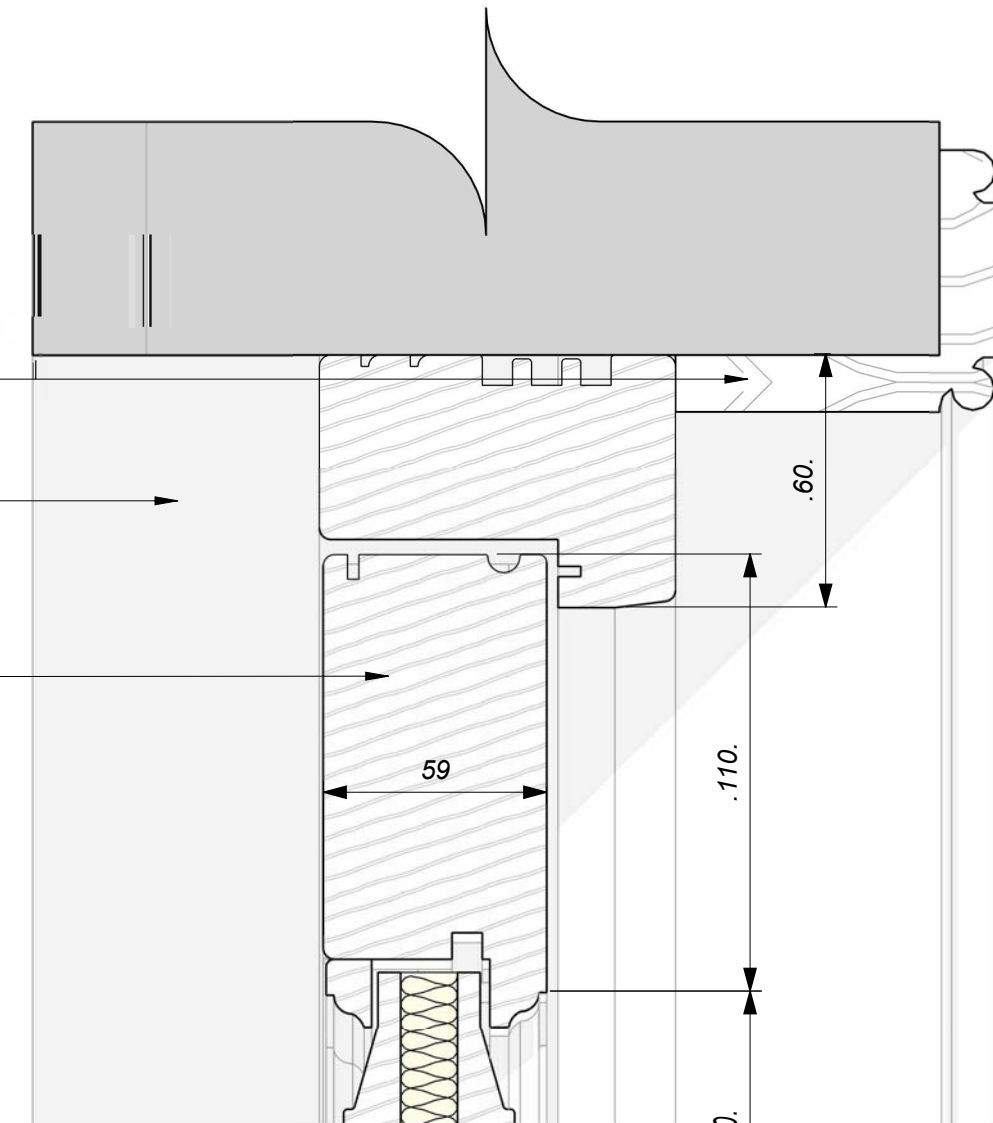
Slim Double glazed vision panel.

Letter box

General setting out of door arrangement to match existing.

Overall U-Value of door to achieve between 1.4 and 1.2 W/m²K

Door panels to have 15mm insulated core (Optional).



6 External Door Type A as Proposed - Plan Detail  
1 : 2

4 External Door Type A as Proposed - Section Detail  
1 : 2

#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

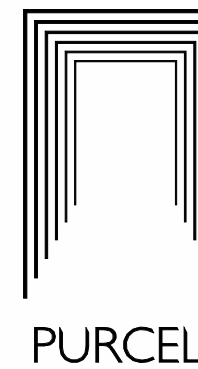
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollitt Street - External Door Type A as Proposed

#### SIZE

A1L As indicated

#### REV

SUITABILITY/REASON FOR ISSUE

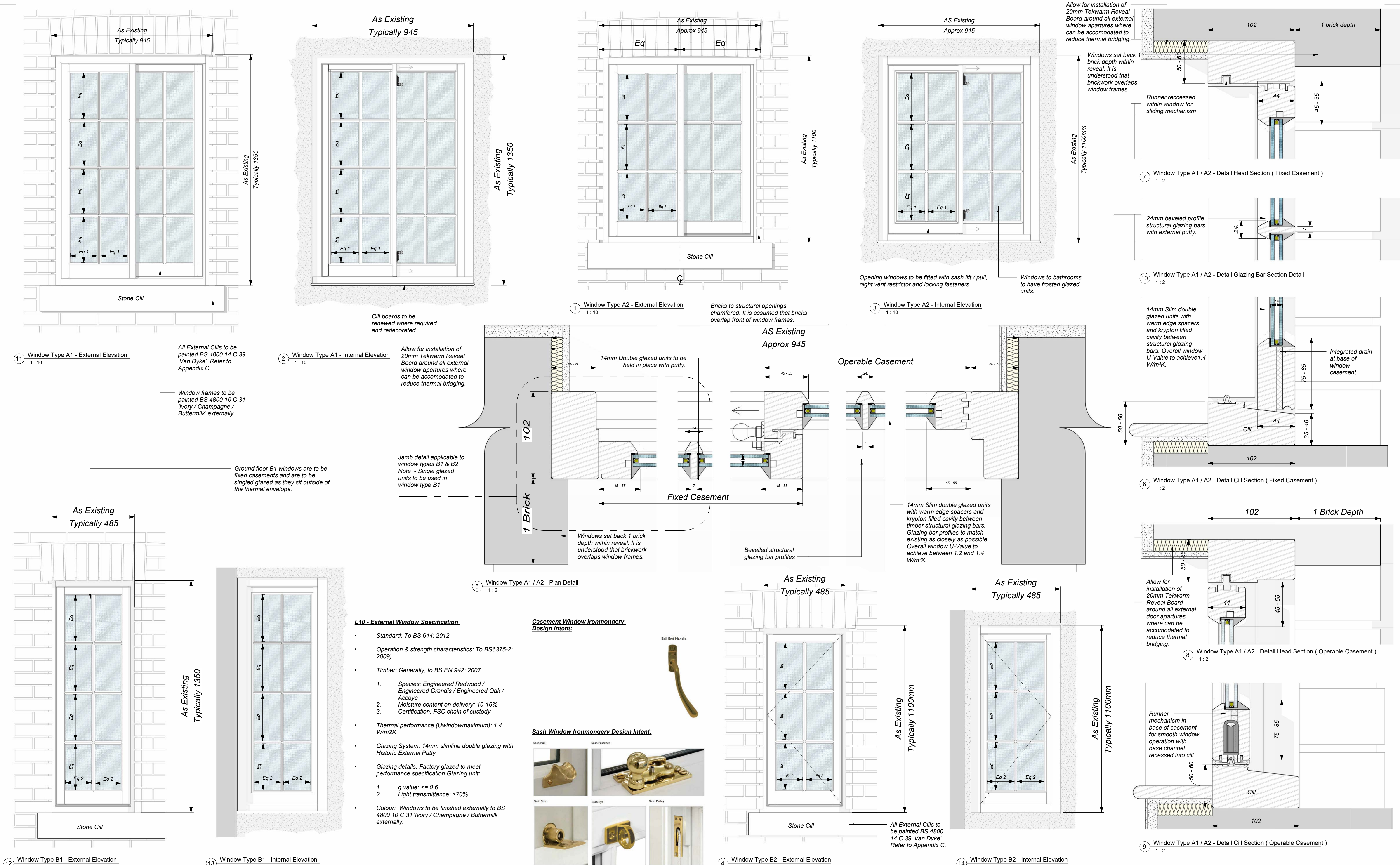
P05 S4 - For Approval







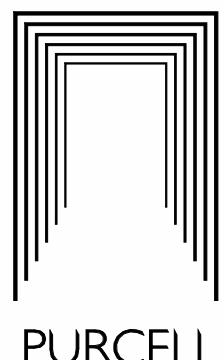
#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3124

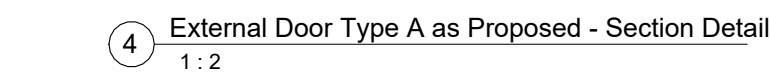
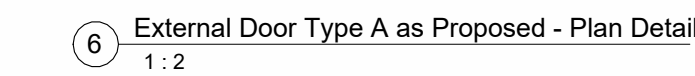
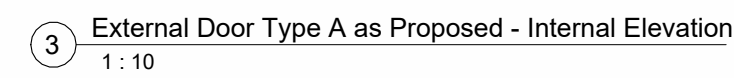
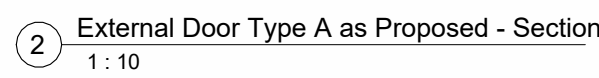
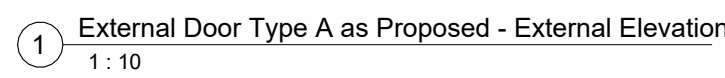
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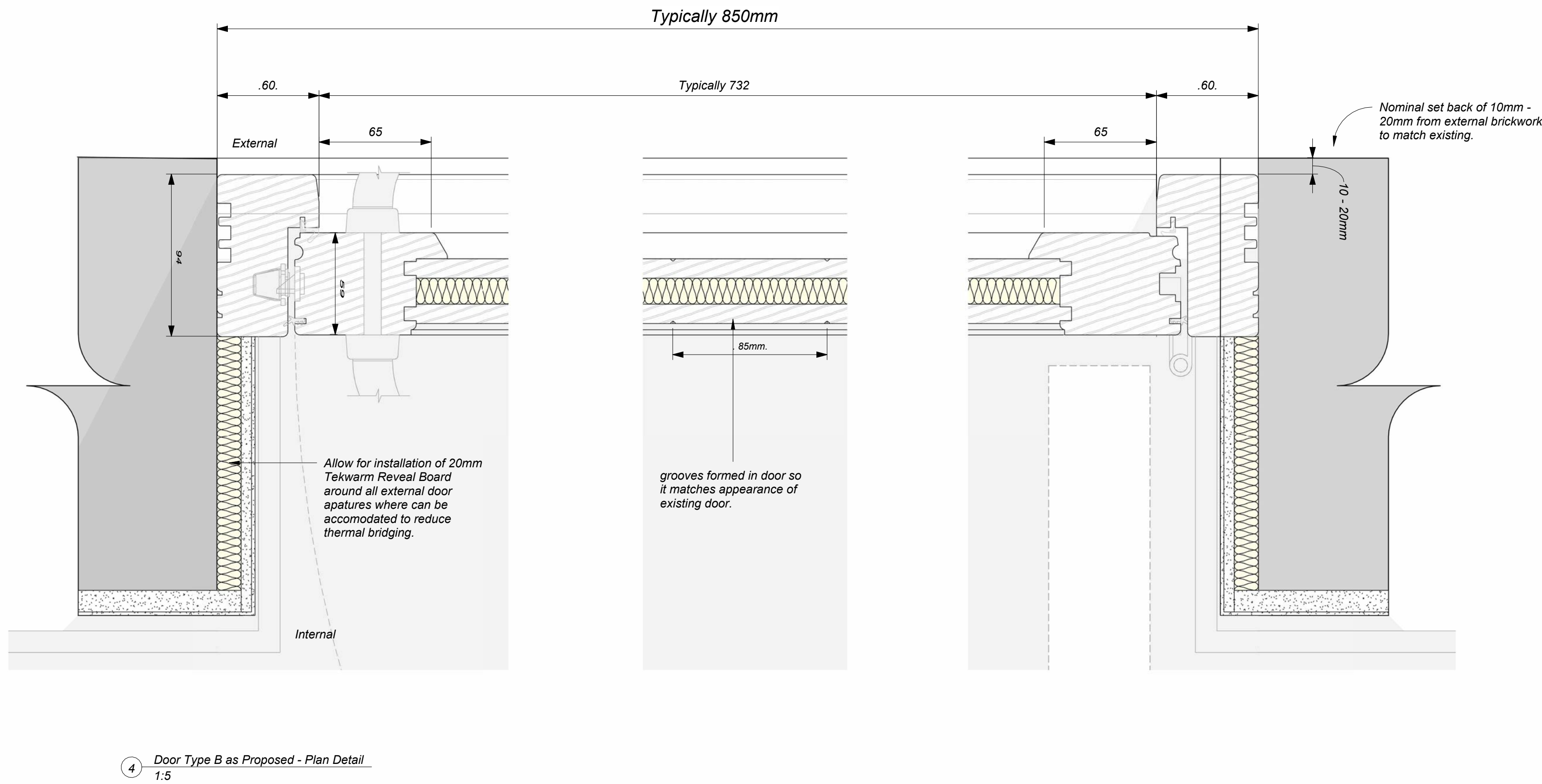
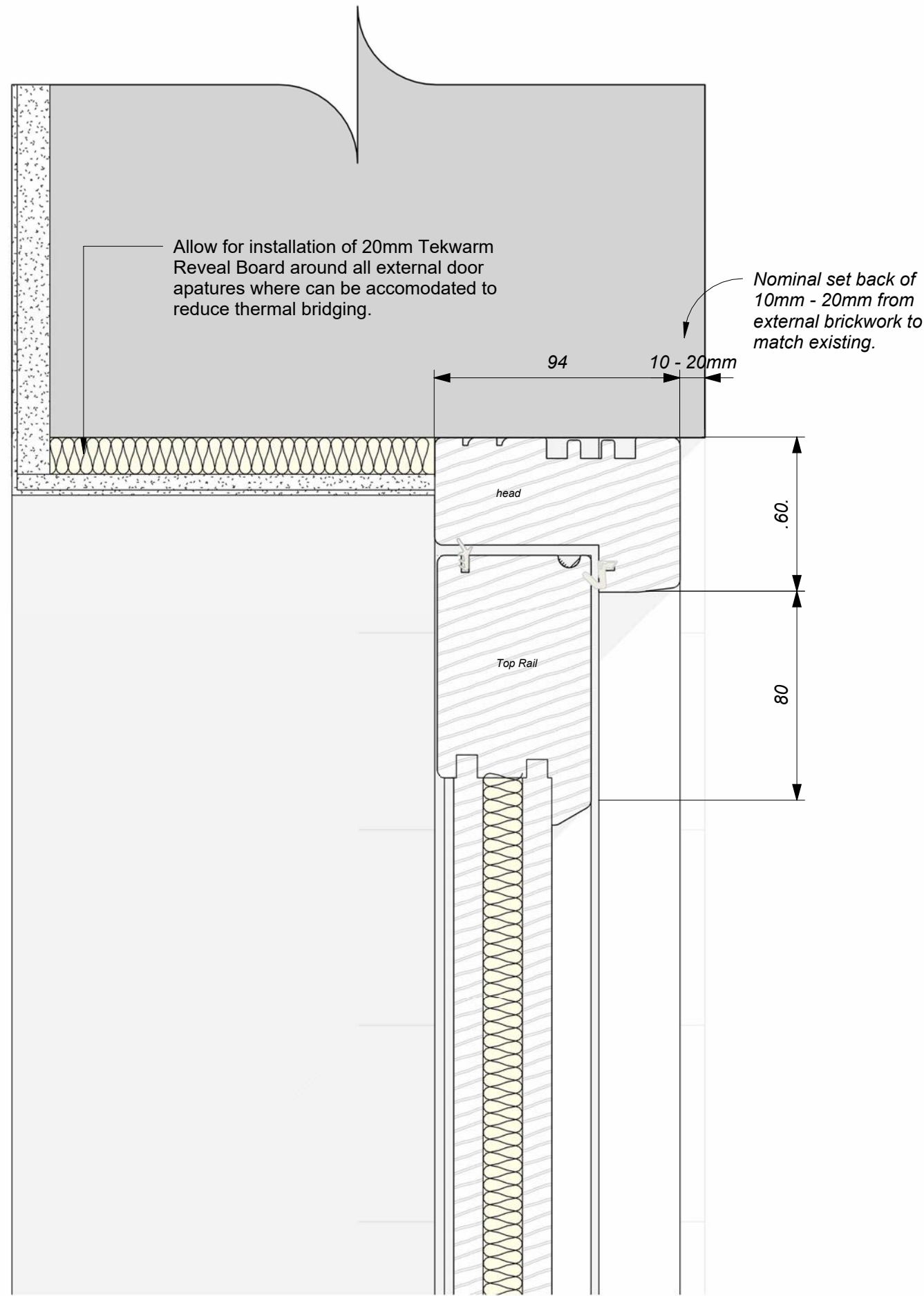
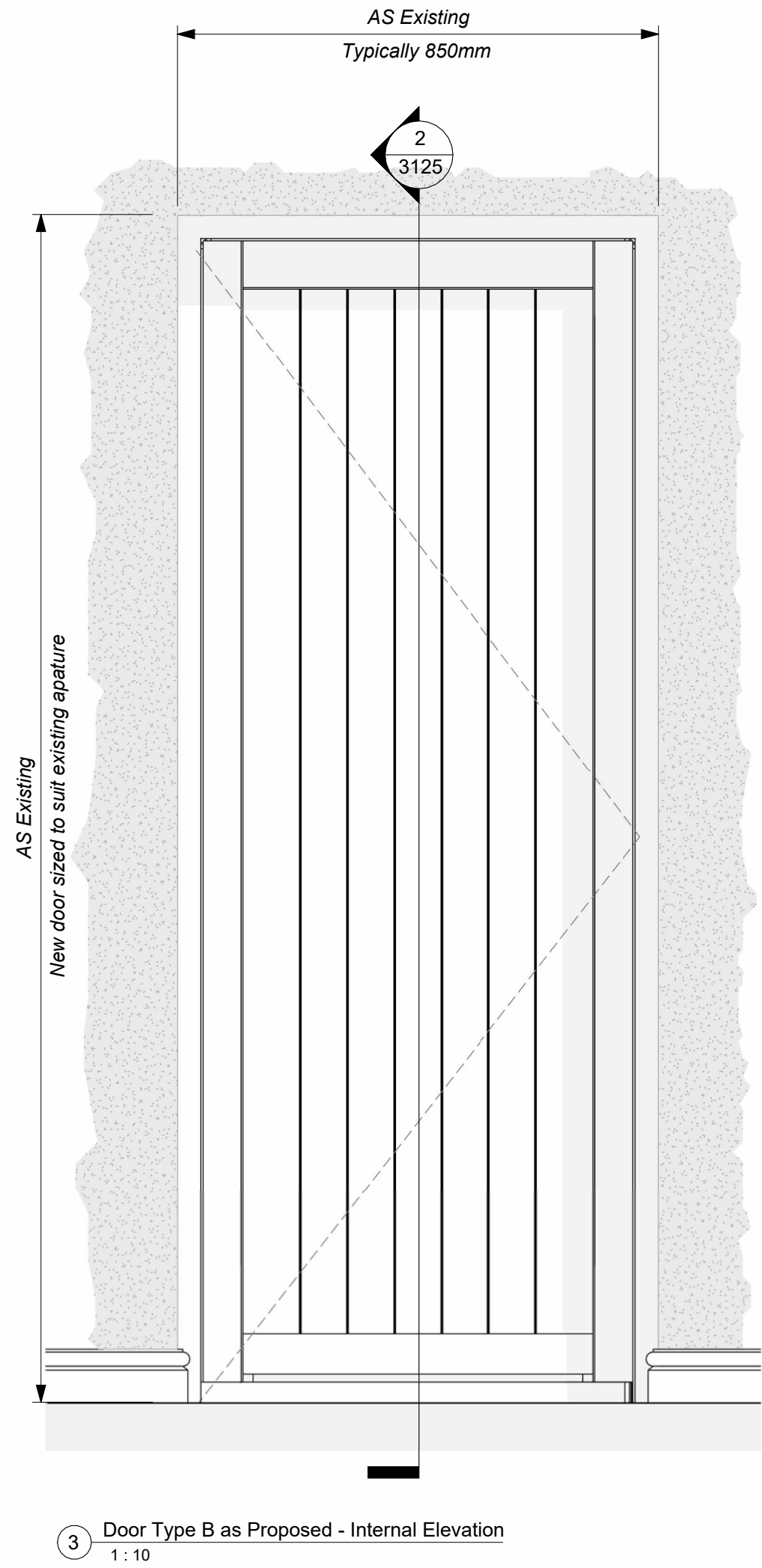
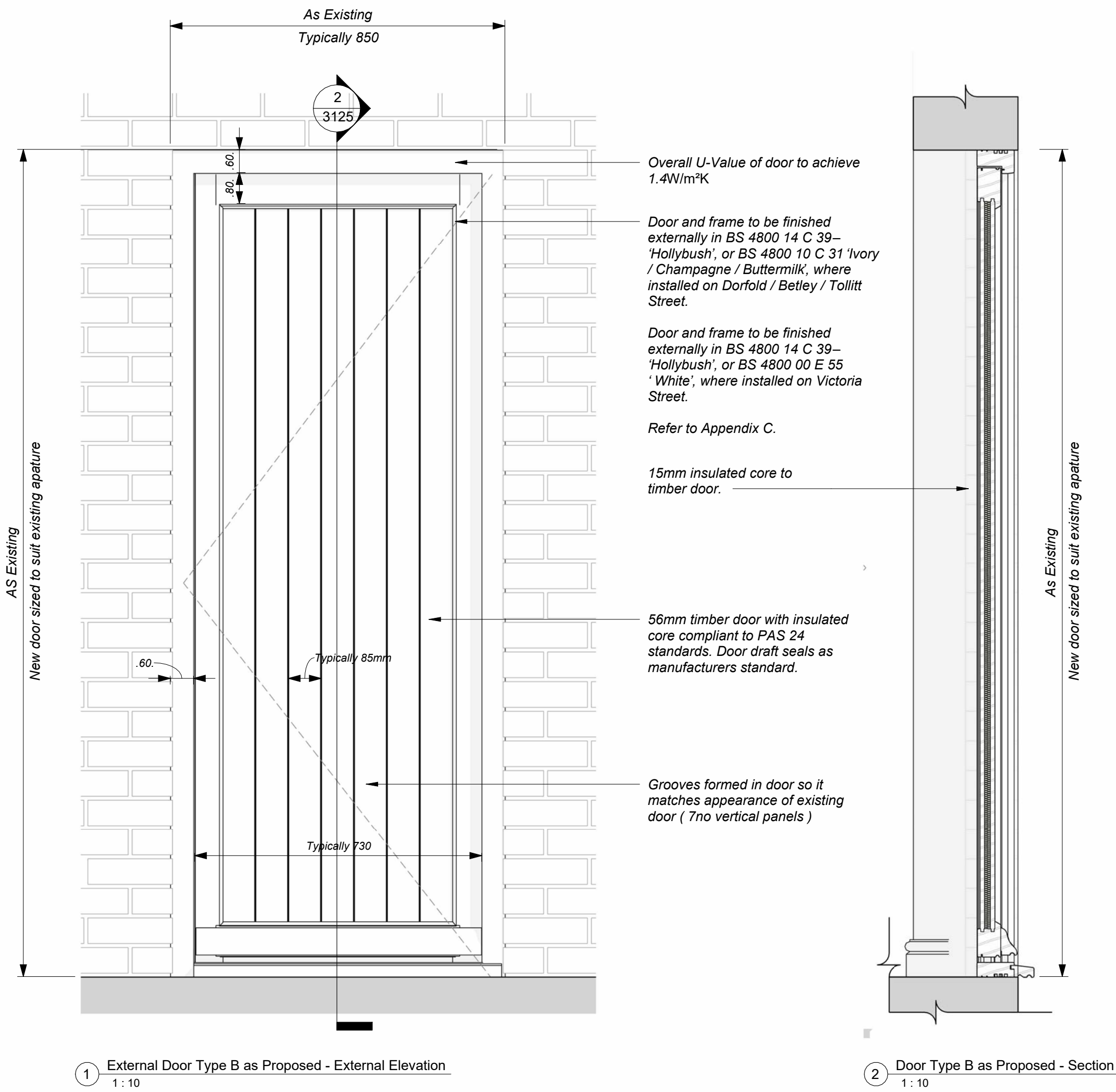


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#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Udoormaximum): 1.4 W/m²K
  - 15mm insulated core to door
- Acoustic performance: 38 dB
- Security: Certified to PAS 24 and Secured by Design
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.

#### Ironmongery Design Intent:



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

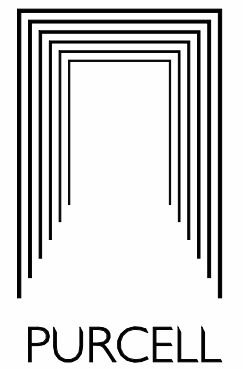
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT

#### SIZE

A1L

#### SCALE

As indicated

#### REV

SUITABILITY/REASON FOR ISSUE  
P06 S3 - For Review & Comment

#### DRAWING NUMBER

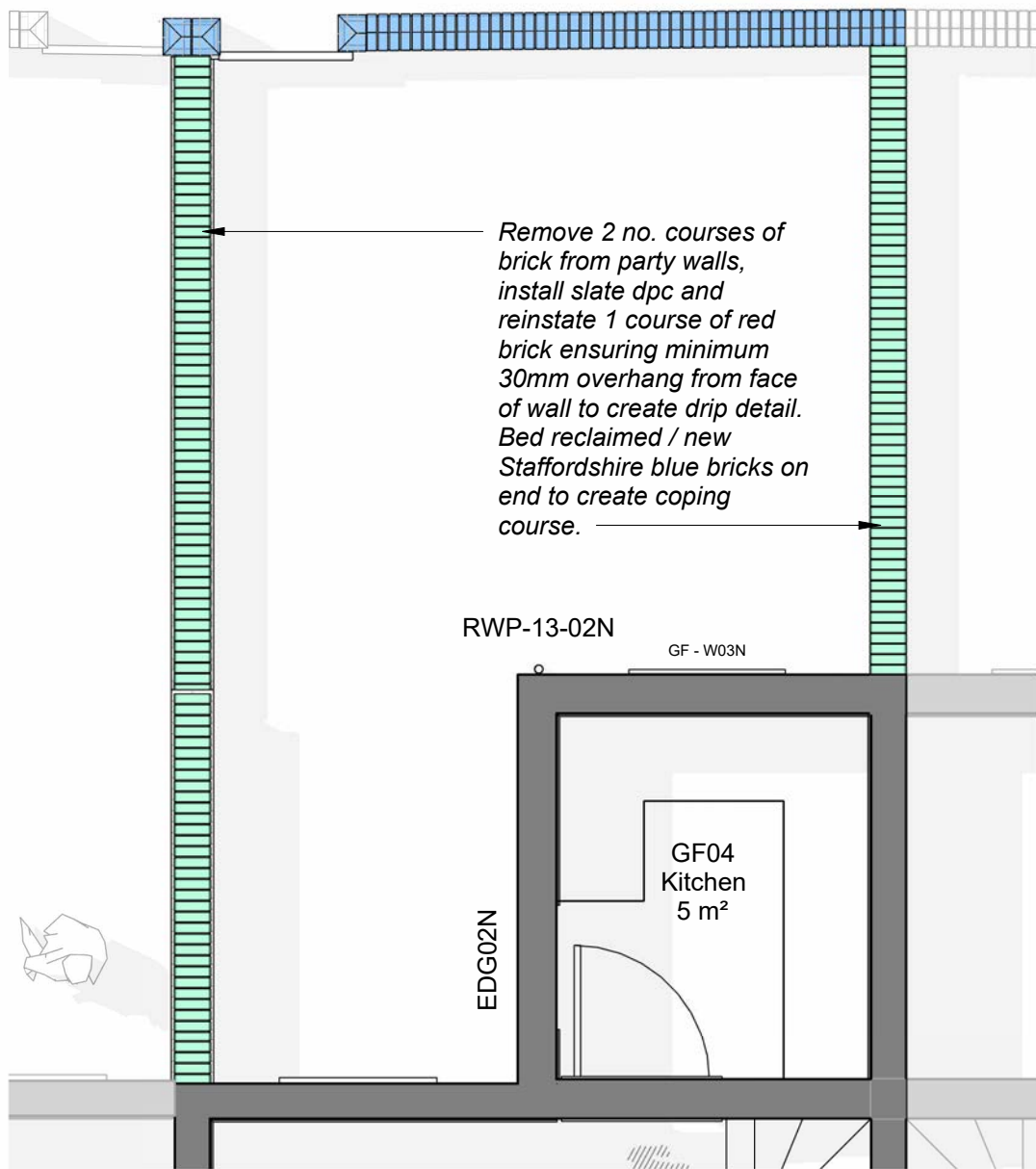
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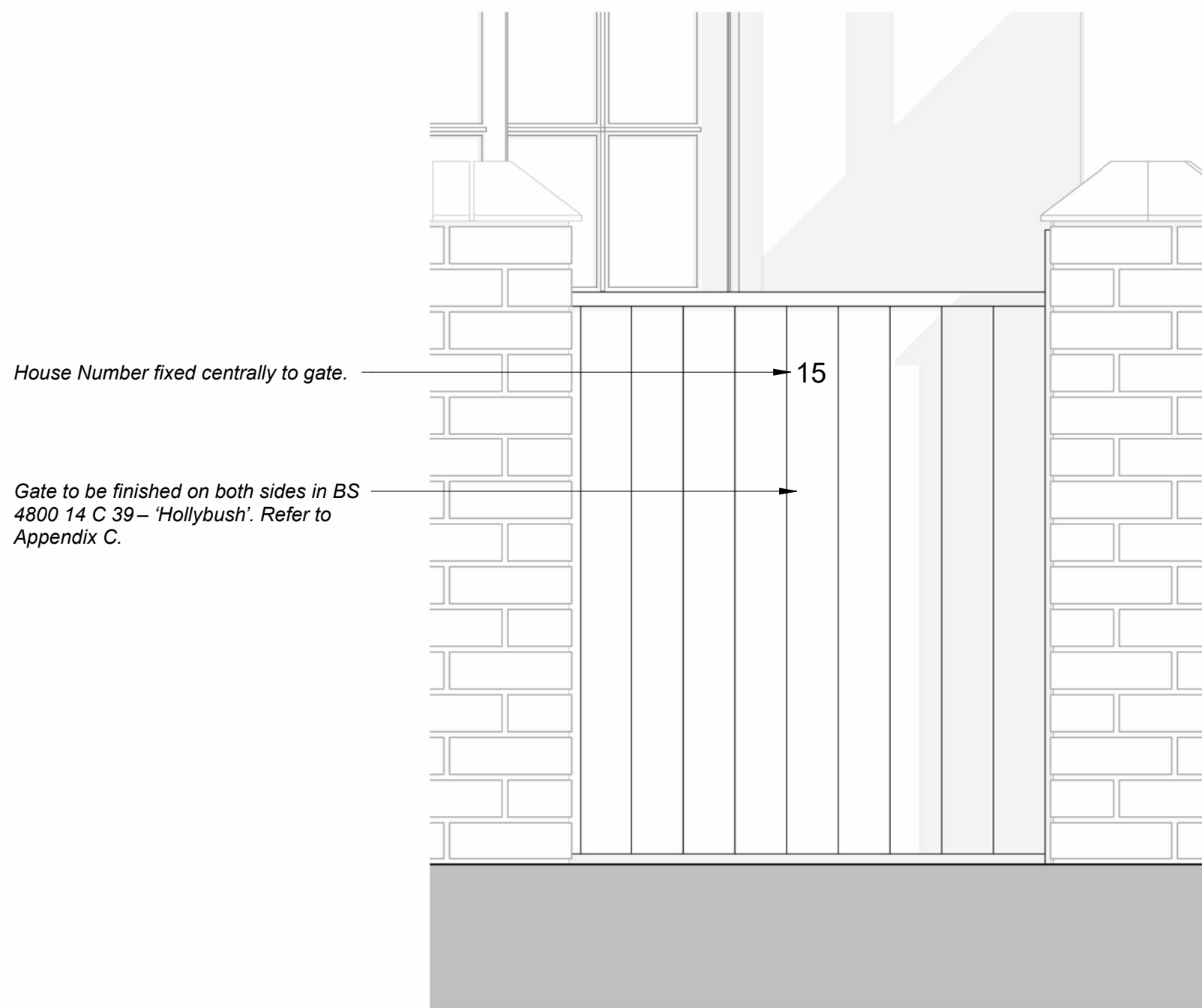




1 Typical Rear Elevation as Proposed  
1 : 50



2 Typical Back Yard Plan as Proposed  
1 : 50



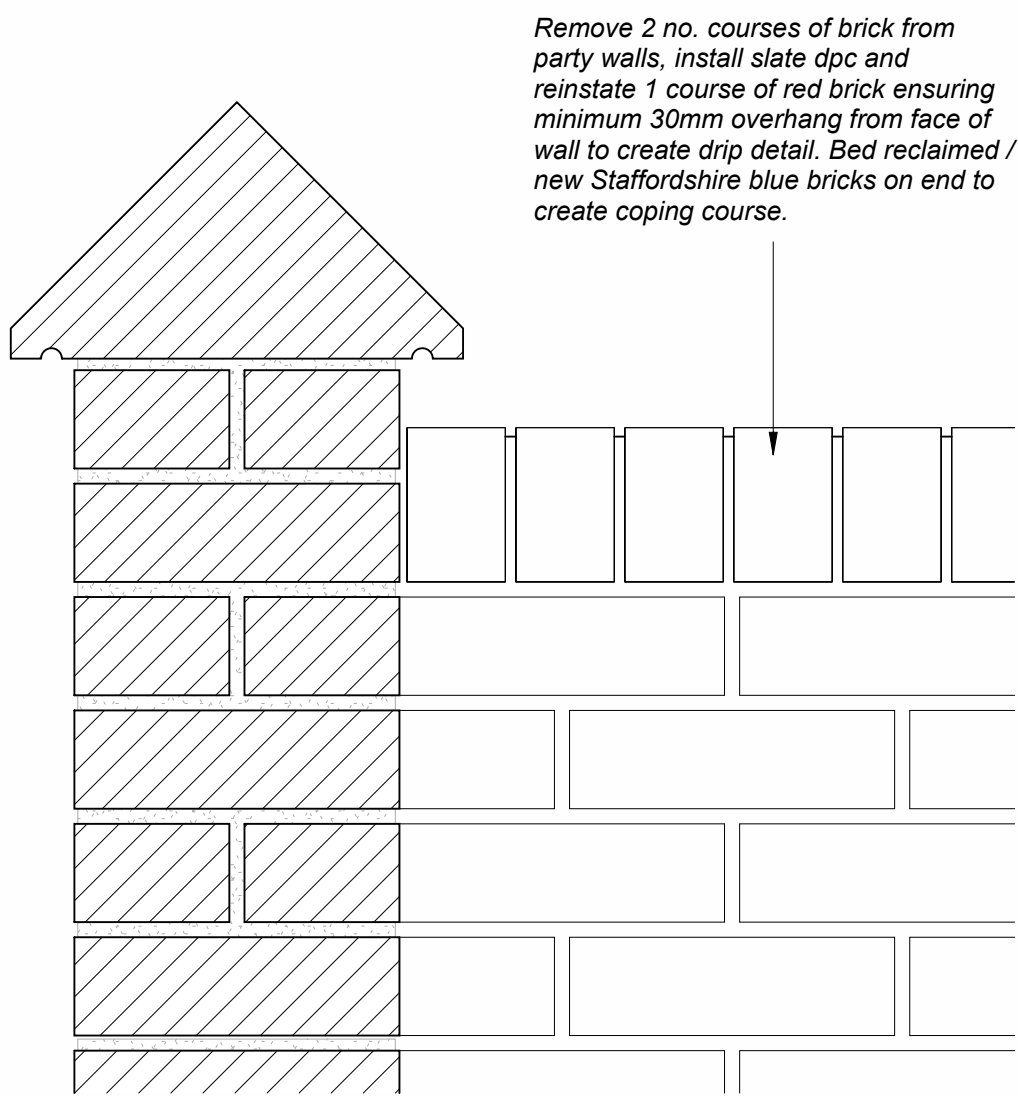
6 Rear Gate - Front Elevation  
1 : 10



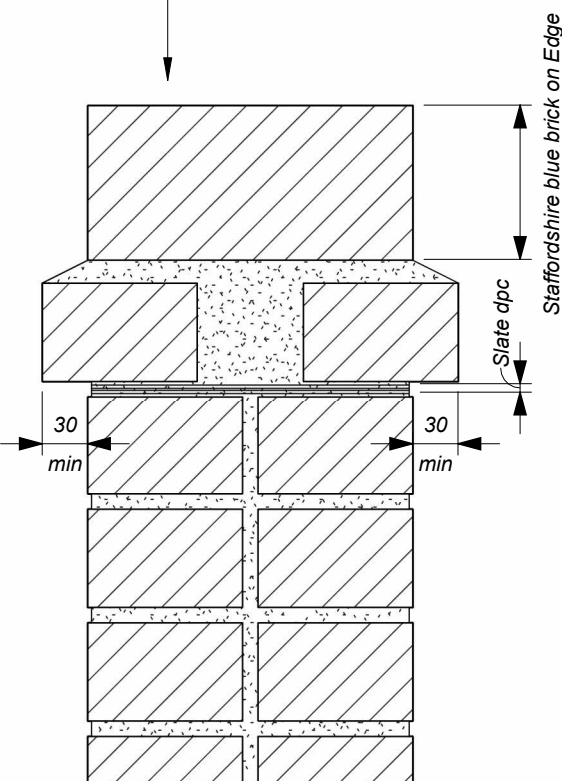
4 Typical Coping Detail to party walls  
NTS



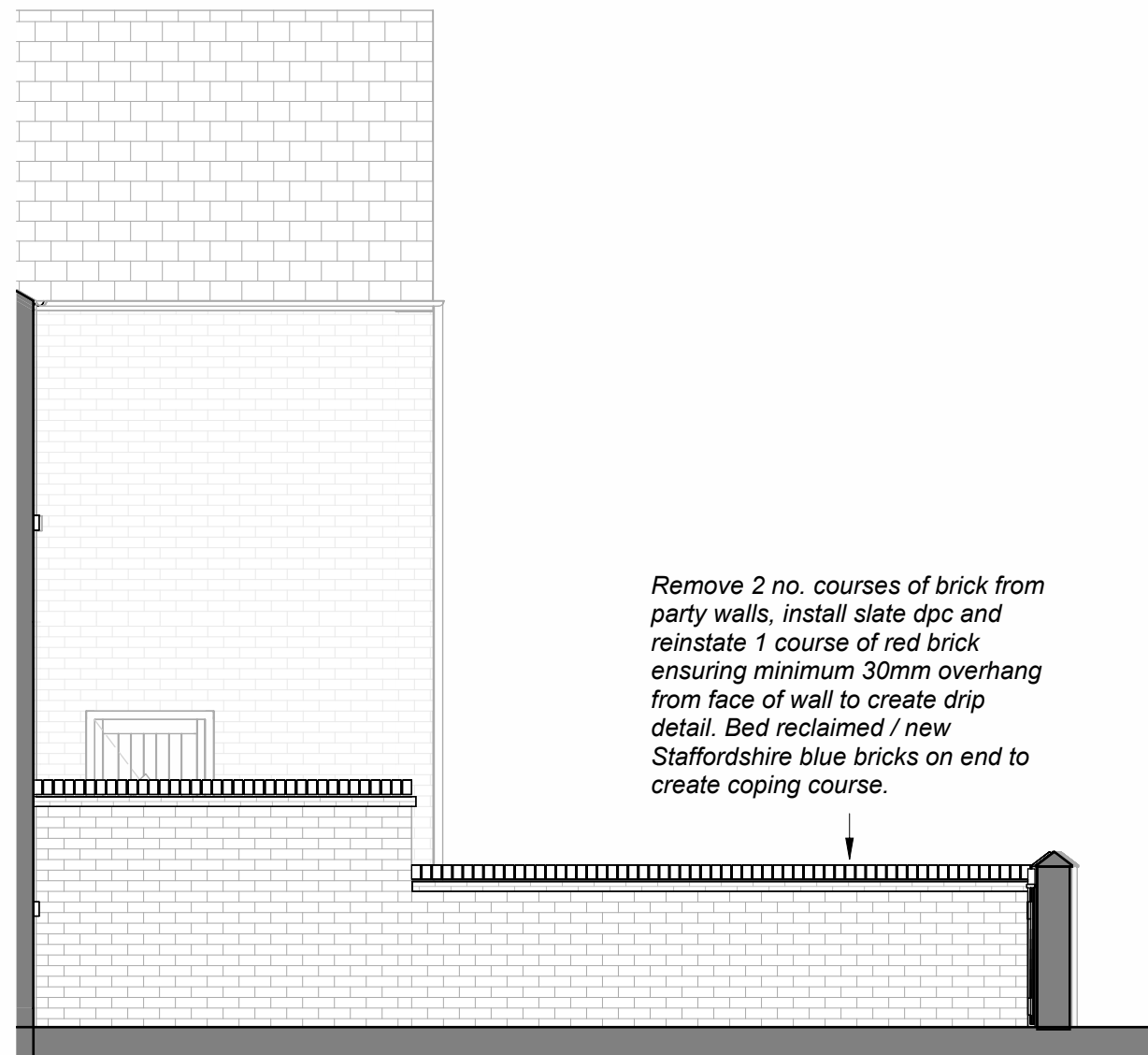
4 Typical Coping Detail to Rear / Side Boundary walls  
NTS



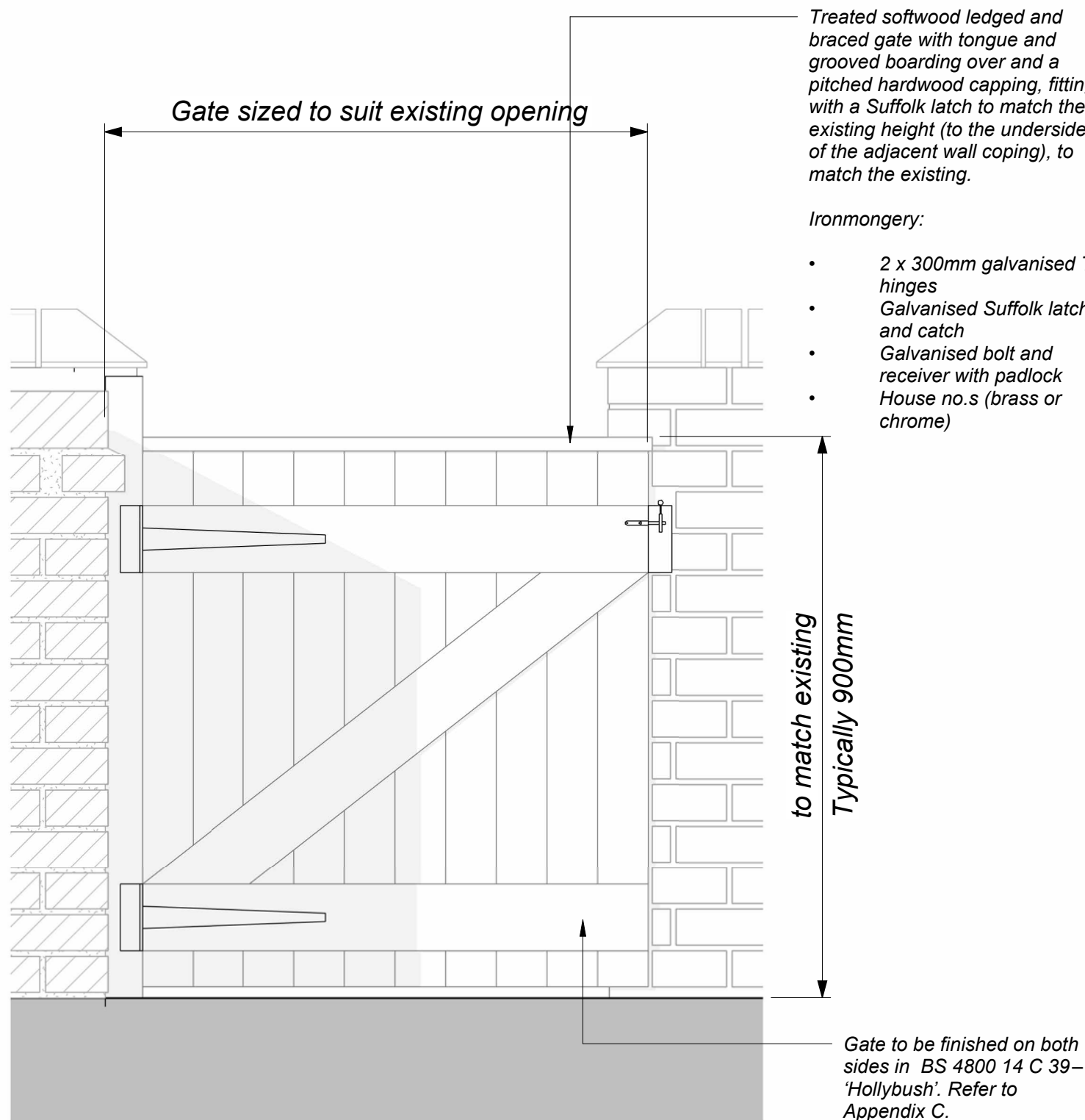
5 Boundary to Party Wall Connection Detail  
1 : 5



8 Section Through Party Wall as Proposed  
1 : 5



4 Party Wall Elevation as Proposed  
1 : 50



7 Rear Gate - Rear Elevation  
1 : 10

**Notes:**  
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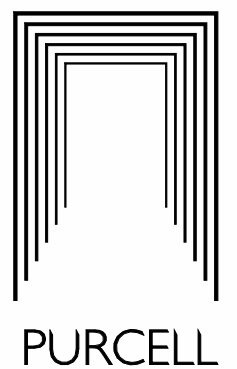
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P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

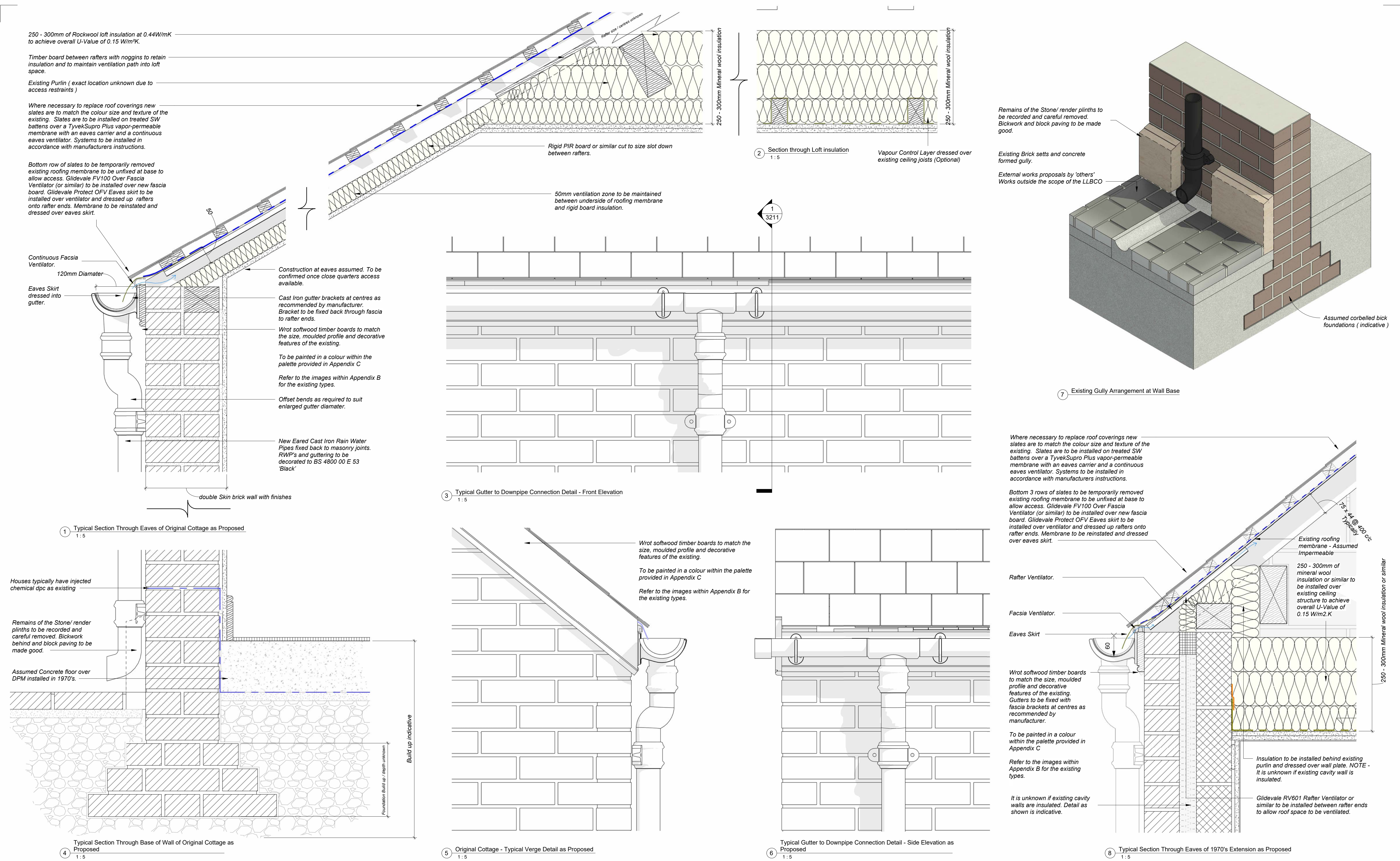
JOB NUMBER  
**243231**  
TITLE  
**Dorfold / Betley / Tollitt - Brick Copings Details to Boundary & Part Walls**

SIZE SCALE  
A1L As indicated  
REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**  
DRAWING NUMBER  
**243231-PUR-02-XX-DR-A-3201**

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APPENDIX B – 04 TOLLITT STREET

Tollitt Street – Photo Reference

04/04/2025

PURCELL 

## Mark Popely

St James's Building

79 Oxford St

Manchester

M1 6FQ

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[www.purcelluk.com](http://www.purcelluk.com)

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## APPENDIX B - 04 TOLLITT STREET



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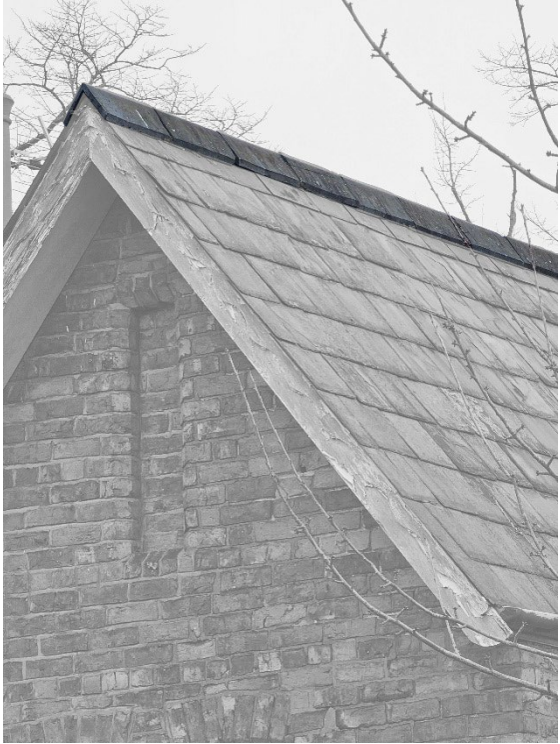



## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Replacement chimney pots are to be cream clay and match the existing in size.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Replacement buff stone copings are to match existing in size, profile and geology.</p> <p>Where original stone coping has been previously been replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	



## APPENDIX B - 04 TOLLITT STREET


<p>Blue Clay Ridge Tiles</p>	<p>These may be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing.</p>	 <p>'Uncapped' Ridge Tile Variant</p>  <p>'Flaunched' Ridge Tile Variant</p>
<p>Replacement Joinery for Barge boards to projecting rear gable</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to Gable end</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to</p>	<p>Wrot softwood timber boards to match the size, moulded profile</p>	

APPENDIX B - 04 TOLLITT STREET

<p>front projecting front Gable</p>	<p>and decorative features of the existing.</p>	
<p>Replacement blue clay pitched wall coping on the rear boundary.</p>	<p>New or salvaged blue clay triangular coping bricks to match the colour, size and finish of the existing.</p>	
<p>Replacement of blue engineering brick copings to side/ party yard walls</p>	<p>New or salvaged blue clay engineering brick to form a coping on side walls and act as a DPC. To match the colour size and texture of the existing. Refer to drawing 3201 for coping detail.</p>	



## APPENDIX B - 04 TOLLITT STREET

<p>Replacement yard gates</p>	<p>Treated softwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing. Refer to drawing 3201 for typical gate detail.</p>	
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## APPENDIX C – COLOUR SWATCHES

Dorfold, Betley and Tollitt Street

16/05/2025

PURCELL 



## Revisions

P01 – 04/04/2025

P02 – 16/05/2025

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## COLOUR SWATCHES FOR DECORATION SCHEME

Colour references in the schedule below act as a reference where the proposal is required to redecorate to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials, and commencement of works.


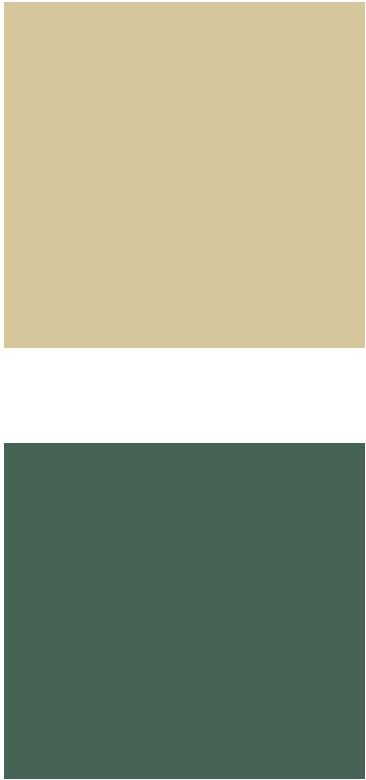


Items	Photo Reference	Description	Colour Reference
External Front Door		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rear Gate		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rainwater Goods		<b>BS 4800 00 E 53</b> 'Black'	

APPENDIX C - COLOUR SWATCHES



<p>Front Porch Gates</p>		<p><b>BS 4800 00 E 53</b> 'Black'</p>	
<p>Window frames</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
<p>Window / threshold Stone Sills</p>		<p><b>BS 4800 14 C 39</b> 'Van Dyke'</p>	



## APPENDIX C - COLOUR SWATCHES

<p>External Rear Door</p>		<p><b>Allow for either:</b></p> <p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p> <p><b>OR</b></p> <p><b>BS 4800 14 C 39</b> 'Hollybush'</p>	
<p>Front Porch timber work.</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	

APPENDIX C - COLOUR SWATCHES

<p>Barge Boards and Facias</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
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**DRAFT LOCAL LISTED BUILDING CONSENT ORDER FOR THE ON GRADE II LISTED BUILDINGS IN THE  
BOROUGH OF CHESHIRE EAST**

This Local Listed Building Consent Order is made under the provisions as set out in the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 and Sections 26D - G and 28A and Schedule 2A of the Planning (Listed Buildings and Conservation Areas) Act 1990

**1. Introductory**

THE LOCAL LISTED BUILDING CONSENT ORDER is made on the 28<sup>th</sup> day of May 2025

**2. The listed buildings covered by the order: -**

Dorfold Street numbers:

1, 3, 5, 7, 9, 11, 13, 15, 17 & 19

And

2,4,6,8,10,12, 14, 16, 18 & 20

**3. Description of the consented works**

**3.2 Replacement of non-original timber windows with **timber windows****

3.2.1 to qualify for consent under this order the works must:

- a – be as per the drawing and spec noted in drawing 3120 in appendix A
- b – any double glazing must be 14mm slim profile glazing with integral glazing bars
- c - windows to be painted to one of the colours within the palette provided in Appendix C, reveals to be as per drawings in Appendix A.
- D – Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

**3.3 Replacement of **timber external doors****

3.3.1 to qualify for consent under this order the works must:

- A – be as per the drawings and specification noted in drawings 3124 & 3125 in appendix A
- B - painted in the colour provided in Appendix C



C - Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

3.4 Works to the **roof**, specifically reroofing, replacing bargeboards, replacing flashing, but excluding works to the timber structure.

3.4.1 to qualify for consent under this order the works must:

A – Blue clay ridge tiles to be new or salvaged, plain or flaunching but must match the existing in colour, size/profile and finish of the existing, as per the images in Appendix B.

B - Renewal of roof covering, to include a permeable roofing membrane with eaves carrier, new slates to match existing and re-bedding ridge tiles. As per drawings in Appendix A.

C - Replacement insulation quilt may be installed in roof spaces, between and above rafters, providing an eaves ventilator system is installed to ensure the roof space remains ventilated at the eaves.

D - be as per to drawings in Appendix A.

E - Welsh slates: Wholesale replacement of a roof or roof slope – new Welsh slates to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator. Refer to drawing 3211 in Appendix A. A sample slate must be submitted for approval by the Local Planning Authority via formal discharge of condition prior to works being carried out.

F - Mortar for Flaunching for chimney pots, to be as per the specification in 3.7.1C.

G - Lead flashings to:

Valley gutter and soakers– Code 6, Soakers Code 4 (minimum)

Roof abutment drip flashings and soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.5 Chimney works

3.5.1 To qualify for consent under this order the works must:

A – Re-bed existing sound clay chimney post in a mortar flaunching. - Flaunching for chimney pots to be a Natural Hydraulic Lime mix as per 3.7.1C.

B - Replacement chimney pots are to be cream clay and match the existing in size.

C - Cream clay pepper pot ventilators are advised to keep the weather out of redundant flues.

D - Refer to the images on drawings in Appendix B for the existing types.

E - Other clay pots and ventilators are not included in this order and require an application for Listed Building Consent.

F - Lead flashings to:

Coping DPC to chimney stack – Code 5 (minimum)

Chimney stepped flashings and drip flashings/ soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.6 Relocation of **Loft Hatch**

3.6.1 To qualify for consent under this order the works must:

A - Loft hatches and access ladders may be installed within the zones identified on the drawings only.

B - Adjacent finishes should be made good following installation on a like-for-like basis.

C - be as per the drawings and specification noted in drawing 3020 in appendix A

### 3.7 Repointing and replacement bricks

3.7.1 To qualify for consent under this order the works must:

A - New or salvaged red/orange clay facing bricks to match the colour size and texture of the existing, sample to be submitted for approval to the Local Planning Authority by the via formal discharge of condition prior to works being carried out.

B - Cut out defective bricks by hand and indent new bricks as single bricks, fully bedded and shimmed with mortar as below

C - Rake out (no mechanical tools to be used) and repoint with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

D – to be as per the repointing spec in drawing 3020 in appendix A including raking out

E – mortar finish to be a flush joint/ tampered to expose aggregate following initial set.

### 3.8 Replacement **rainwater goods**

3.8.1 To qualify for consent under this order the works must:

A - The rainwater drainage system serves multiple properties and to function correctly must remain as installed. Replacement sections of cast iron gutters, downpipes and associated fittings must match the drawings in Appendix A exactly.



- 120mm diameter half round gutter on fascia brackets, 75mm diameter downpipes/ fixing brackets

B - To be as per drawing 3211 in Appendix A.

C - To be painted the colour in the palette provided in Appendix C

### 3.9 Works to **Stone**

3.9.1 To qualify for consent under this order the works must:

A - stone window cills to be painted the colour in the palette provided in Appendix C

B - Stone/ render plinths - Careful removal of the remains of the stone plinth (to a specification in appendix A) and replacement render sections is permitted, providing the brickwork behind and pointing are repaired in line with this specification and undertaken at the same time.

### 3.10 Works to **garden/yard walls** and **gates**

3.10.1 To qualify for consent under this order the works must:

A – be treated softwood or hardwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing.

B - Gates to be as per drawing 3201 and images contained with Appendix B for the existing types.

C - Blue clay pitched wall coping on the rear boundary to match the colour, size and finish of the existing.

D - Refer to drawing 3201 and Appendix B for the existing types of blue clay pitched wall coping on the rear boundary.

E - New or salvaged blue clay engineering brick to form a coping on side walls and act as a Damp Proof Course. To match the colour size and texture of the existing.

F - Replacement of blue engineering brick copings to side/ party yard walls to be as per drawing 3201 and Appendix B.

G - Rake out and repoint / rebuild with

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved) Refer to drawing 2120 for specification & raking out methodology
- Flush joint/ tamp to expose aggregate finish following initial set.

### 3.11 external joinery Replacement Joinery for **Barge Boards** and **Fascia Boards**

3.11.1 To qualify for consent under this order the works must:

- A - Planed softwood timber boards to match the size, moulded profile and decorative features of the existing.
- B - To be painted the colour in the palette provided in Appendix C
- C - To be as per the images within Appendix B.

### 3.12.1 decoration of **External joinery, External metalwork, & Painted stonework**

3.12.1 To qualify for consent under this order the works must:

- A - Be painted the colour in the palette provided in Appendix C

## INFO NOTED IN APENDIX 1

### 4. **Statement of Reasons**

4.1 The Council recognises its role in the climate emergency and this Order is an opportunity for residents to extend the service life and improve energy efficiency of the properties covered within this Order, whilst recognising the importance they play in the town's history. One of the most efficient ways to eliminate unnecessary energy use is to improve a building's condition. Defects such as damp walls and poorly fitting doors or windows can substantially reduce thermal performance; and repairs are an important energy-saving measure in their own right, and an essential prerequisite for some thermal improvements, such as the addition of loft insulation.

4.2 Constructed in the 1840s, the properties, the cottages are directly associated with the development of the Grand Junction Railway in Crewe and specifically the relocation of the railway locomotive and engineering works from Edge Hill to Crewe in 1843. The cottages are some of the few rows of cottages remaining from this large-scale development and have high historical value as reminders of this significant development. There is also associative value in their connection with architect John Cunningham, known for his railway architecture and for his design of Liverpool's Lime Street Station. The houses are also associated with John Betjeman, who campaigned against the cottages' demolition in the 1970s whilst he was Poet Laureate. As houses constructed for the railway community of Crewe the cottages have high communal value, many of local people will have ancestors who worked in the railways and the cottages form part of the local heritage. The importance to the local community was both demonstrated and strengthen during campaigns in the 1970s for their retention and restoration following plans to demolish them.

### 5. **Justification for Making the Order**

5.1 The initial group of works will relate to the 'Warm and Healthy Homes' Grant Scheme works. However it is anticipated that many of the works proposed under the order would come up general works to improve the condition of the buildings and it is therefore proposed that the order be in place for 10 years to allow any properties not taking up the grant offer to carry out the same works under the same conditions.



## **6. Purpose of the order**

6.1 The buildings contained within the order are all Grade II listed and as such would require individual consents for the works. This would create repetitive almost identical applications for each individual property as each property within its row is to a matching design. The symmetry of the rows is an important part of the significance of the buildings and this order allows for a uniform approach to each row to preserve and enhance that uniformity.

## **7. Term of order**

7.1 Dates from 28<sup>th</sup> May 2025 and to 27<sup>th</sup> May 2035 (a period of no more than 10 years from the starting date of the Order).

## **8. Other particulars:**

### **8.1 Operation of the Order**

- i) The Order has been made in accordance with the requirements of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014, including a public consultation of at least 28 days, and consultation with Historic England of at least 28 days. Representations received in response to these consultations have been considered in drawing up the final version of the Order.
- ii) The Council will review the operation of the Order on an annual basis. If at any time during the life of the Order it is considered that it is either ineffective or is giving rise to unexpected and unacceptable harm to listed buildings to which it applies, it will be varied or revoked.
- iii) If the Council revokes this Order at any point prior to the end date given above, any works authorised by the Order which have been started but not completed may be completed within six months of the date of revocation. Works which have been started but not completed at the end date given above may also be completed within six months of that date. However, once the Order expires or is revoked, any works previously covered by the Order which have not been started, will no longer benefit from the consent granted through the Order.
- iv) If at the end of the term of the Order it is considered that it is operating effectively and does not give rise to undue harm, it will be renewed, and a longer term considered.
- v) As an Order confers listed building consent for specified works, a breach of the Order by carrying out works not authorised by the Order may lead to enforcement action.

## **9. Appendices** Supplementary information

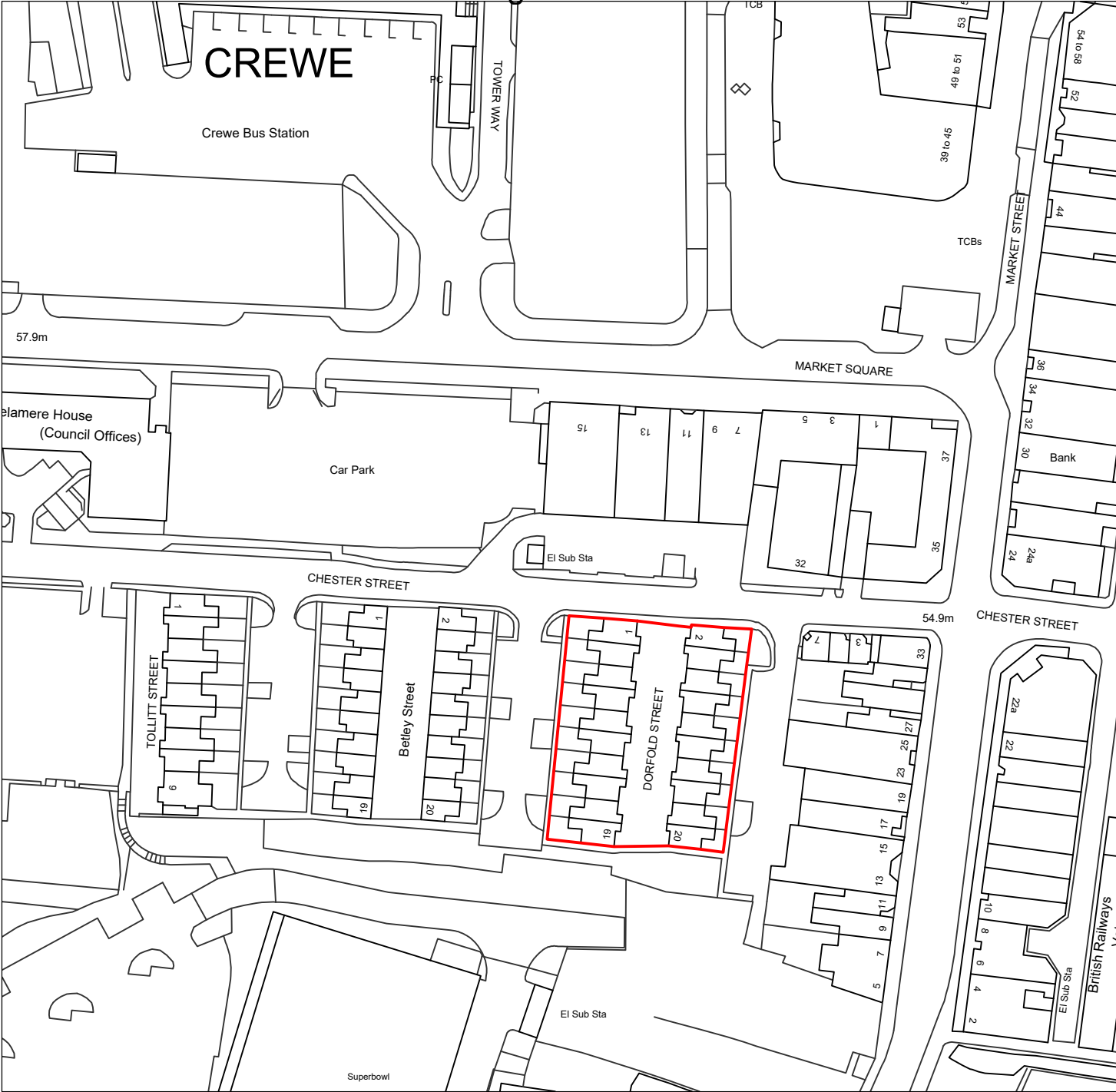
APPENDIX A – DRAWING PACKAGE

Dorfold Street

24/03/2025

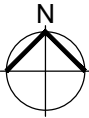
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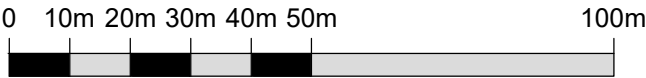


1  
0052

DORFOLD STREET - SITE LOCATION PLAN  
SCALE 1:1250




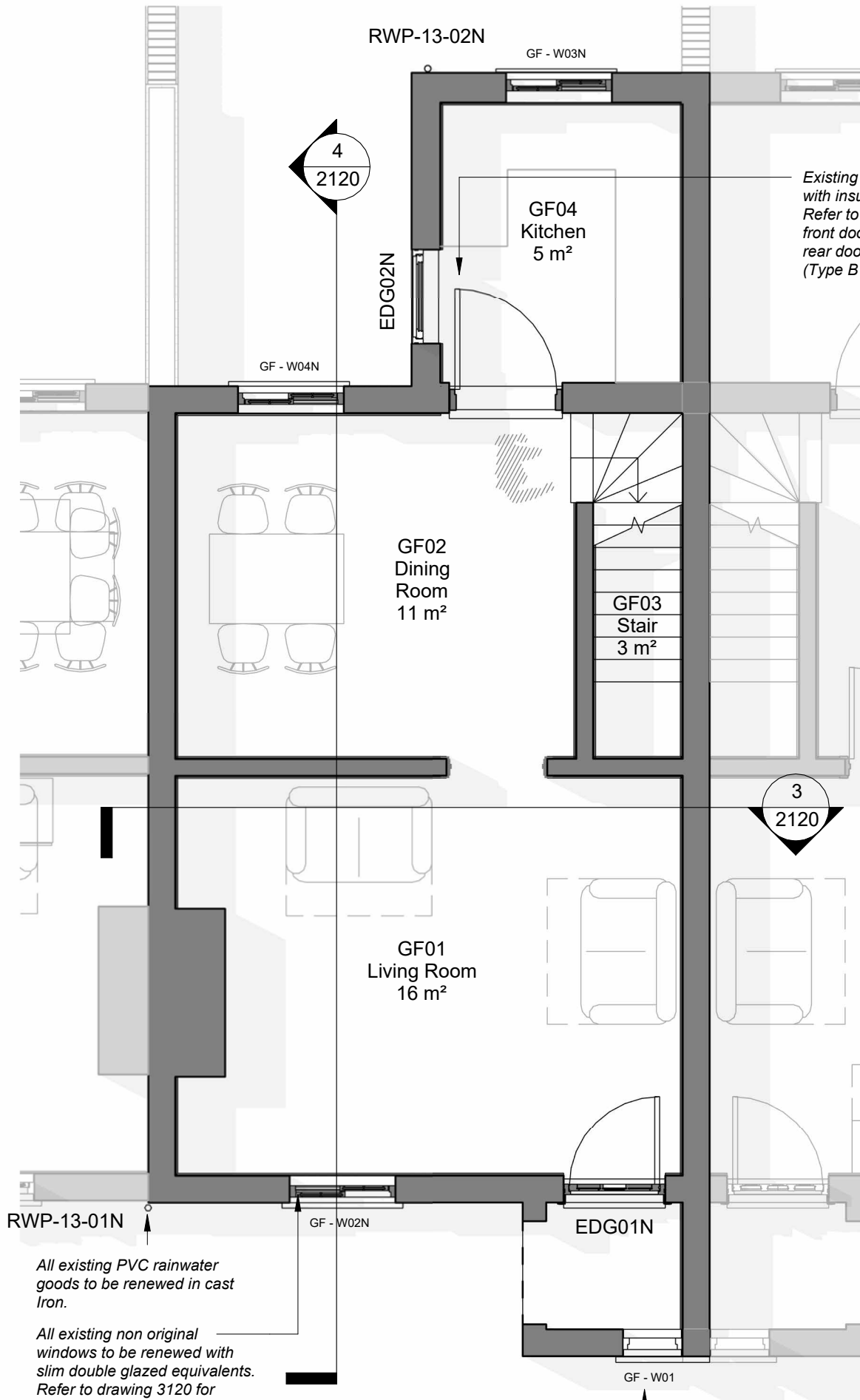
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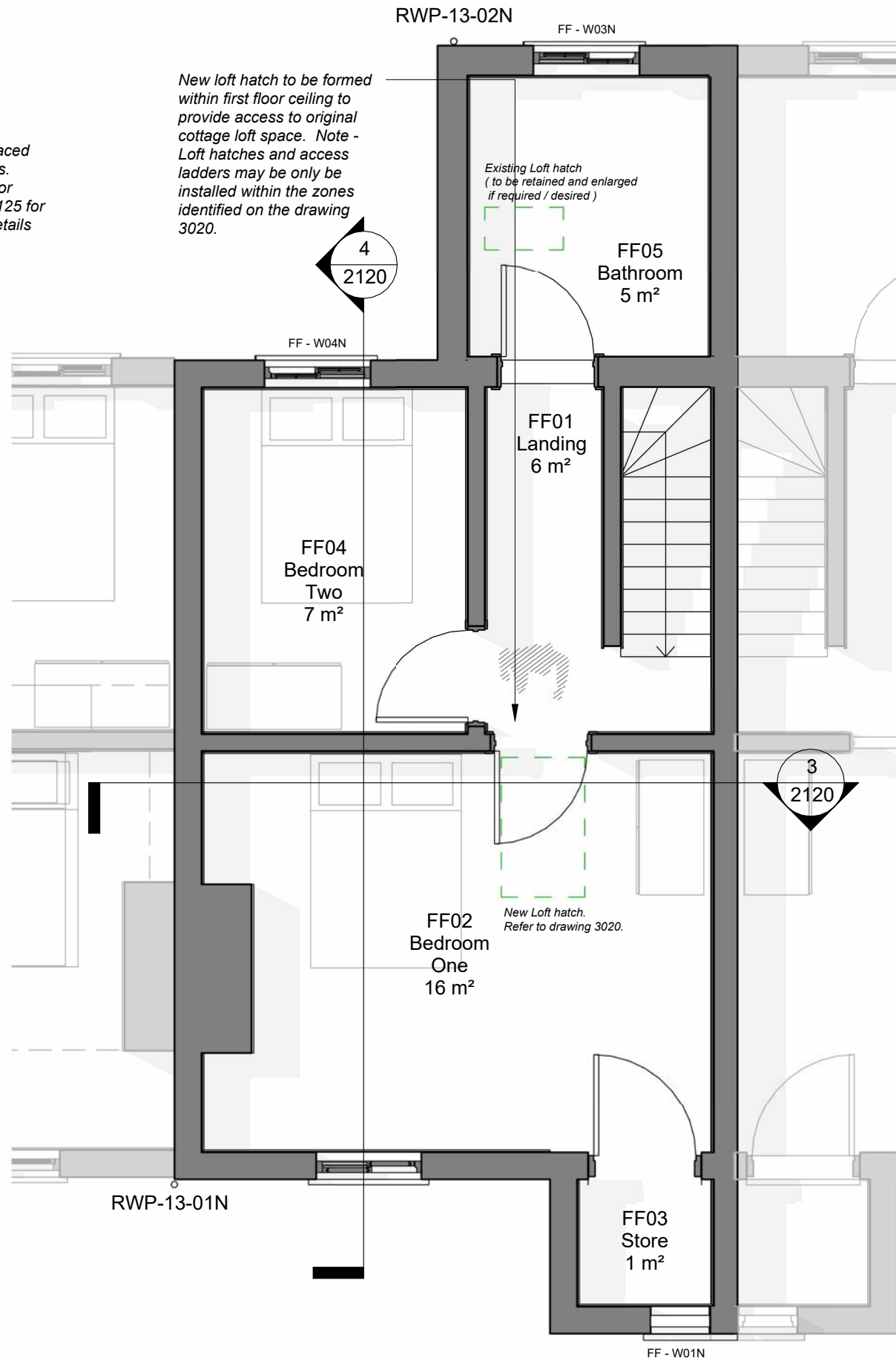
KEY

 Site Boundary Line

					CLIENT <b>Cheshire East Council</b>					
					JOB NUMBER <b>243231</b>	PROJECT <b>CEF Crewe, Warm and Healthy Homes</b>	SIZE <b>A4P</b>	SCALE <b>As Indicated</b>		
					TITLE <b>Dorfold Street - Site Location Plan</b>					
					REV <b>P01 S3 - For Review &amp; Comment</b>					
					DRAWING NUMBER <b>243231-PUR-02-00-DR-A-0052</b>					
P01	18/03/2025	AM	MP	First Issue						
REV	DATE	BY	CHK	DESCRIPTION						



1 Ground Floor as Proposed  
1 : 50



2 First Floor As Proposed  
1 : 50

**Notes:**

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
Cheshire East Council

**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231

**PURCELL**

**TITLE**  
Typical Dorfold / Tollitt Street Dwelling - Proposed Ground and First Floor Plans

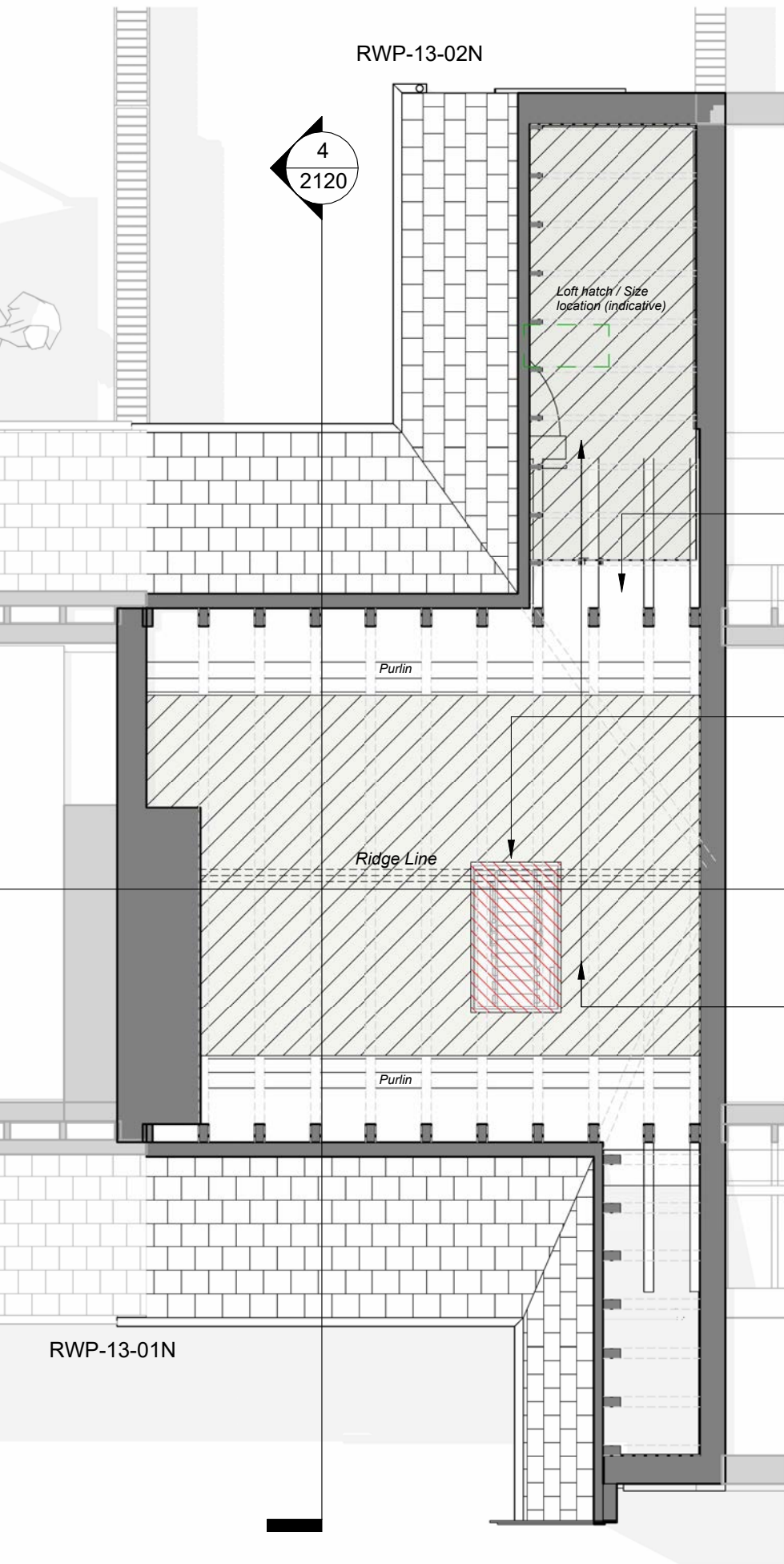
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**REV** P05  
**SUITABILITY/REASON FOR ISSUE** S4 - For Approval/

**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-2020

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All existing PVC rainwater goods to be renewed in Cast Iron.

Refer to drawing 3211 for typical details

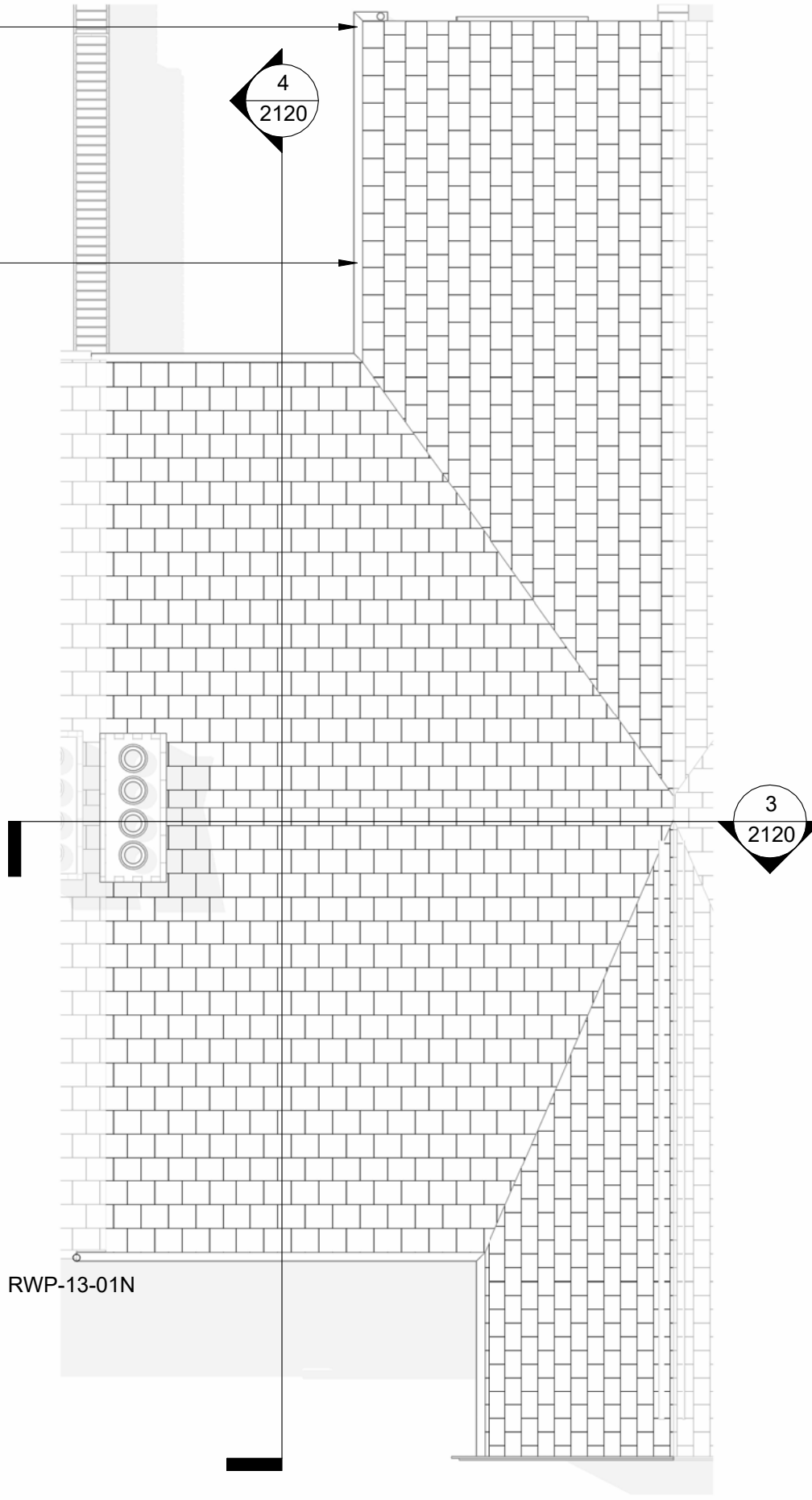
Where necessary to replace roof coverings new slates are to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator

Existing rafters prevent safe access between loft space to 1970's extension and original cottage loft space.

New loft hatch with pull down ladder to be installed first floor ceiling. Refer to drawing 3020 for details.

Allow boarding out of loft space around new / enlarged hatches between existing purlins

RWP-13-01N



RWP-13-01N

1 Loft Plan as Proposed  
1 : 50

2 Roof Plan as Proposed  
1 : 50

**Notes:**

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**Key Plan**  
not to scale

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P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT

**Cheshire East Council**

PROJECT

**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER

**243231**



PURCELL

TITLE

**Typical Dorfold / Tollitt Street Dwelling - Proposed Loft and Roof Plan**

SIZE SCALE

A3L 1 : 50

REV SUITABILITY/REASON FOR ISSUE

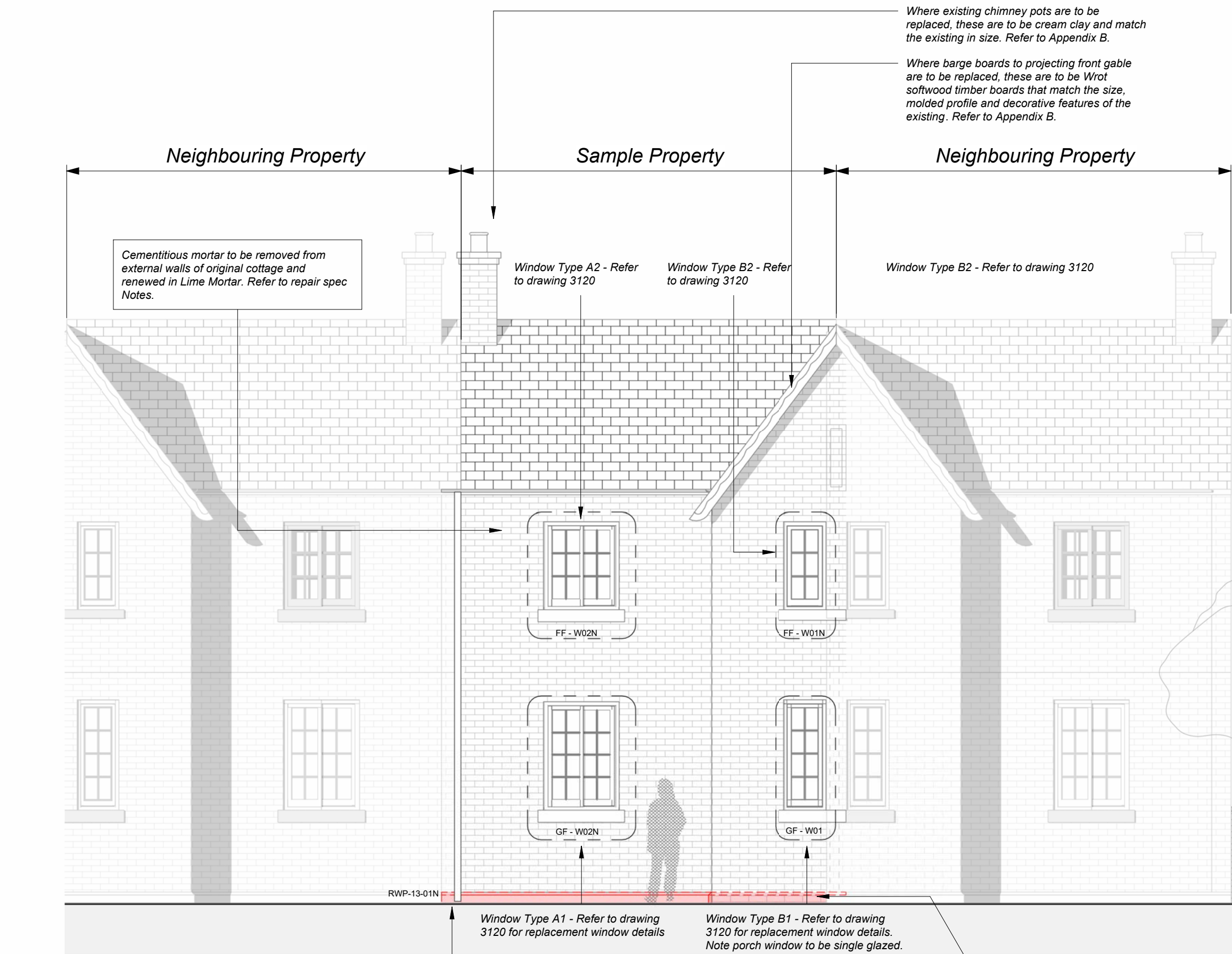
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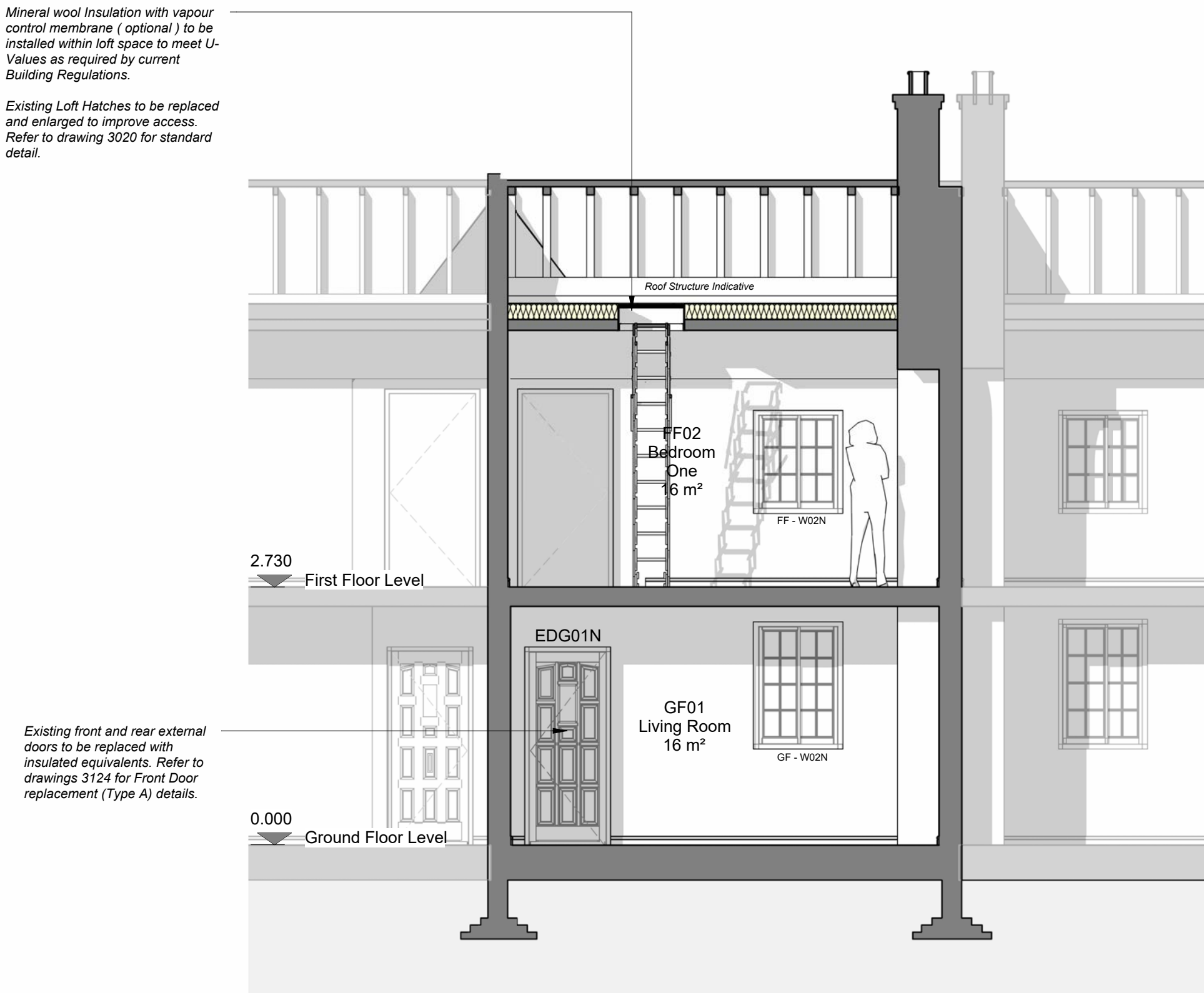
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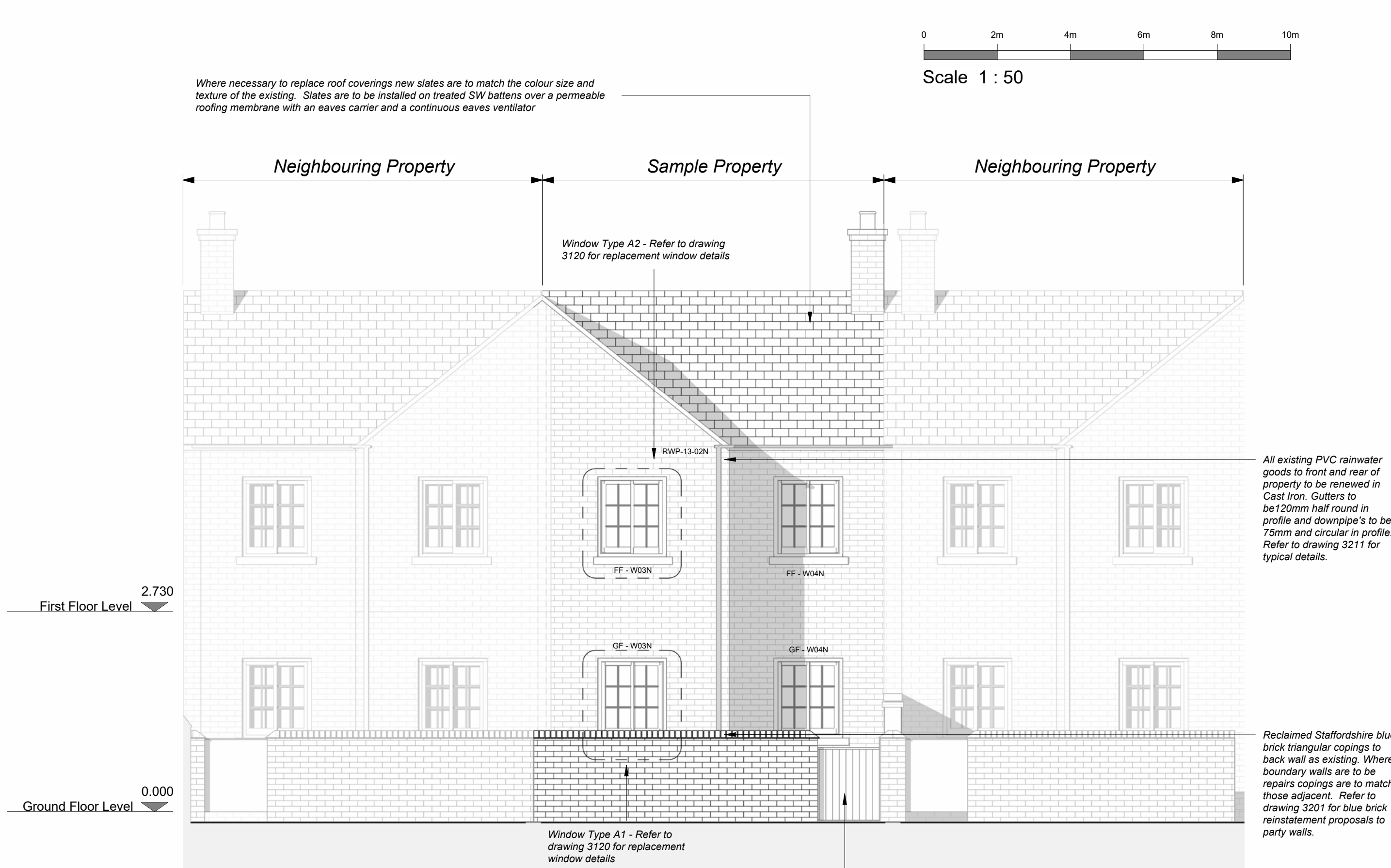




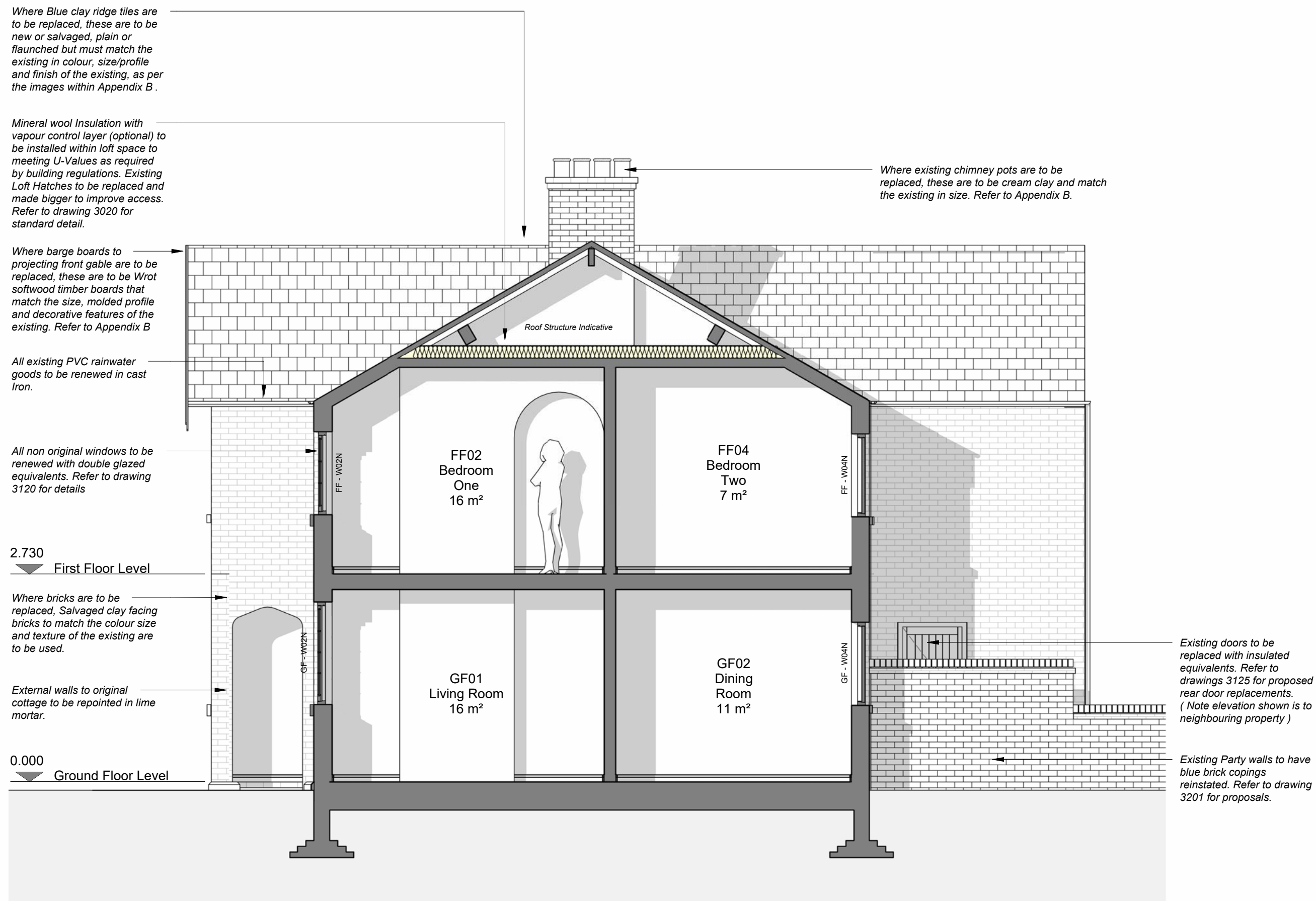
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1 : 50



3 GA Section as Proposed A-A  
1 : 50



2 Rear Elevation as Proposed  
1 : 50



4 GA Section as Proposed B-B  
1 : 50

**Notes:**

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**Key Plan**  
not to scale

**NOTES**

**Removal of cementitious pointing of brickwork with repointing with Lime Mortar**

- 1. Removal of existing cementitious mortar and cement patch repairs**
  - Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arises and flush out with water. Remove cement pointing by using hand tools such as quirks or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.
  - Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.
  - Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.
- 2. Repointing in Lime mortar**
  - Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour; also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.
  - Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arrises or spread over any worn or rounded edges of the bricks or stone.
  - As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

- 3. Lime Mortar Spec mix spec**
  - 1. Mix:**
    - 1 part Hydraulic Lime, 3.5 NHL
    - 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
    - 1/2 part fine red sand sieved to <600 microns
    - 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)
  - 2. Additives:**

Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd
- 4. Lime Mortar Spec mix Photo**



P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	21/11/2024	MP	MP	Issued for Information
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
**Cheshire East Council**

**PROJECT**  
**CEF Crewe, Warm & Healthy Homes**  
**JOB NUMBER**  
**243231**

**PURCELL**

**TITLE**  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Elevations and Sections**

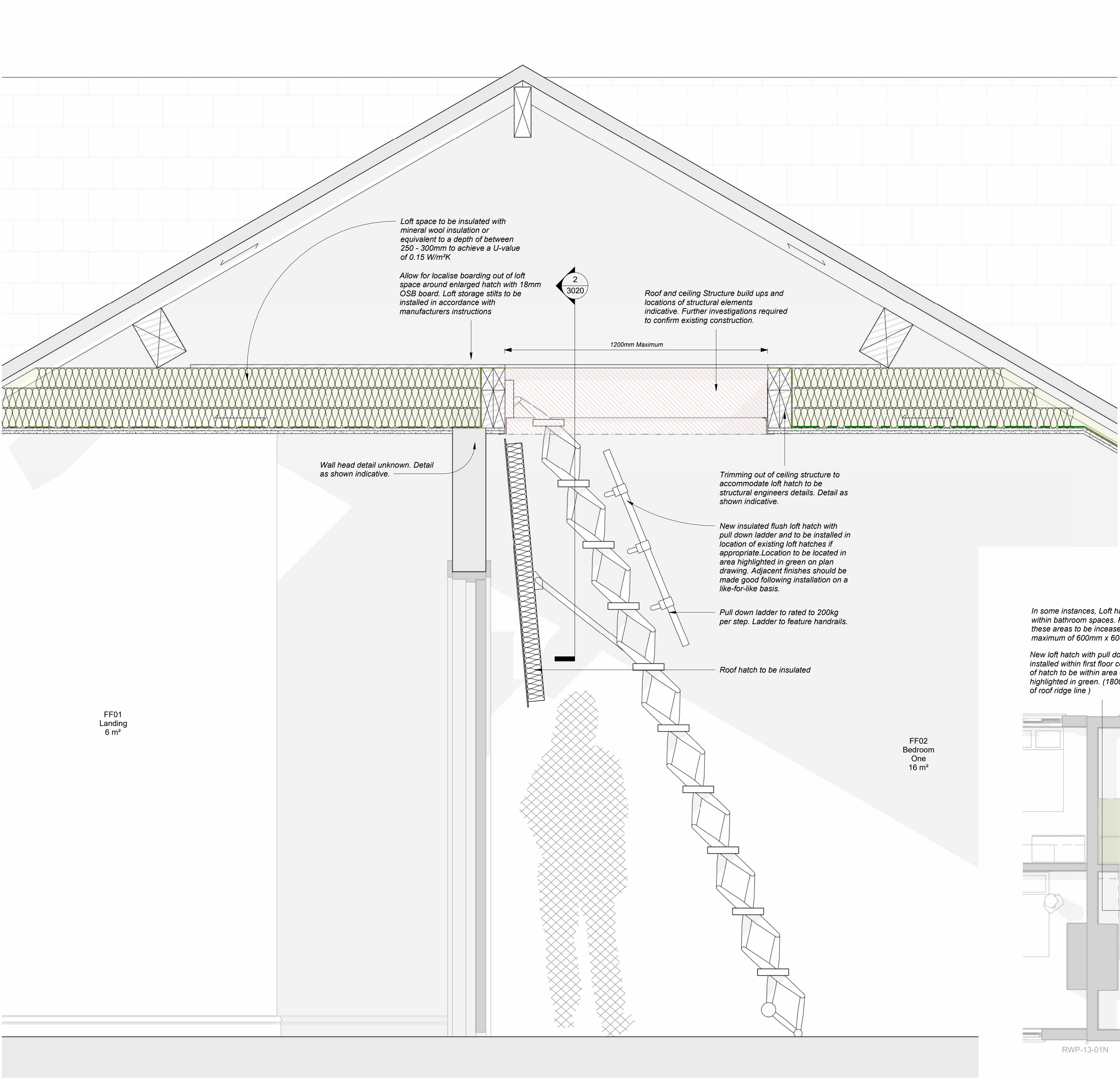
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**REV** **SUITABILITY/REASON FOR ISSUE**  
**P05** **S4 - For Approval**

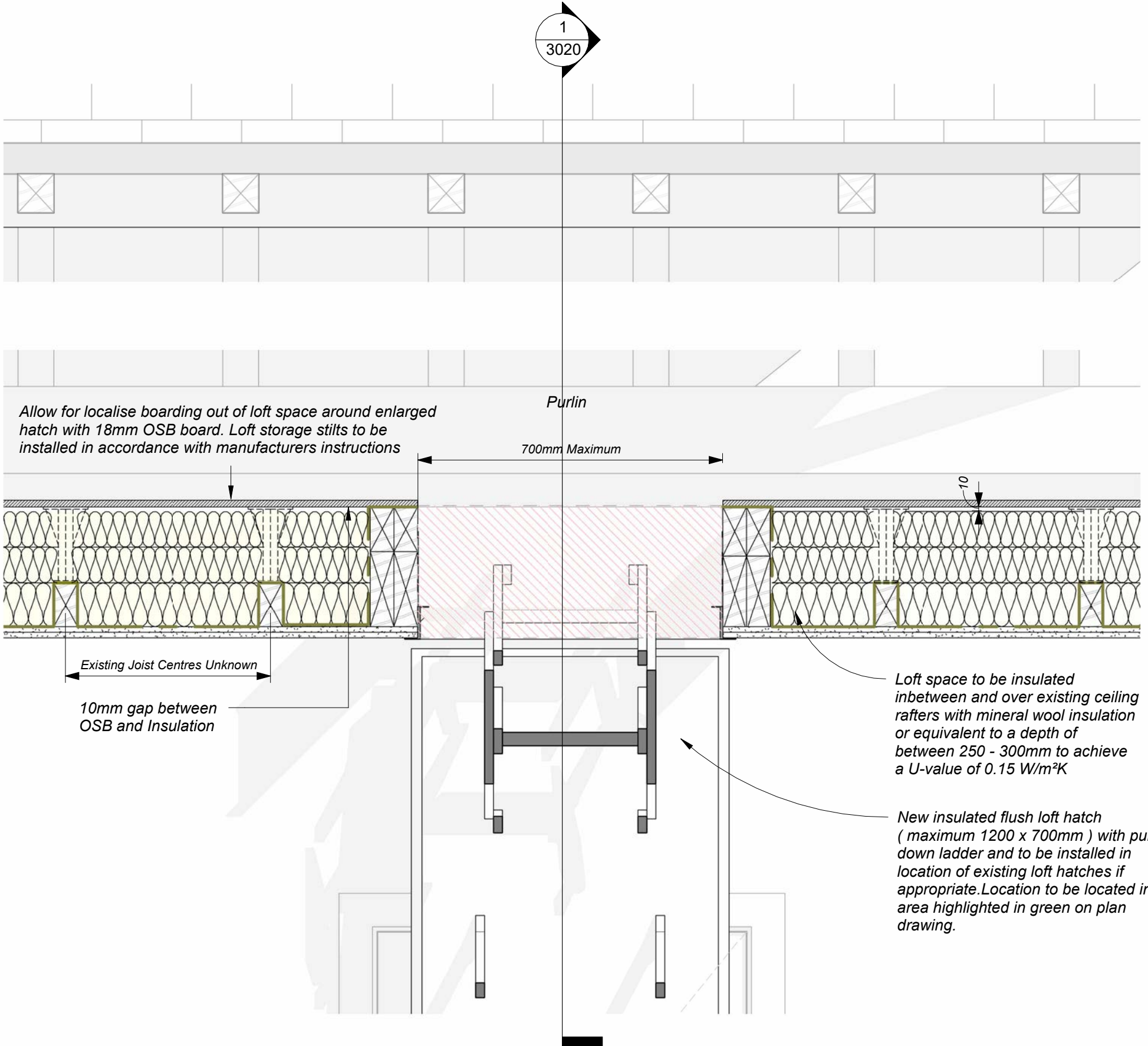
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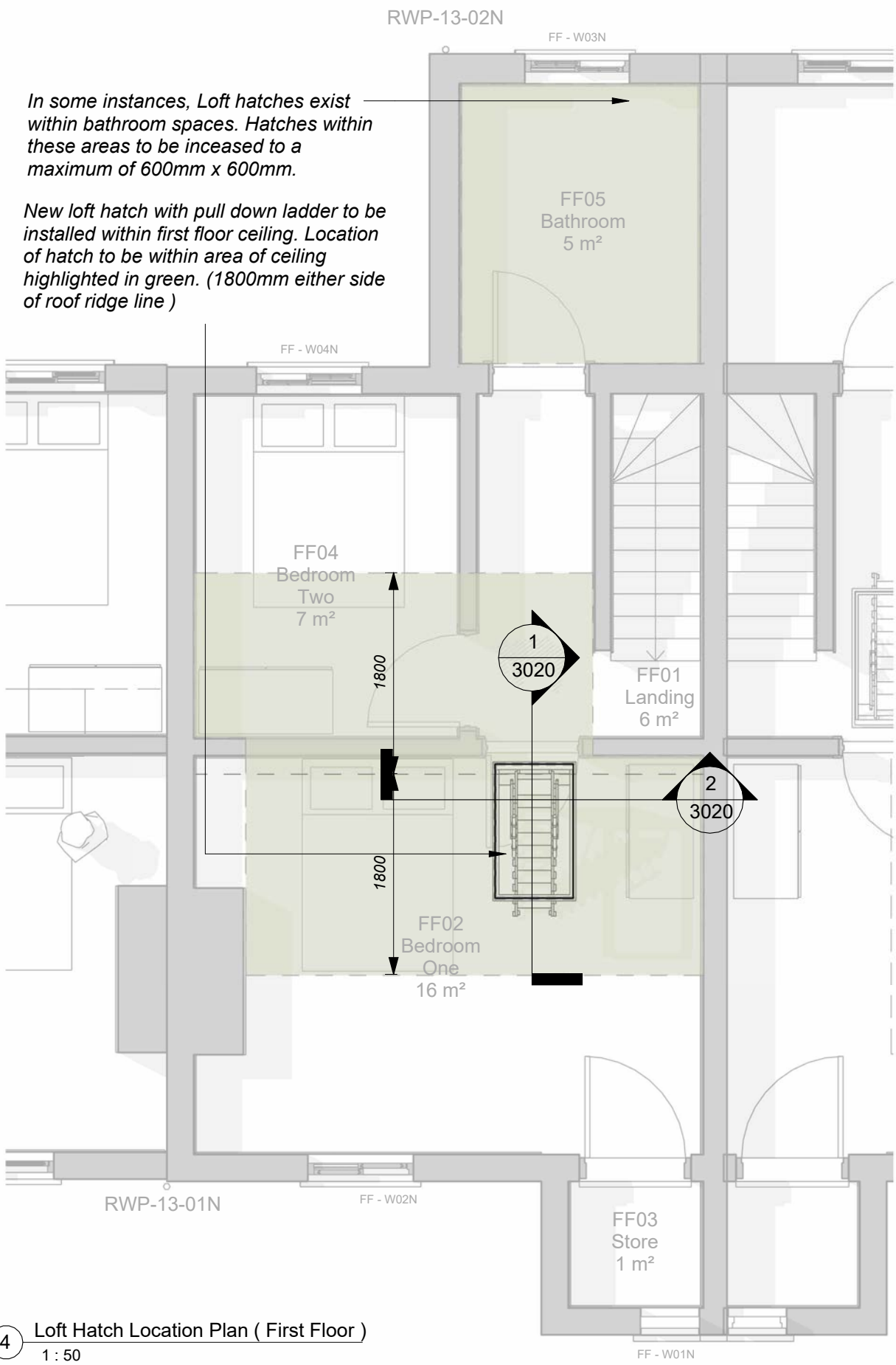




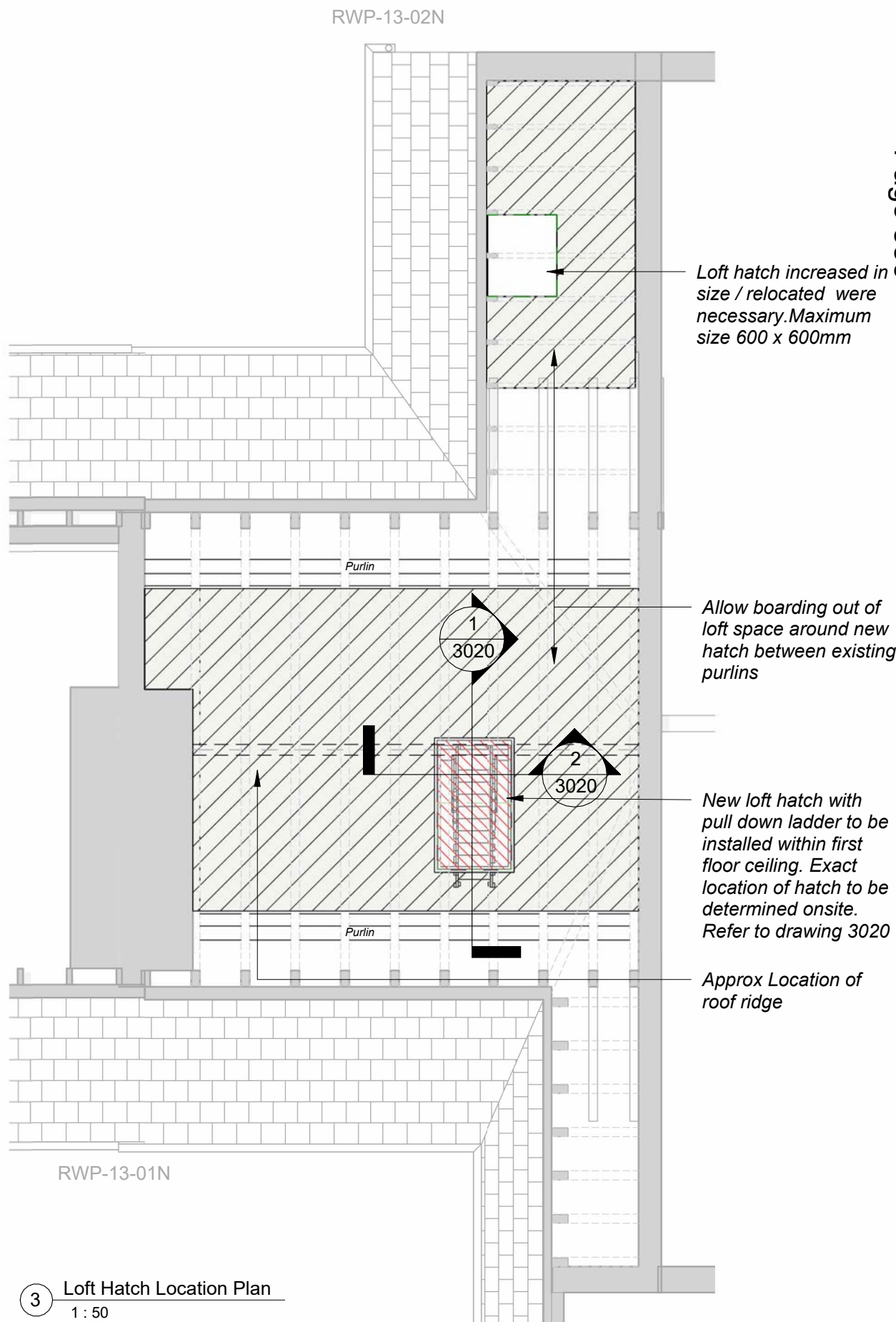
1 Typical Section A-A Through Loft Hatch  
1:10



2 Typical Section B-B Through Loft Hatch  
1:10



4 Loft Hatch Location Plan ( First Floor )  
1:50



3 Loft Hatch Location Plan  
1:50

**Notes:**  
Drawings are based on survey data and may not accurately represent what is physically present.  
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- NOTES**
- Loft hatches and access ladders may be installed within the zone identified on this drawings only.
  - Roof / ceiling structure as shown is indicative due to lack of available access.

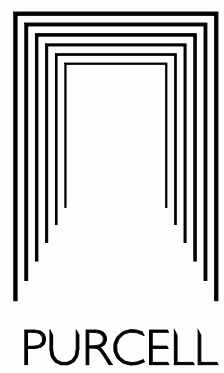
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P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
Cheshire East Council  
**PROJECT**  
CEF Crewe, Warm & Healthy Homes

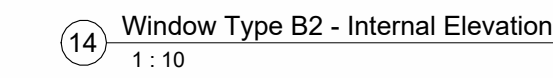
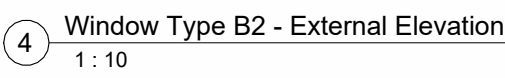
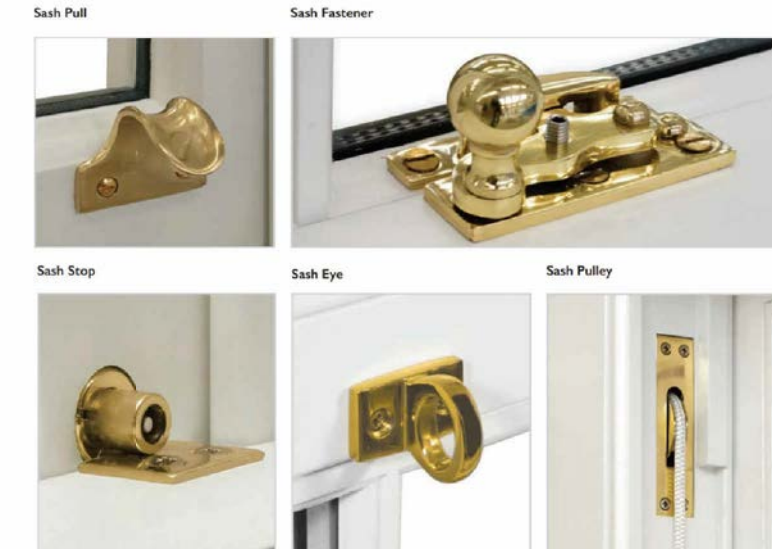
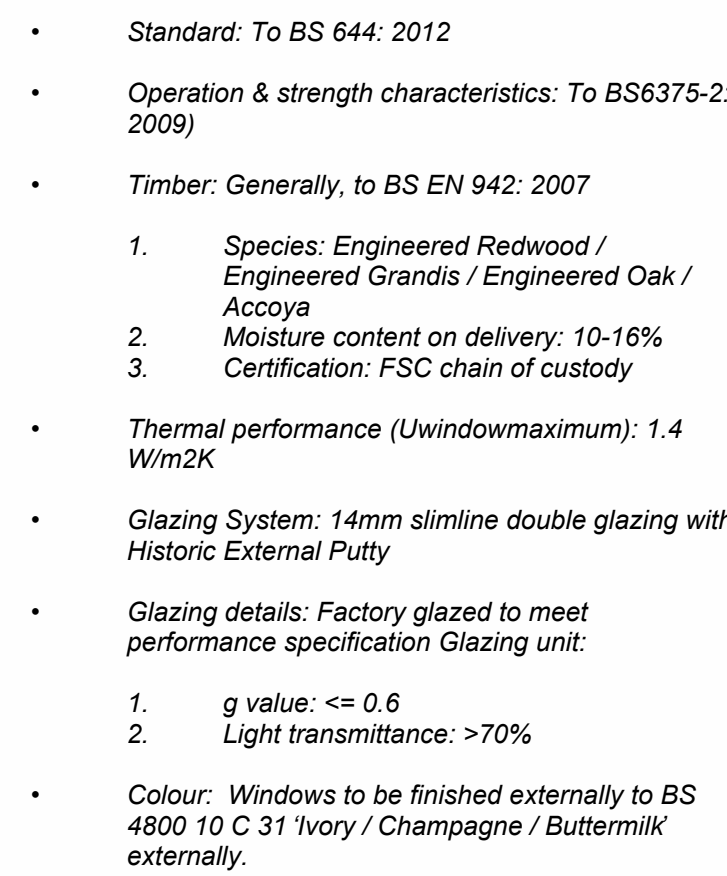
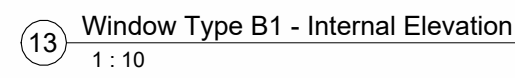
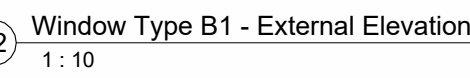
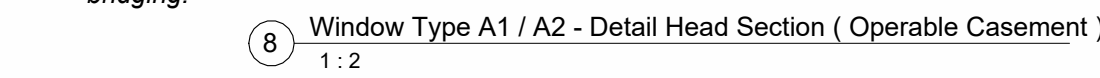
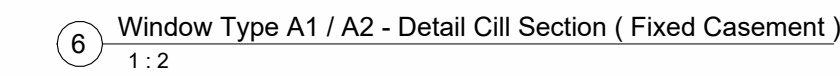
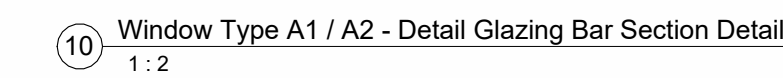
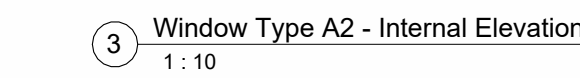
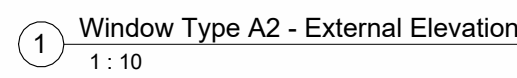
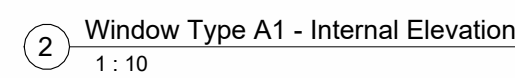
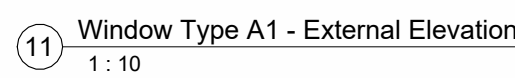
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243231  
**TITLE**  
Dorfold / Tollitt Street - Typical Loft Hatch Detail

**SIZE** A1L  
**SCALE** As indicated  
**REV** P05  
**SUITABILITY/REASON FOR ISSUE** S4 - For Approval/  
**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-3020

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P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy  
Homes**

**JOB NUMBER**  
**243231**

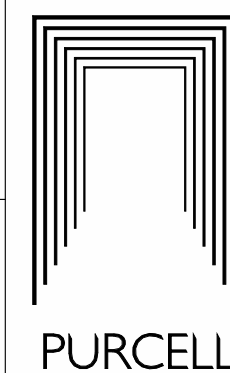
**TITLE**  
**Dorfold / Betley / Tollitt Street - Window**  
**Details as Proposed**

SIZE	SCALE
A1L	As indicated

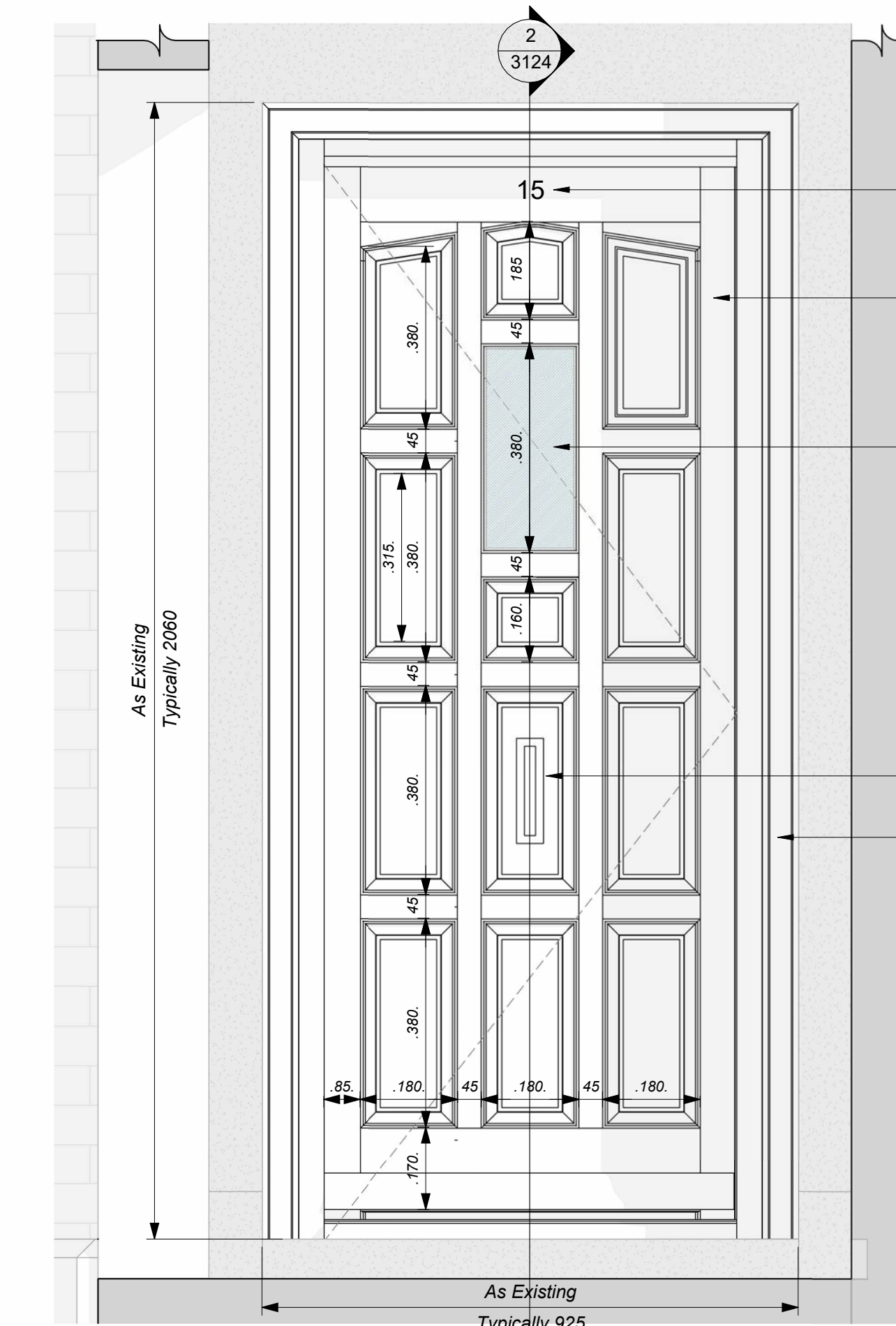
REV	SUITABILITY/REASON FOR ISSUE
P07	S3 - For Review & Comment/

DRAWING NUMBER  
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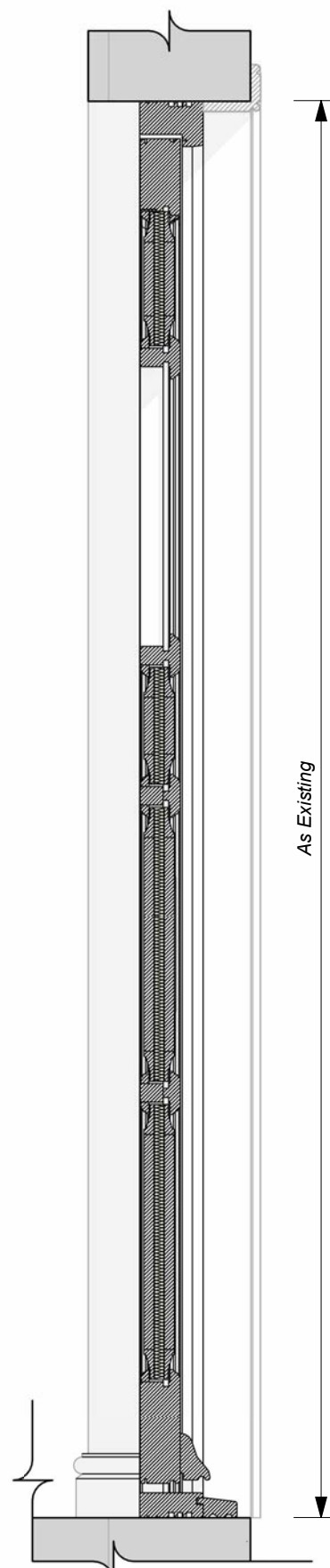
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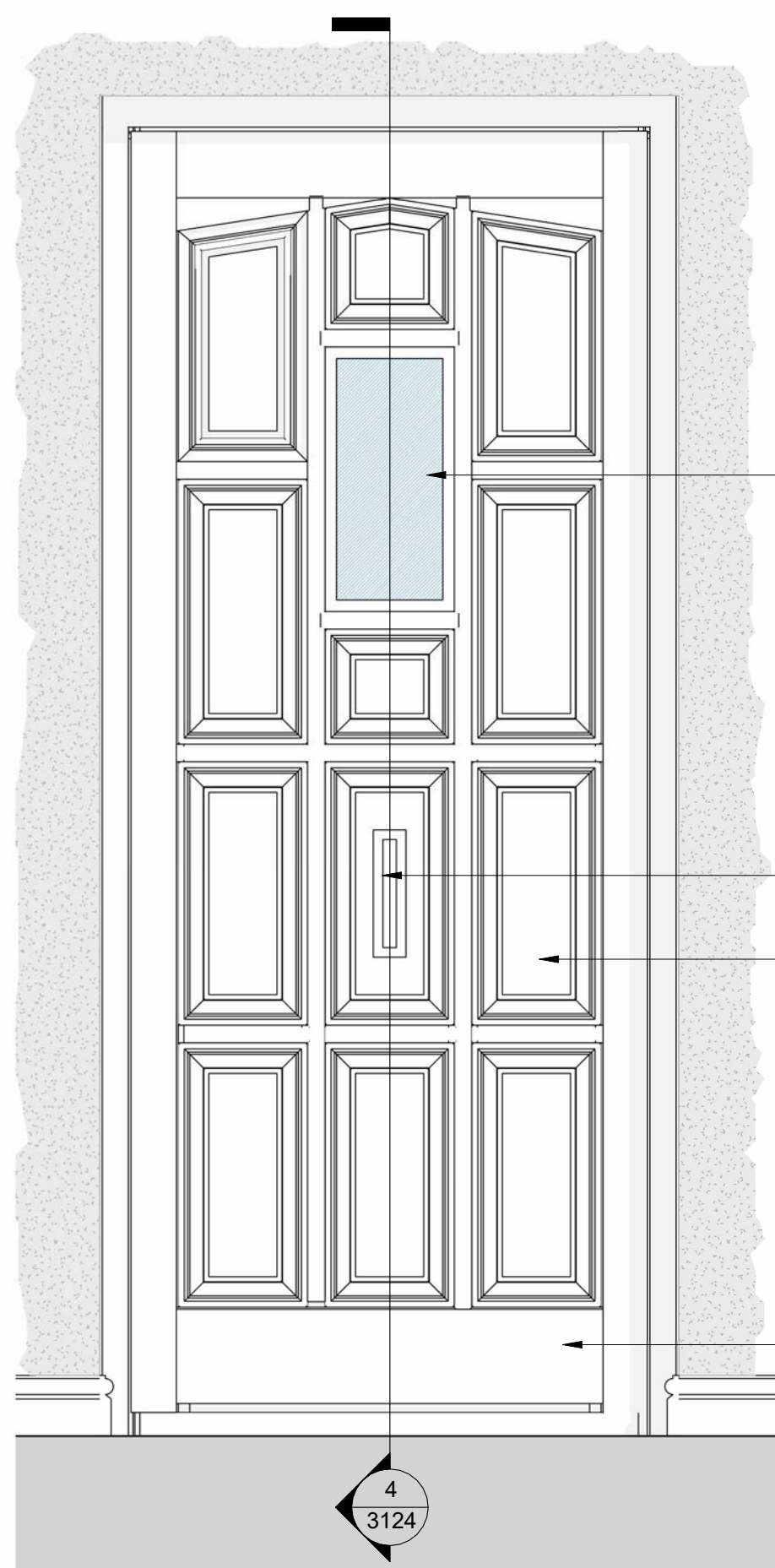




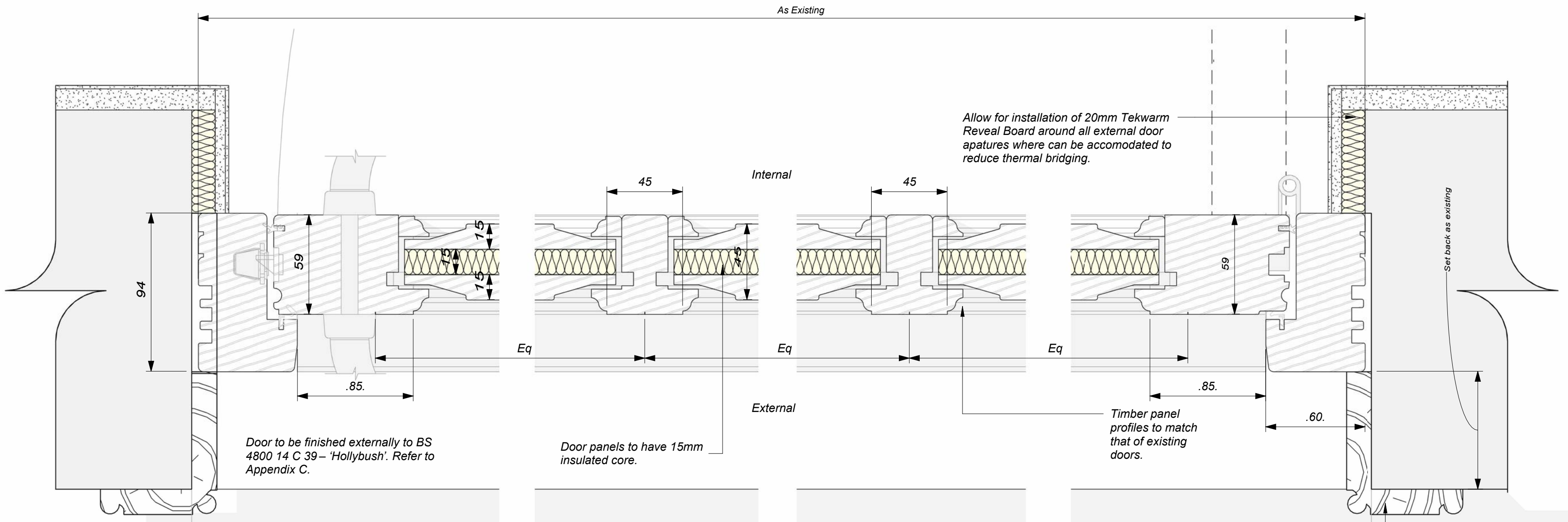
1 External Door Type A as Proposed - External Elevation  
1 : 10



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10



6 External Door Type A as Proposed - Plan Detail  
1 : 2

Allow for installation of 20mm Tekwarm  
Reveal Board around all external door  
apatures where can be accomodated to  
reduce thermal bridging.

Existing external Architrave profile  
to be retained and redecorated.

Allow for making good of reveals  
following installation of new door  
and reveal boards.

Door to be finished externally in BS  
4800 14 C 39 - 'Hollybush'  
Refer to Appendix C.

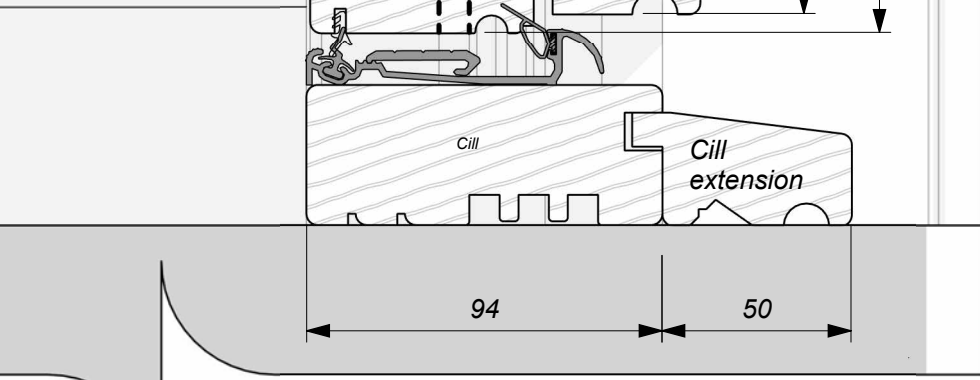
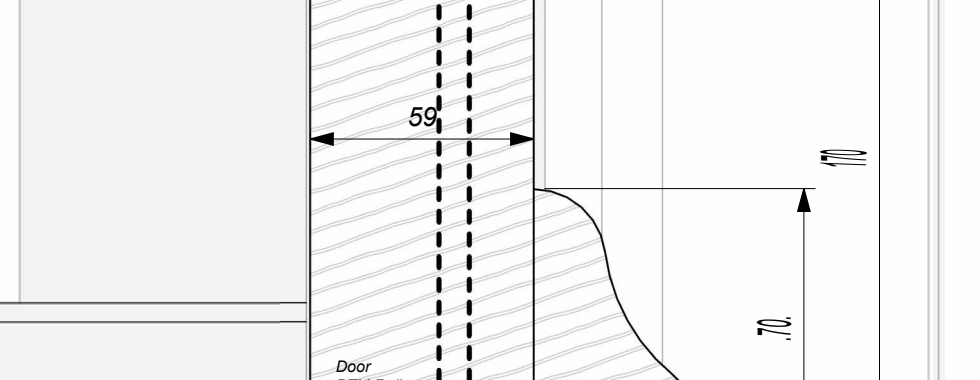
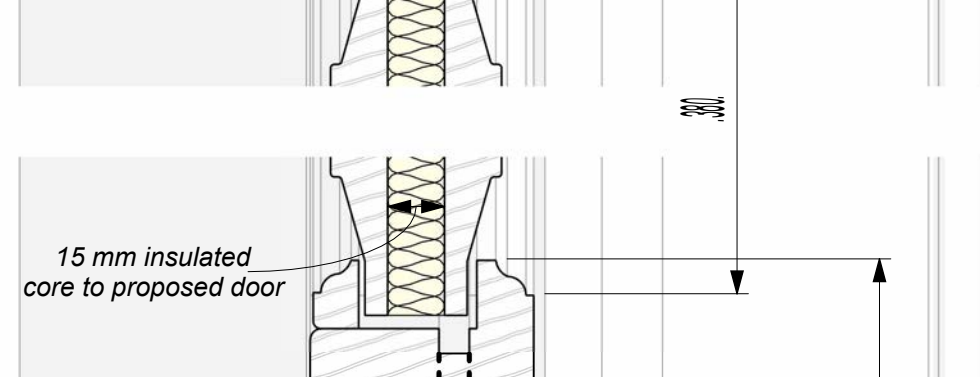
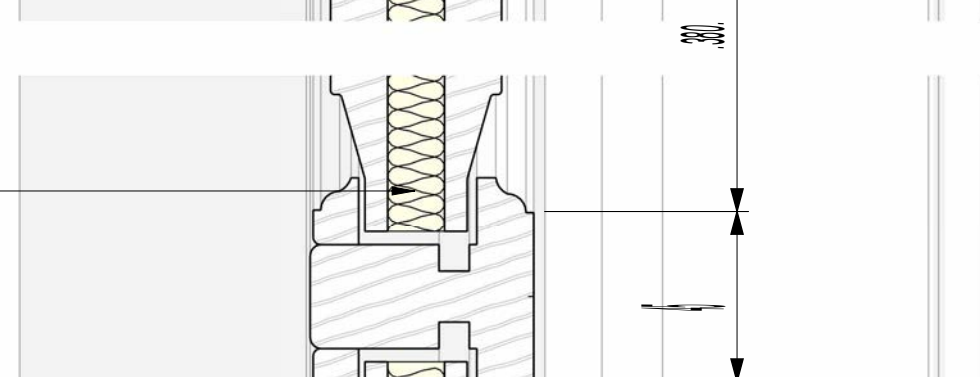
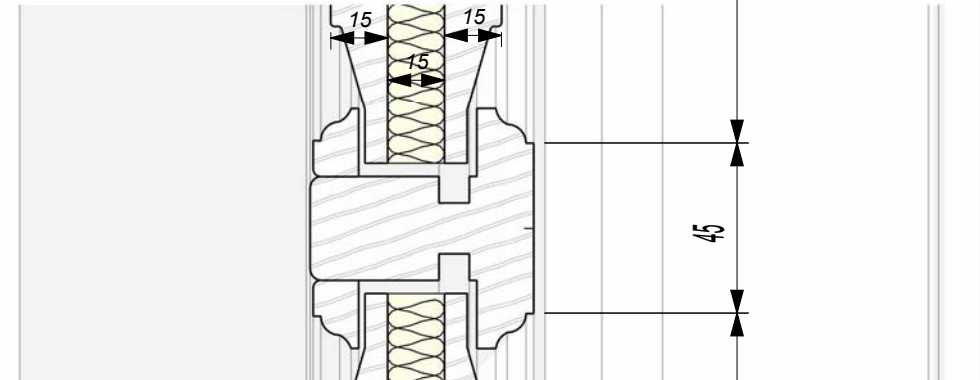
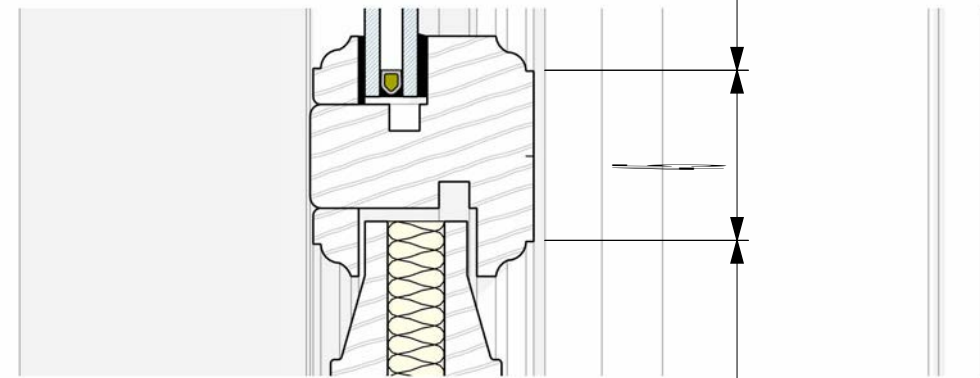
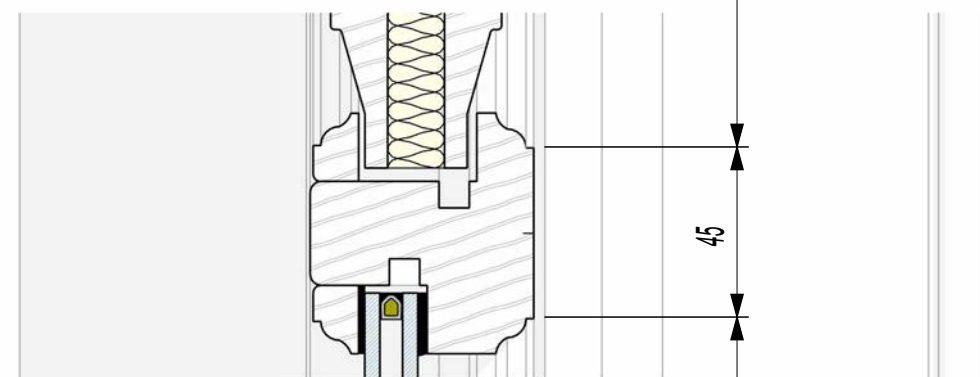
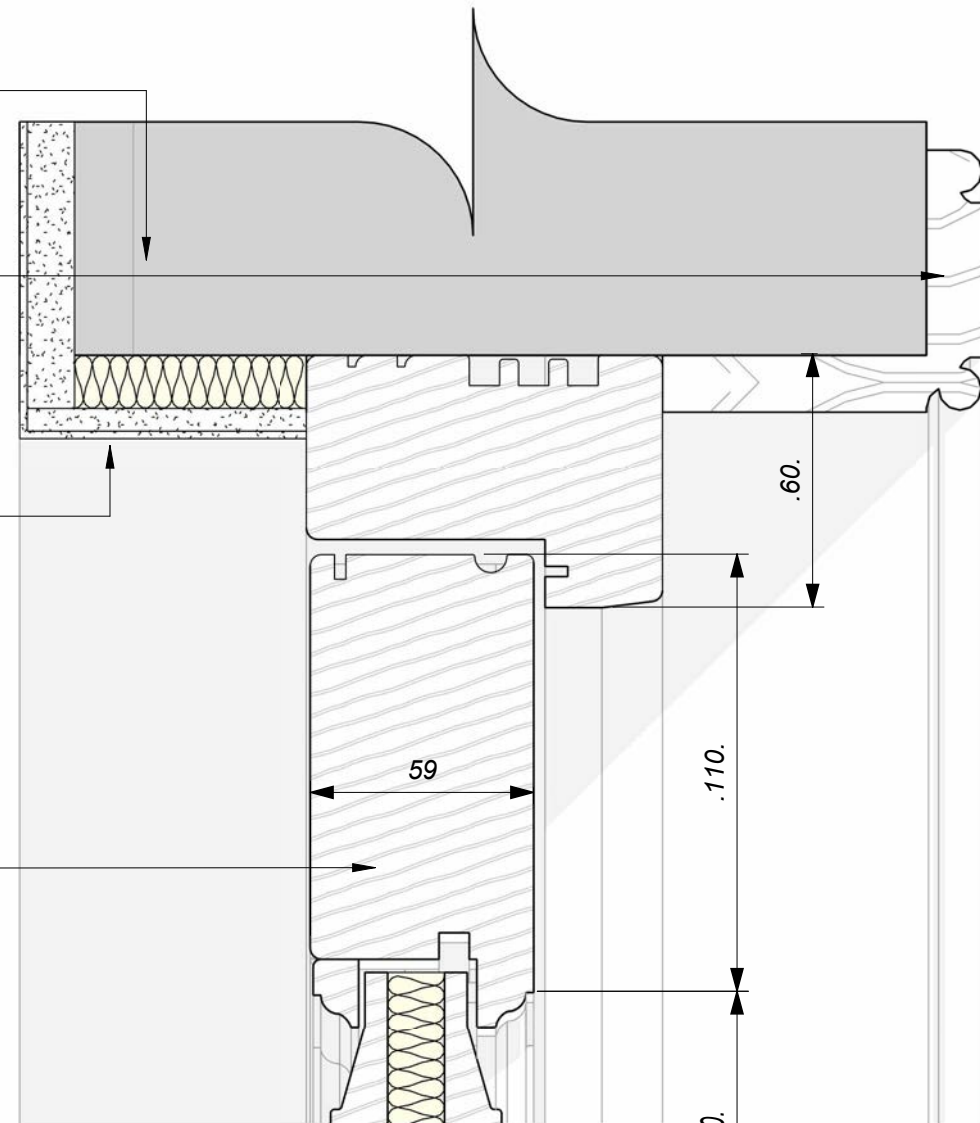
Slim Double glazed vision  
panel.

Letter box

General setting out of door  
arrangement to match  
existing.

Overall U-Value of door to  
achieve between 1.4  
W/m²K minimum.

Door panels to have 15mm  
insulated core (Optional).



#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%

Colour: Door to be finished externally to BS 4800 14 C 39 - 'Hollybush'

- Door to achieve PAS24 / secure by Design

#### Ironmongery Design Intent:



P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

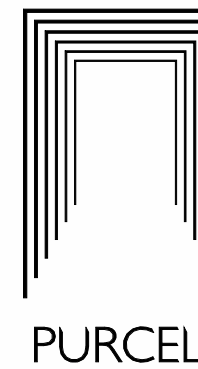
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy  
Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollitt Street - External  
Door Type A as Proposed - DESIGN  
INTENT

#### SIZE

A1L As indicated

#### REV

SUITABILITY/REASON FOR ISSUE

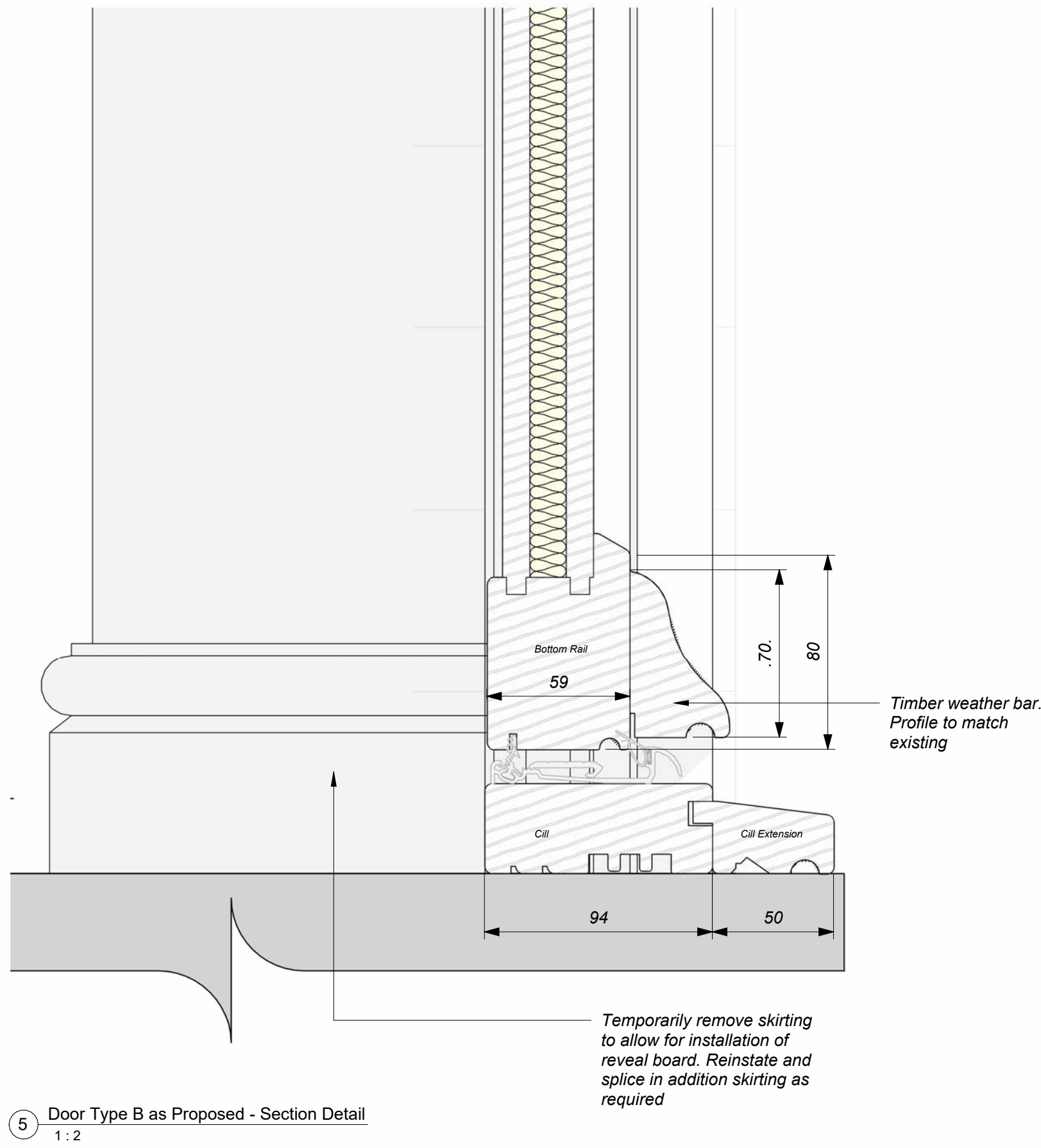
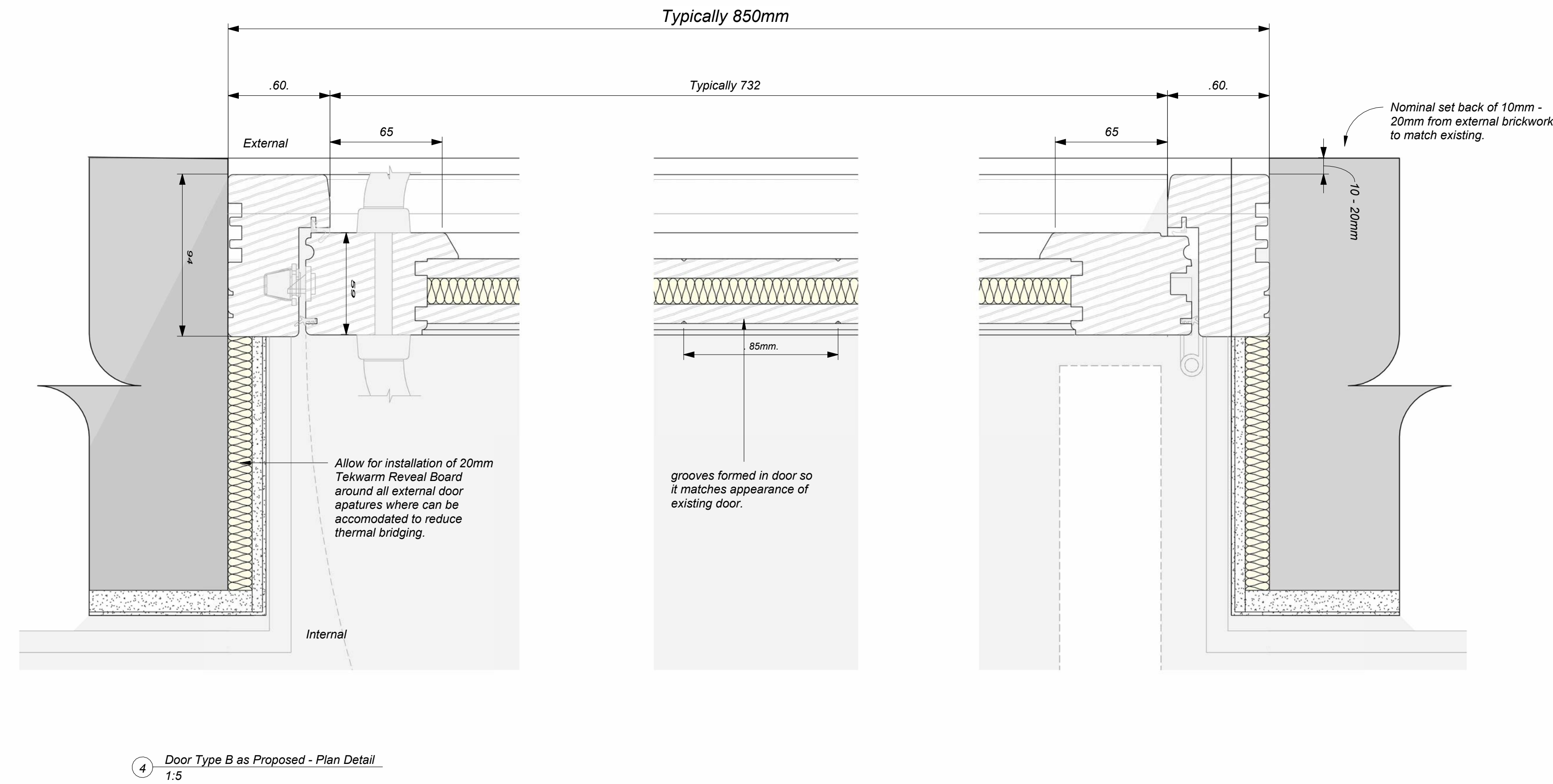
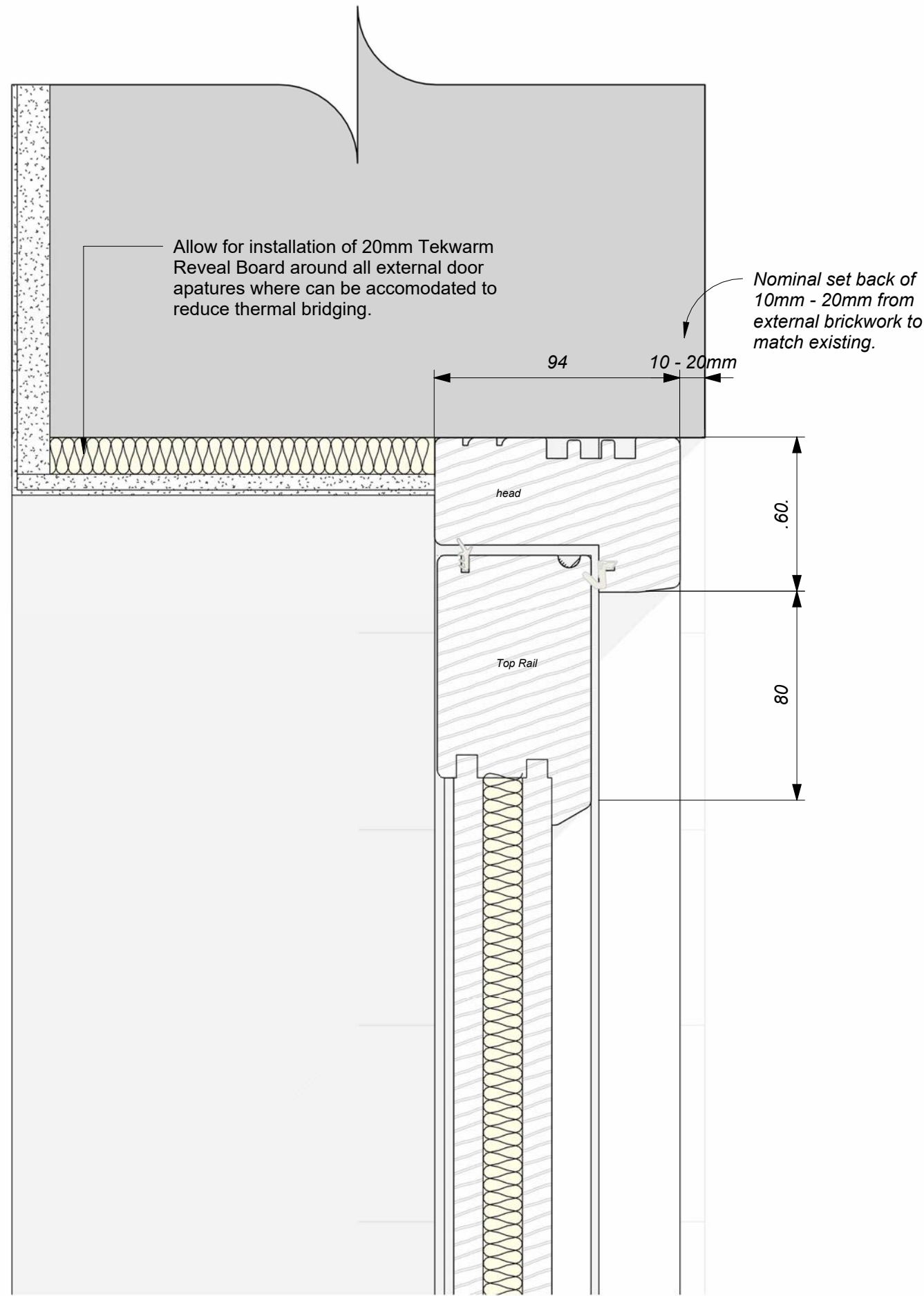
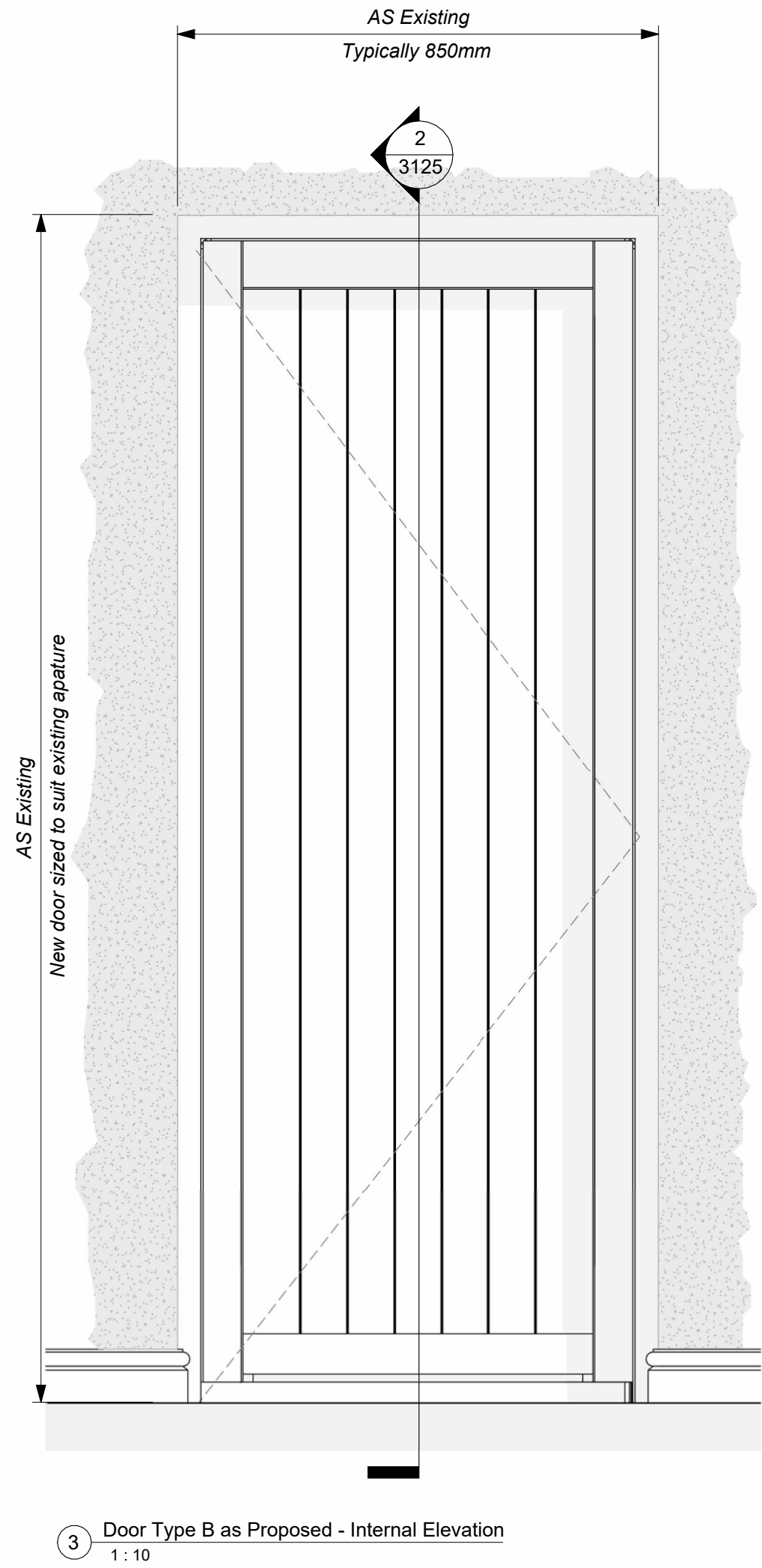
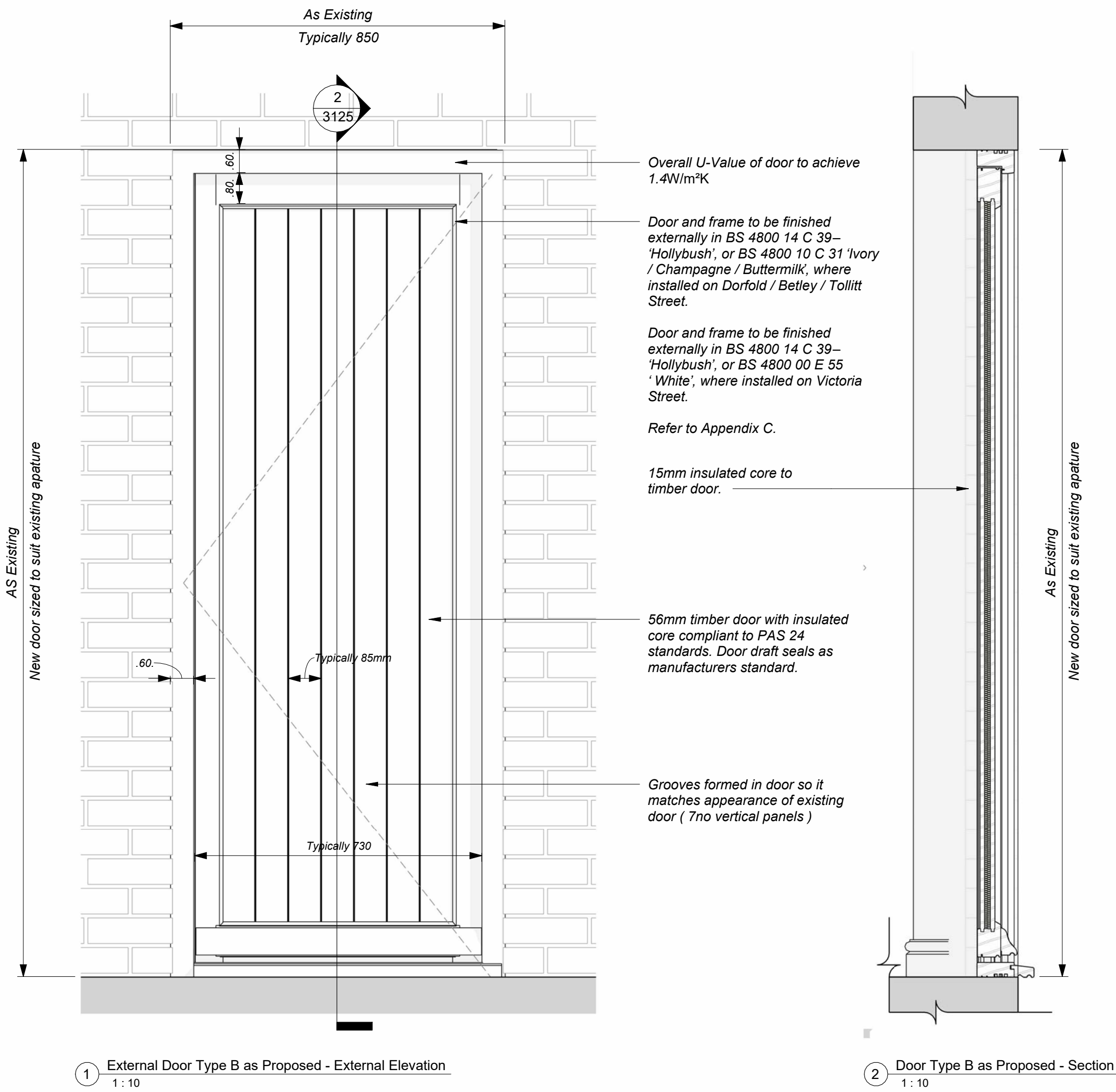
P07 S3 - For Review & Comment

#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3124

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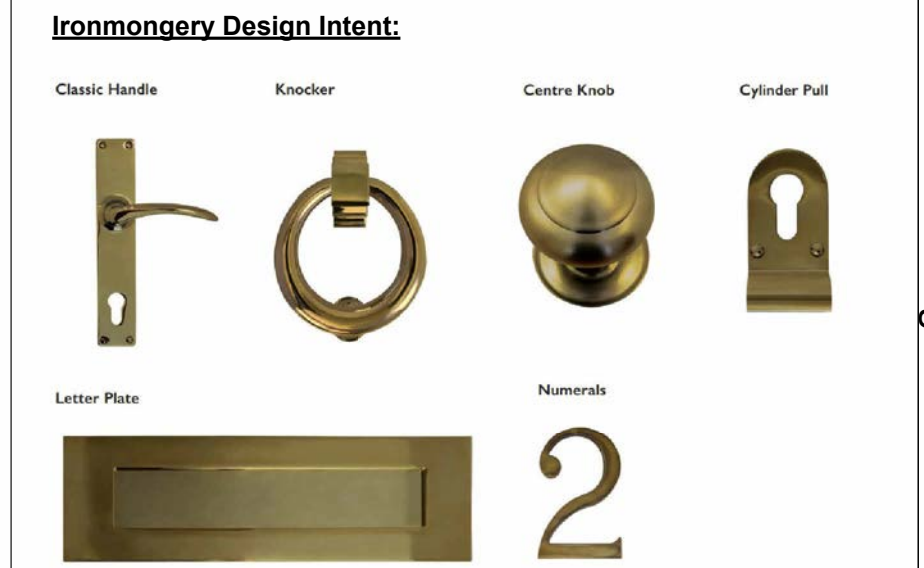
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- Key Plan**  
not to scale
- L20 - External Door Specification - Open In doorset**
- Standard: To BS 644: 2012
  - Exposure Rating to BS 6375-1: 2015 - 2000
    - 1. Air Permeability: Class 2 (300Pa)
    - 2. Weather Tightness: Class 4A (150Pa)
    - 3. Resistance to Wind Load: Class A3 (1200Pa)
  - Operation & strength characteristics: To BS6375-2: 2009
  - Timber: Generally, to BS EN 942: 2007
    - 1. Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
    - 2. Moisture content on delivery: 10-16%
    - 3. Certification: FSC chain of custody
  - Thermal performance (Udoormaximum): 1.4 W/m²K
    - 1. 15mm insulated core to door
  - Acoustic performance: 38 dB
  - Security: Certified to PAS 24 and Secured by Design
  - Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**

PURCELL

TITLE  
**Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT**

SIZE SCALE  
A1L As indicated

REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment**

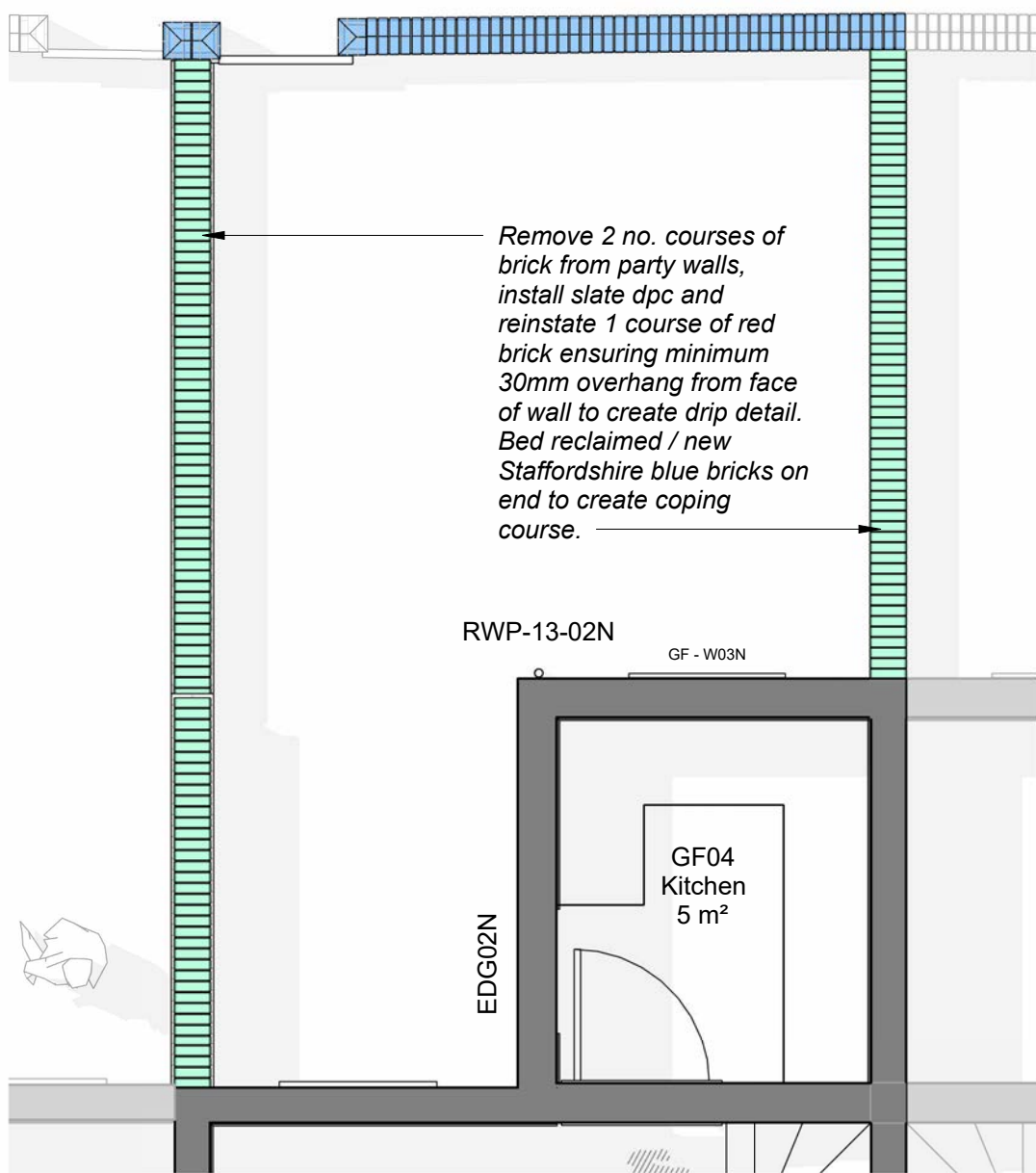
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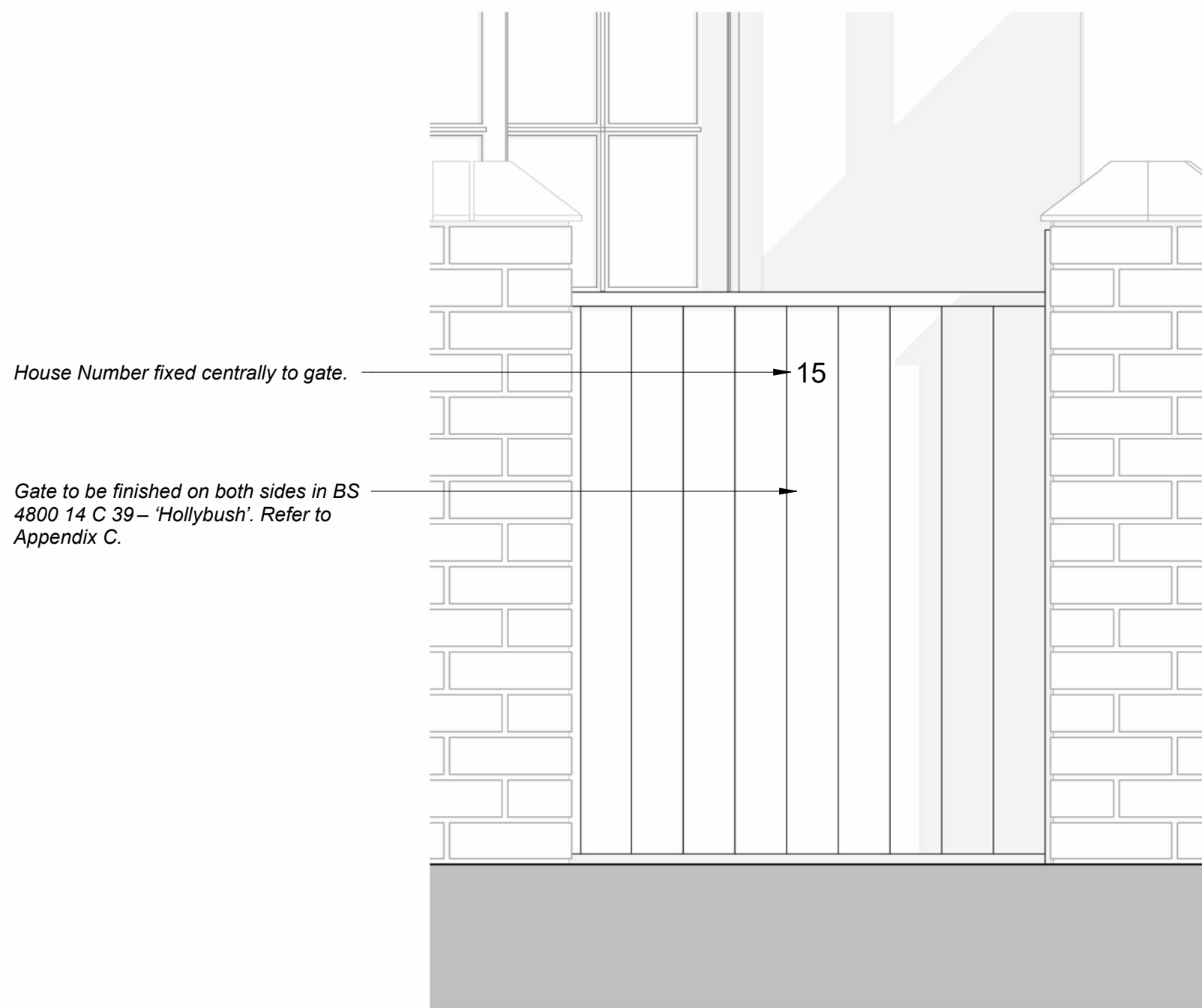




1 Typical Rear Elevation as Proposed  
1 : 50



2 Typical Back Yard Plan as Proposed  
1 : 50



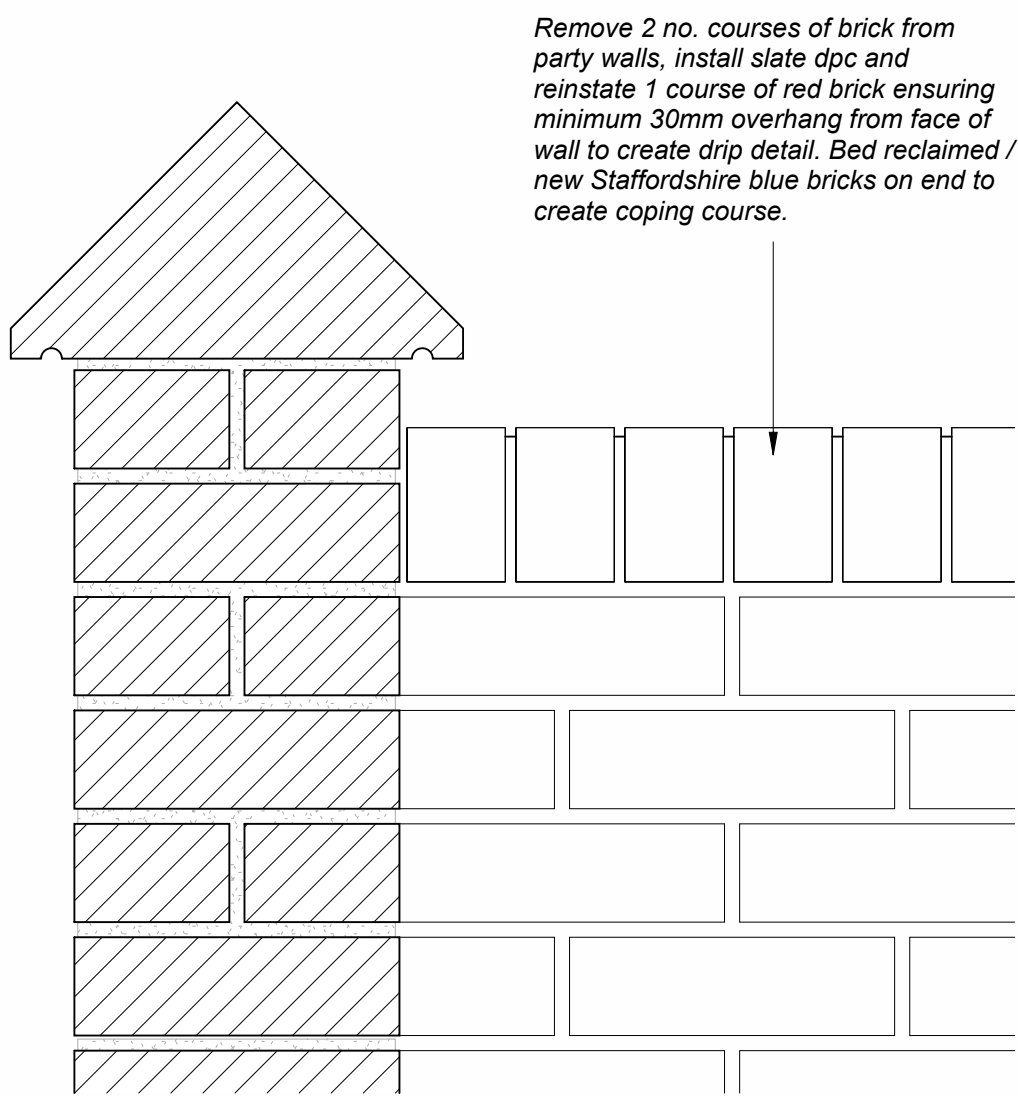
6 Rear Gate - Front Elevation  
1 : 10



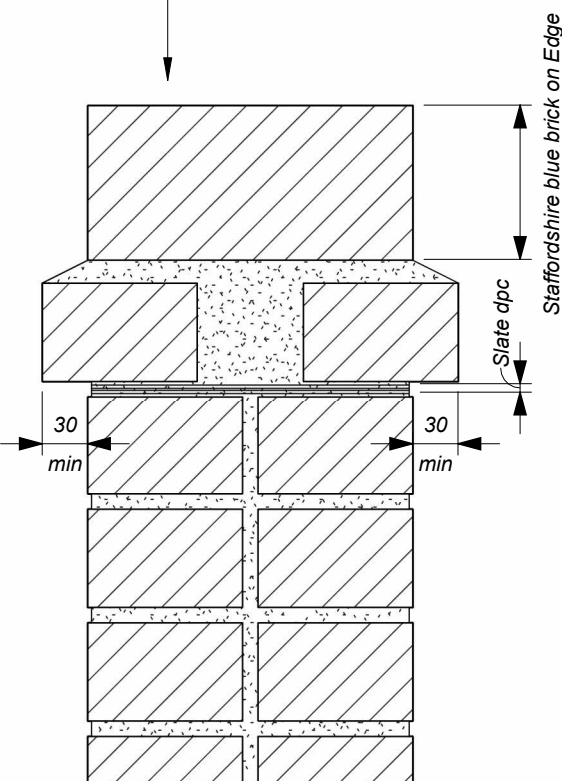
4 Typical Coping Detail to party walls  
NTS



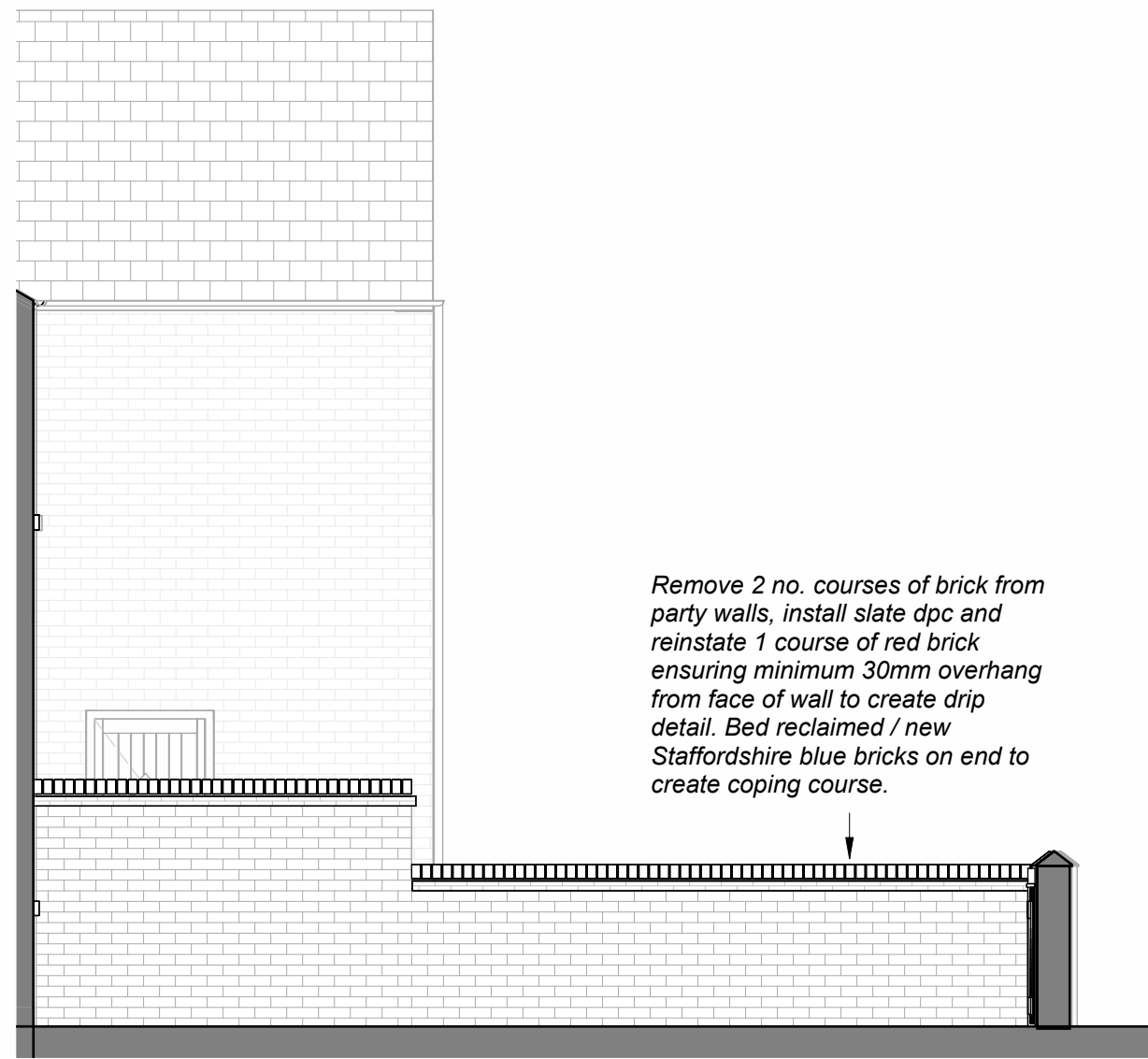
4 Typical Coping Detail to Rear / Side Boundary walls  
NTS



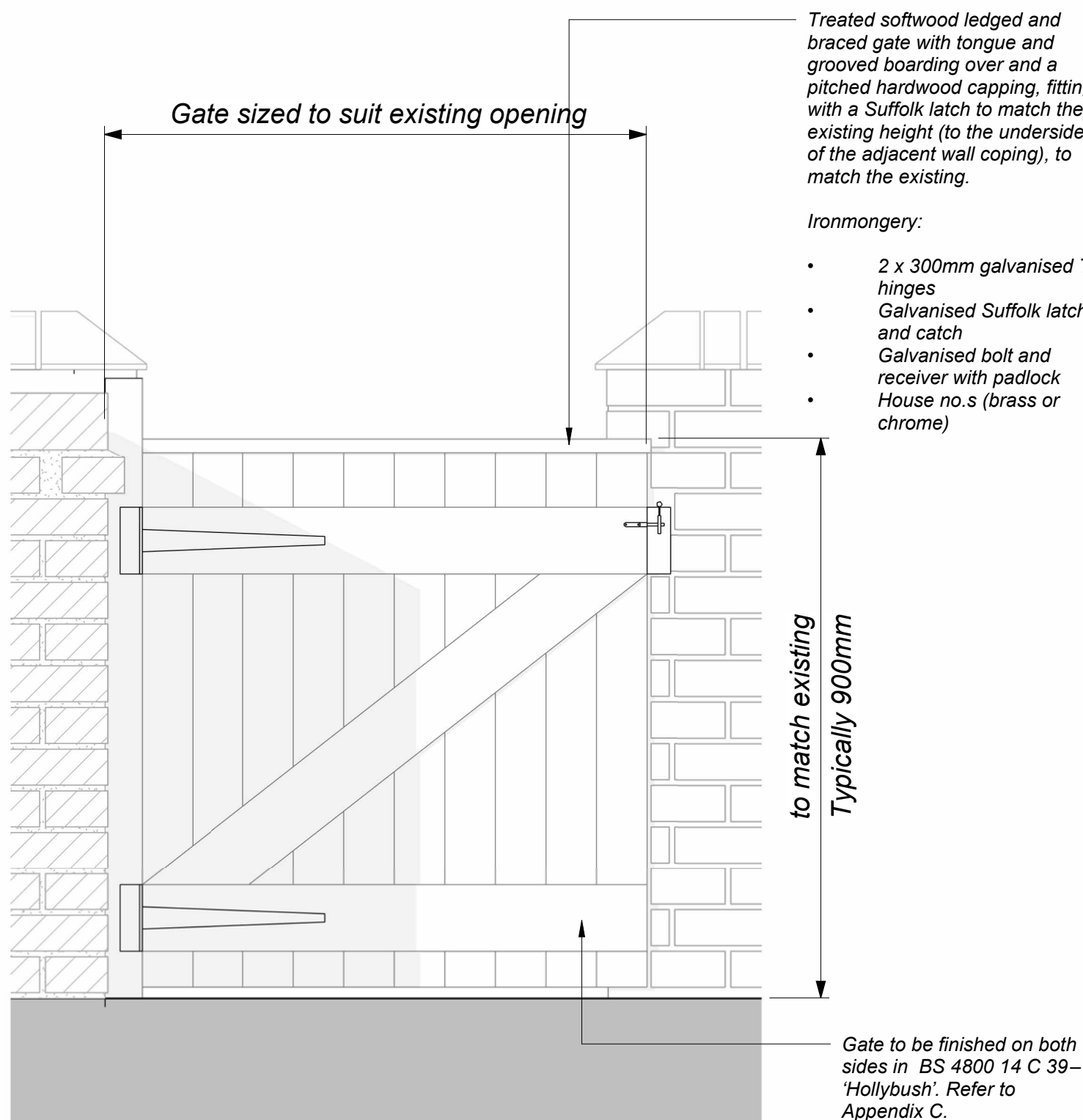
5 Boundary to Party Wall Connection Detail  
1 : 5



8 Section Through Party Wall as Proposed  
1 : 5



4 Party Wall Elevation as Proposed  
1 : 50



7 Rear Gate - Rear Elevation  
1 : 10

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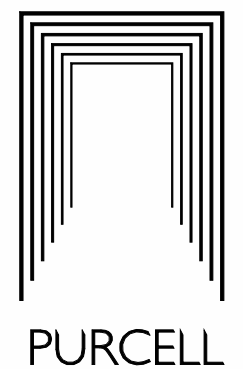
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P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

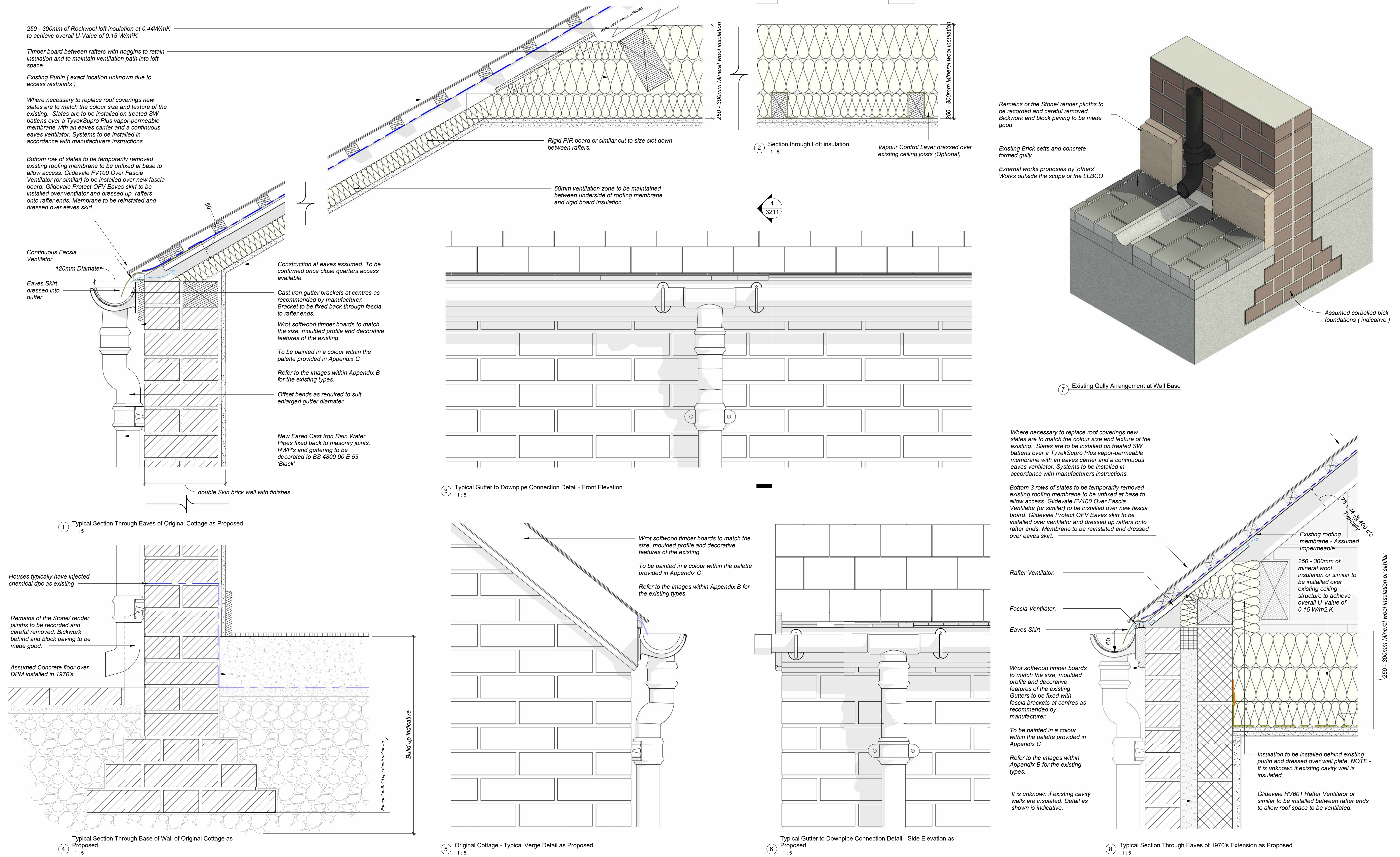
JOB NUMBER  
**243231**  
TITLE  
**Dorfold / Betley / Tollitt - Brick Copings Details to Boundary & Part Walls**

SIZE SCALE  
A1L As indicated  
REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**  
DRAWING NUMBER  
**243231-PUR-02-XX-DR-A-3201**

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P03	16/05/2025	MP	JPH	Proposed Paint Colours Amended																																									
P02	01/05/2025	MP	JPH	Issued for Stage 4 Costing																																									
P01	24/03/2025	MP	JPH	Issued for LBC																																									
REV	DATE	BY	CHK	DESCRIPTION																																									



APPENDIX B – 02 DORFOLD STREET

Dorfold Street – Photo Reference

04/04/2025

PURCELL 

## Mark Popely

St James's Building

79 Oxford St

Manchester

M1 6FQ

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## APPENDIX B - 02 DORFOLD STREET


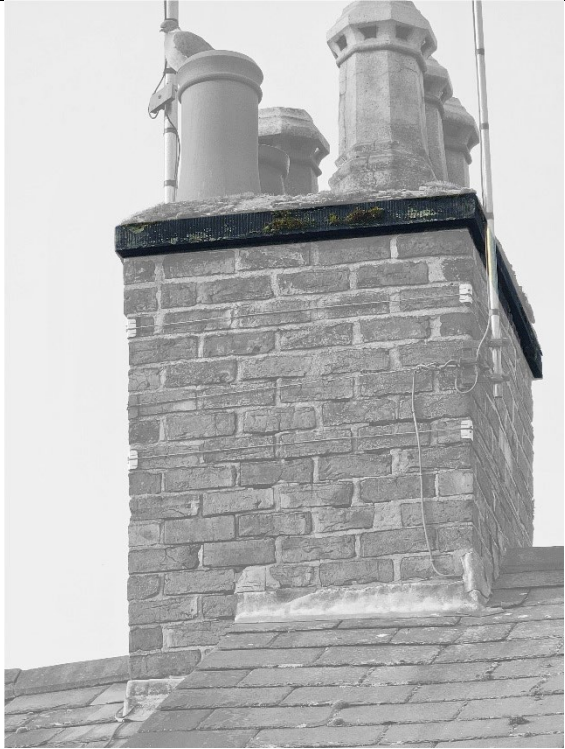
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## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Where chimney pots are to be replaced, they are to be cream clay and profiled to match the existing original pots.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Where stone copings are to be renewed. Buff Stone copings are to match existing.</p> <p>Where original stone coping has been previously been replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	



APPENDIX B - 02 DORFOLD STREET




		 <p>Example of where coping has been replaced with brick</p>
<p>Blue Clay Ridge Tiles</p>	<p>These may be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing.</p>	 <p>'Uncapped' Ridge Tile Variant</p>

APPENDIX B - 02 DORFOLD STREET


		 <p>'Flaunched' Ridge Tile Variant</p>
Replacement Joinery for Barge Board to Gable ends	Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.	
Replacement Joinery for Barge Board to front projecting Gable	Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.	



## APPENDIX B - 02 DORFOLD STREET

<p>Replacement Joinery for Fascia Board to rear projecting Gable</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement blue clay pitched wall coping on the rear boundary.</p>	<p>New or salvaged blue clay copings to match the colour, size and finish of the existing.</p>	
<p>Replacement of blue engineering brick copings to side/ party yard walls</p>	<p>New or salvaged blue clay engineering brick to form a coping on side walls and act as a DPC. To match the colour size and texture of the existing. Refer to drawing 3201 for coping detail.</p>	

APPENDIX B - 02 DORFOLD STREET

<p>Replacement yard gates</p>	<p>Treated softwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing.</p>	
-------------------------------	---	--

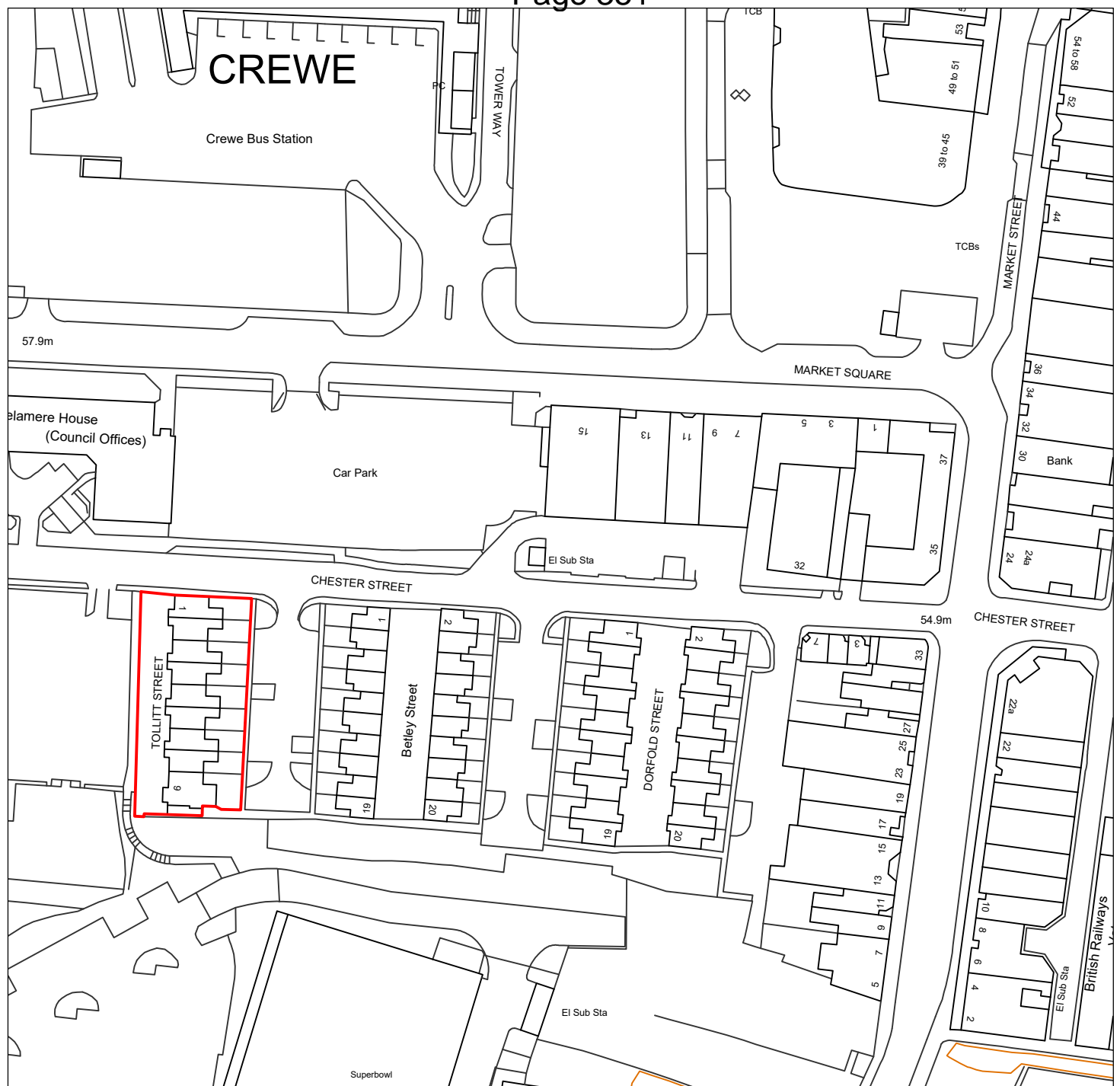


APPENDIX A – DRAWING PACKAGE

Tollitt Street

24/03/2025

PURCELL 



1  
0054

TOLLITT STREET - SITE LOCATION PLAN  
SCALE 1:1250



1:1250 Scale



### KEY



Site Boundary Line

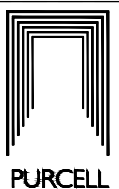
CLIENT  
**Cheshire East Council**  
JOB NUMBER PROJECT  
**243231 CEF Crewe, Warm and Healthy Homes**

TITLE  
**Tollitt Street - Site Location Plan**

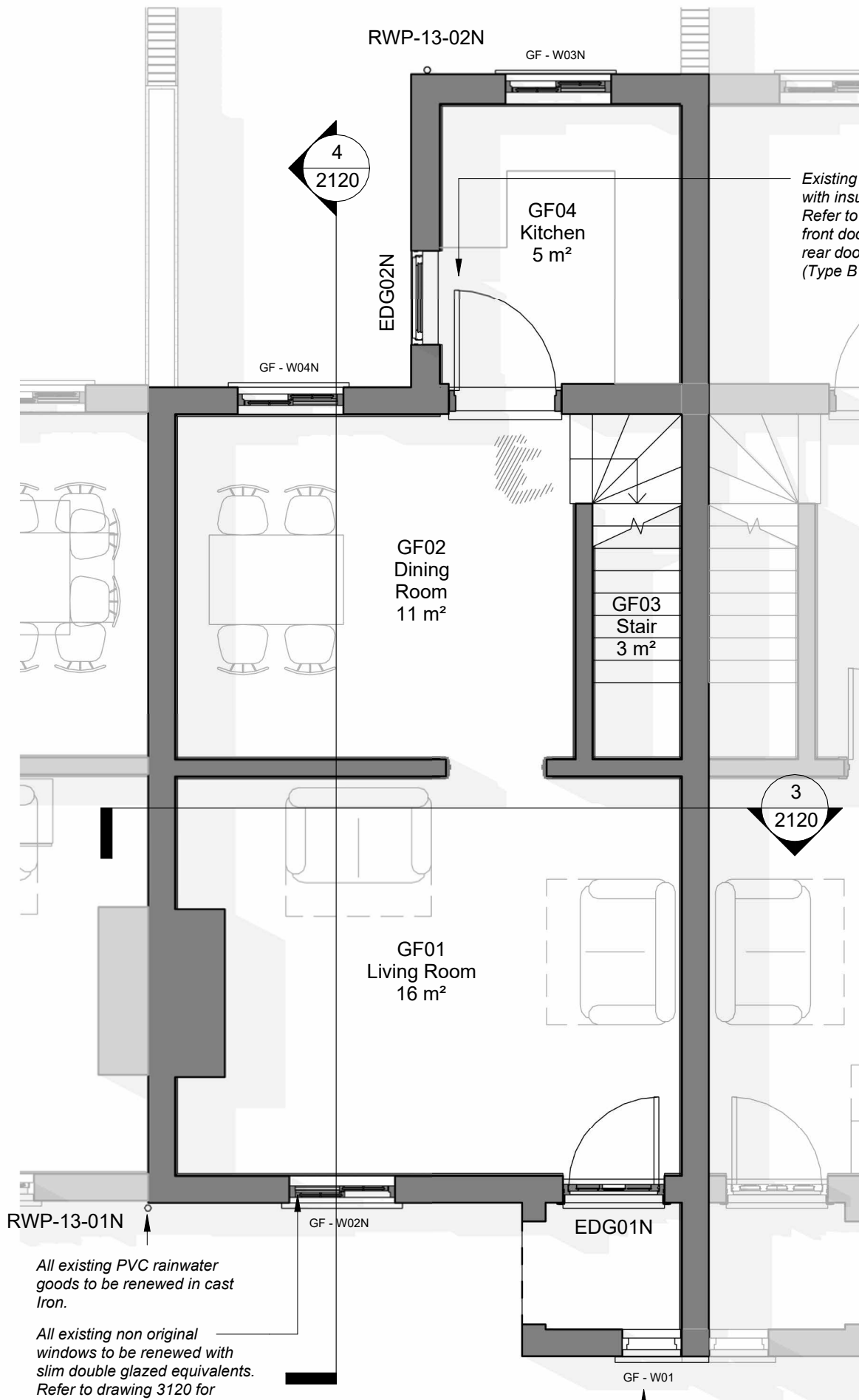
SIZE SCALE  
**A4P As Indicated**

REV SUITABILITY/REASON FOR ISSUE  
**P01 S3 - For Review & Comment**  
DRAWING NUMBER  
**243231-PUR-04-00-DR-A-0054**

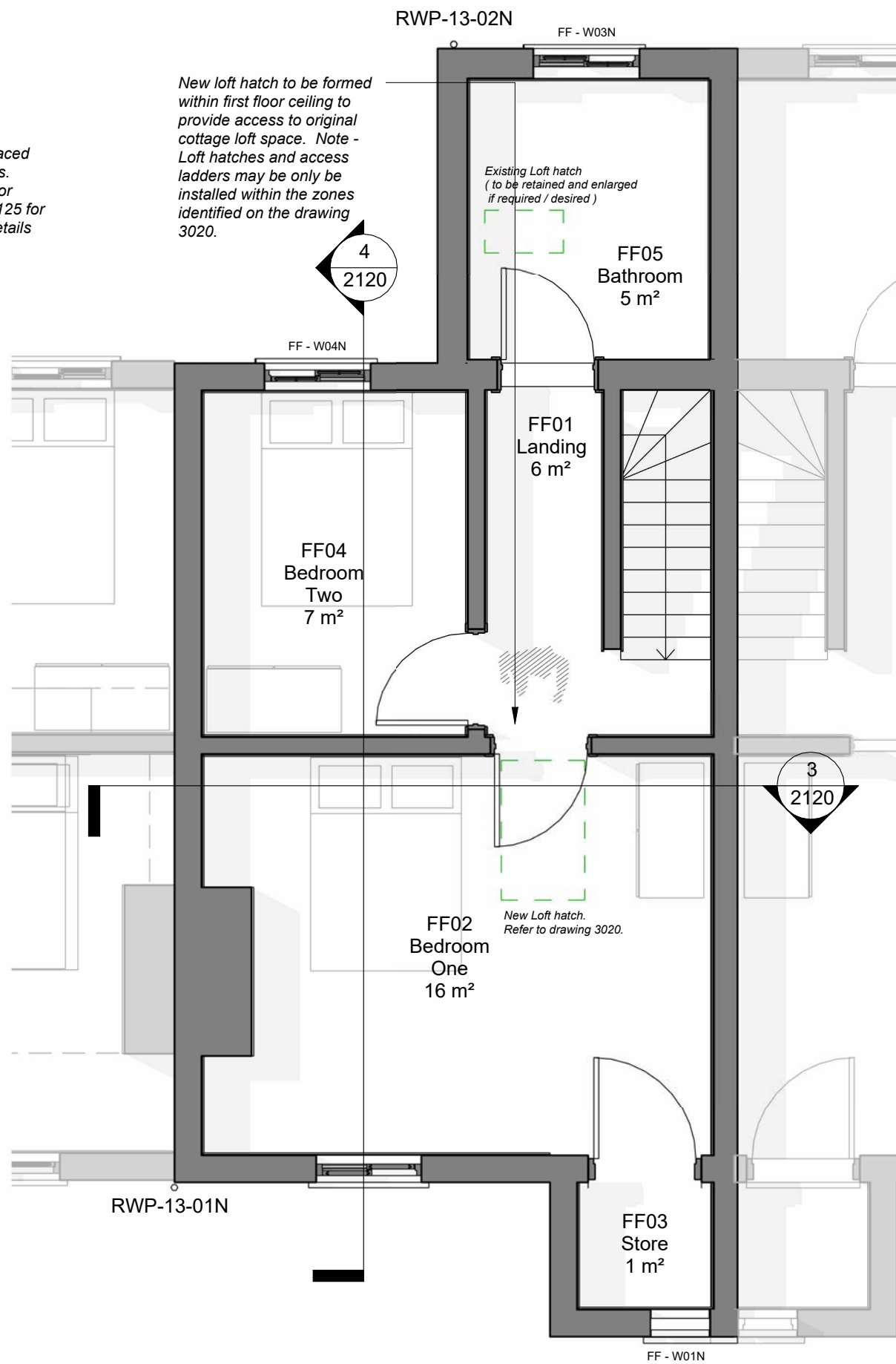
P01	18/03/2025	AM	MP	First Issue
REV	DATE	BY	CHK	DESCRIPTION







1 Ground Floor as Proposed  
1 : 50



2 First Floor As Proposed  
1 : 50



**Notes:**

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Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
**Cheshire East Council**

**PROJECT**  
**CEF Crewe, Warm & Healthy Homes**

**JOB NUMBER**  
**243231**

**PURCELL**

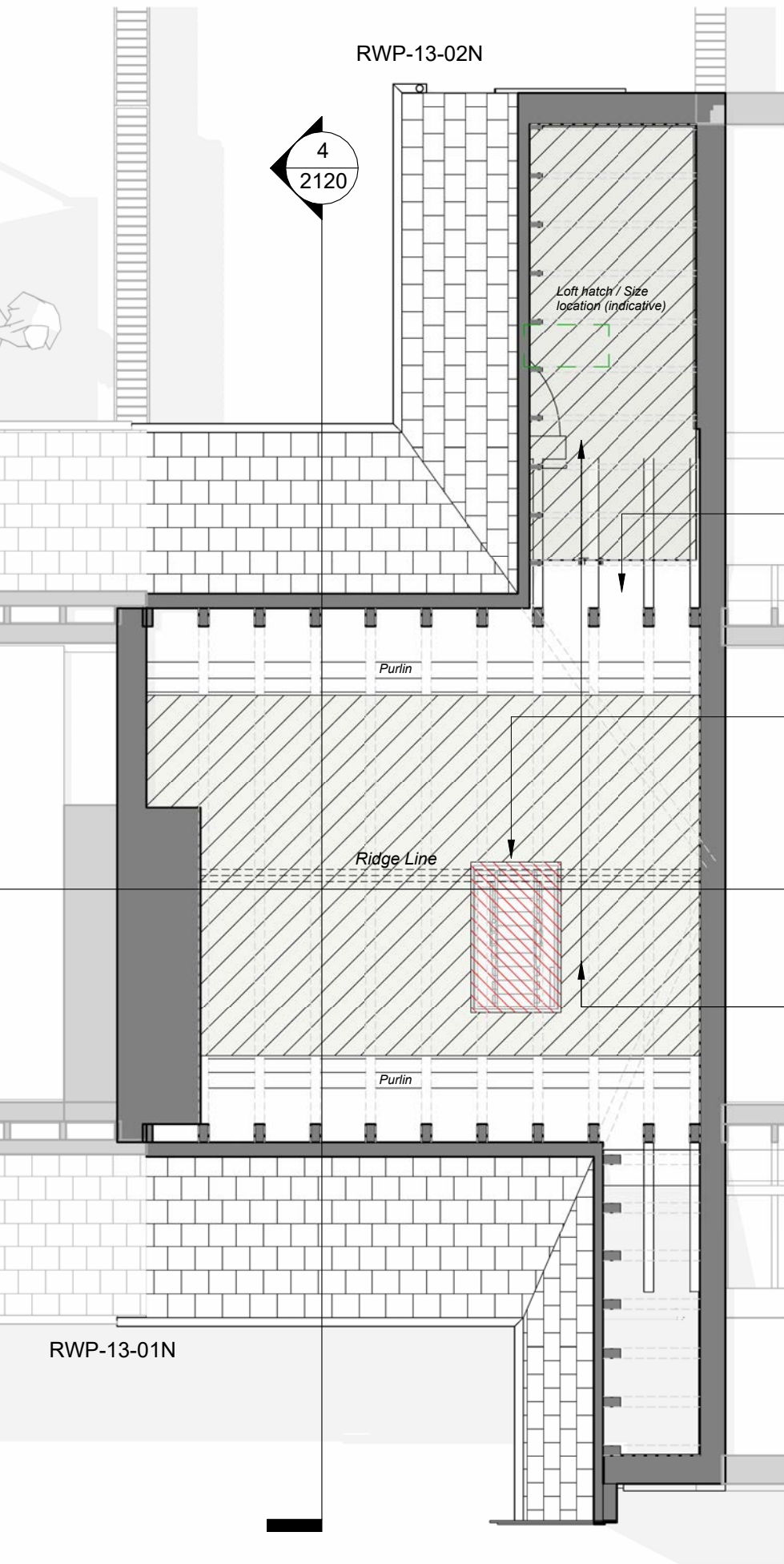
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**Typical Dorfold / Tollitt Street Dwelling - Proposed Ground and First Floor Plans**

**SIZE** **SCALE**  
**A3L** **1 : 50**

**REV** **SUITABILITY/REASON FOR ISSUE**  
**P05 S4 - For Approval/**

**DRAWING NUMBER**  
**243231-PUR-02-ZZ-DR-A-2020**

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All existing PVC rainwater goods to be renewed in Cast Iron.

Refer to drawing 3211 for typical details

Where necessary to replace roof coverings new slates are to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator

Existing rafters prevent safe access between loft space to 1970's extension and original cottage loft space.

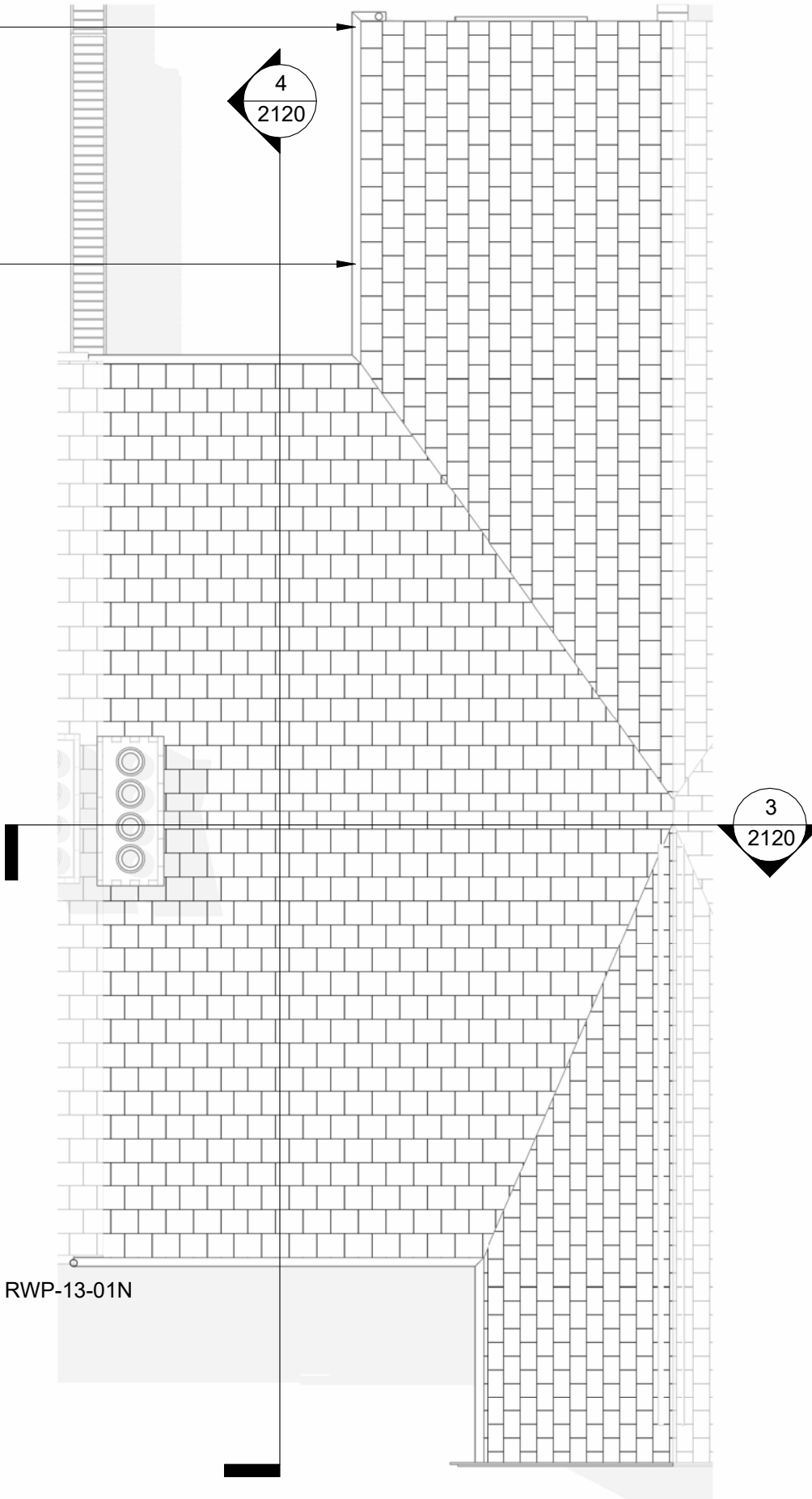
New loft hatch with pull down ladder to be installed first floor ceiling. Refer to drawing 3020 for details.

Allow boarding out of loft space around new / enlarged hatches between existing purlins

RWP-13-01N



RWP-13-02N



RWP-13-01N

1 Loft Plan as Proposed  
1 : 50

2 Roof Plan as Proposed  
1 : 50

**Notes:**  
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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**



PURCELL

TITLE  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Loft and Roof Plan**

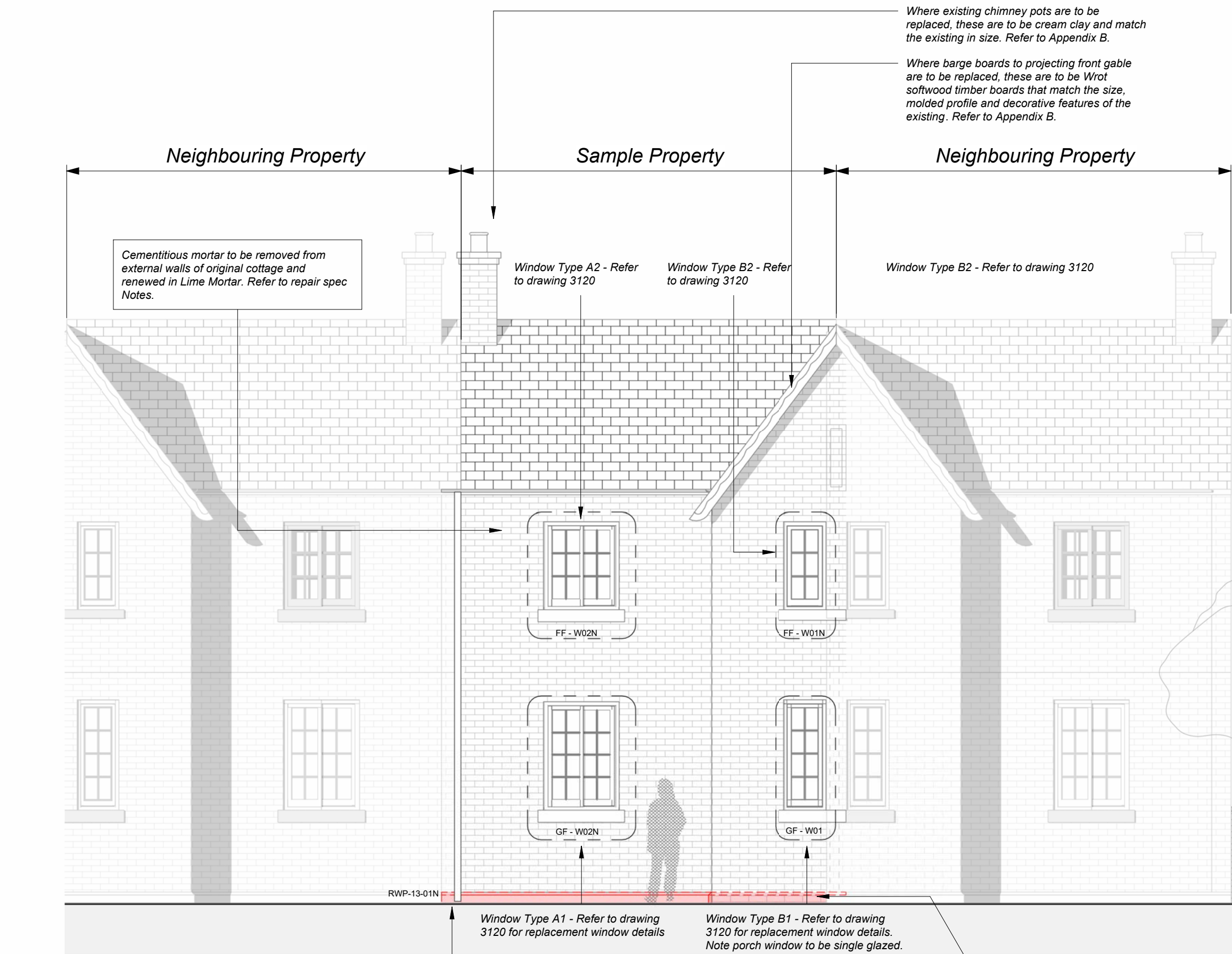
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REV SUITABILITY/REASON FOR ISSUE  
**P05 S4 - For Approval/**

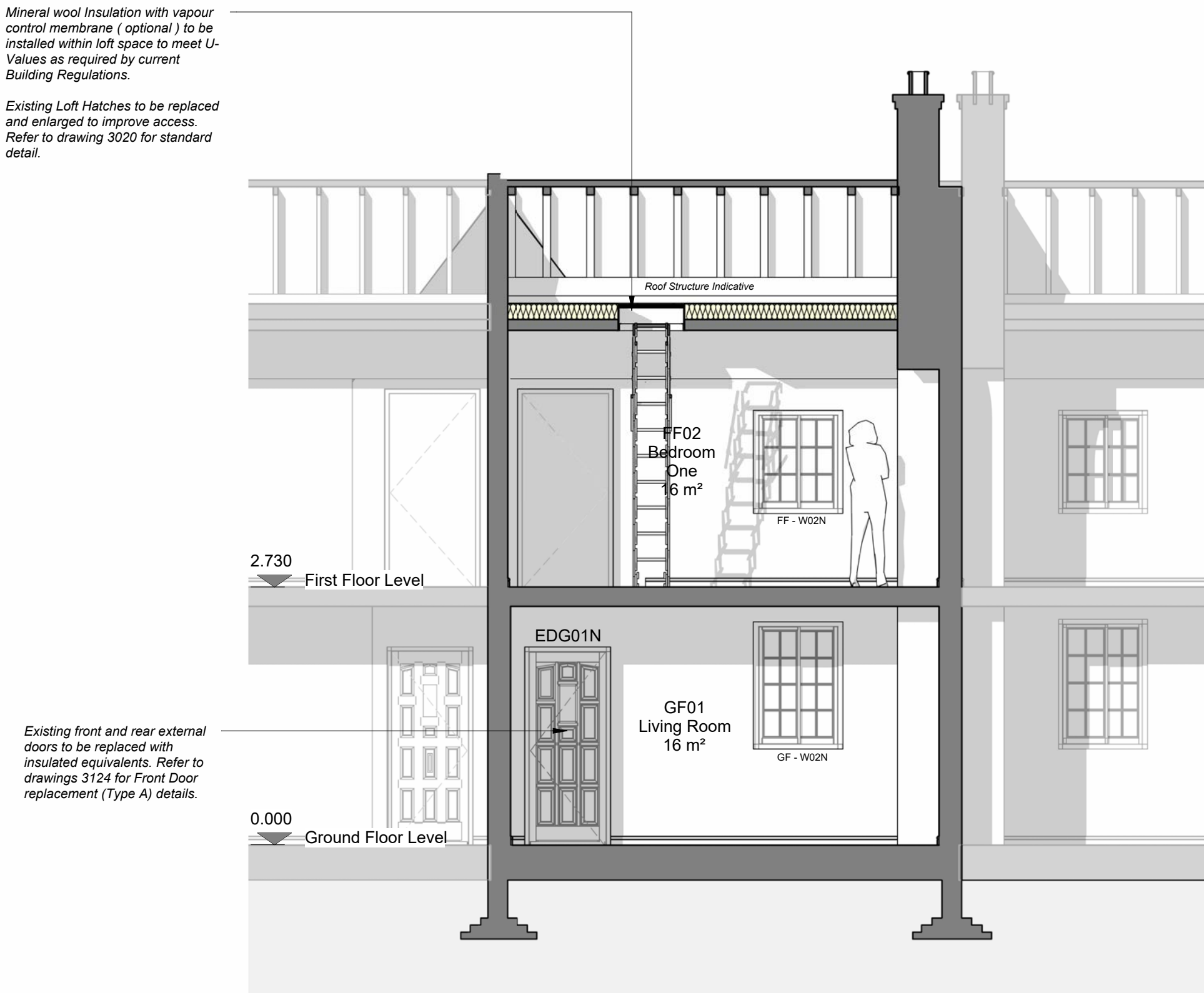
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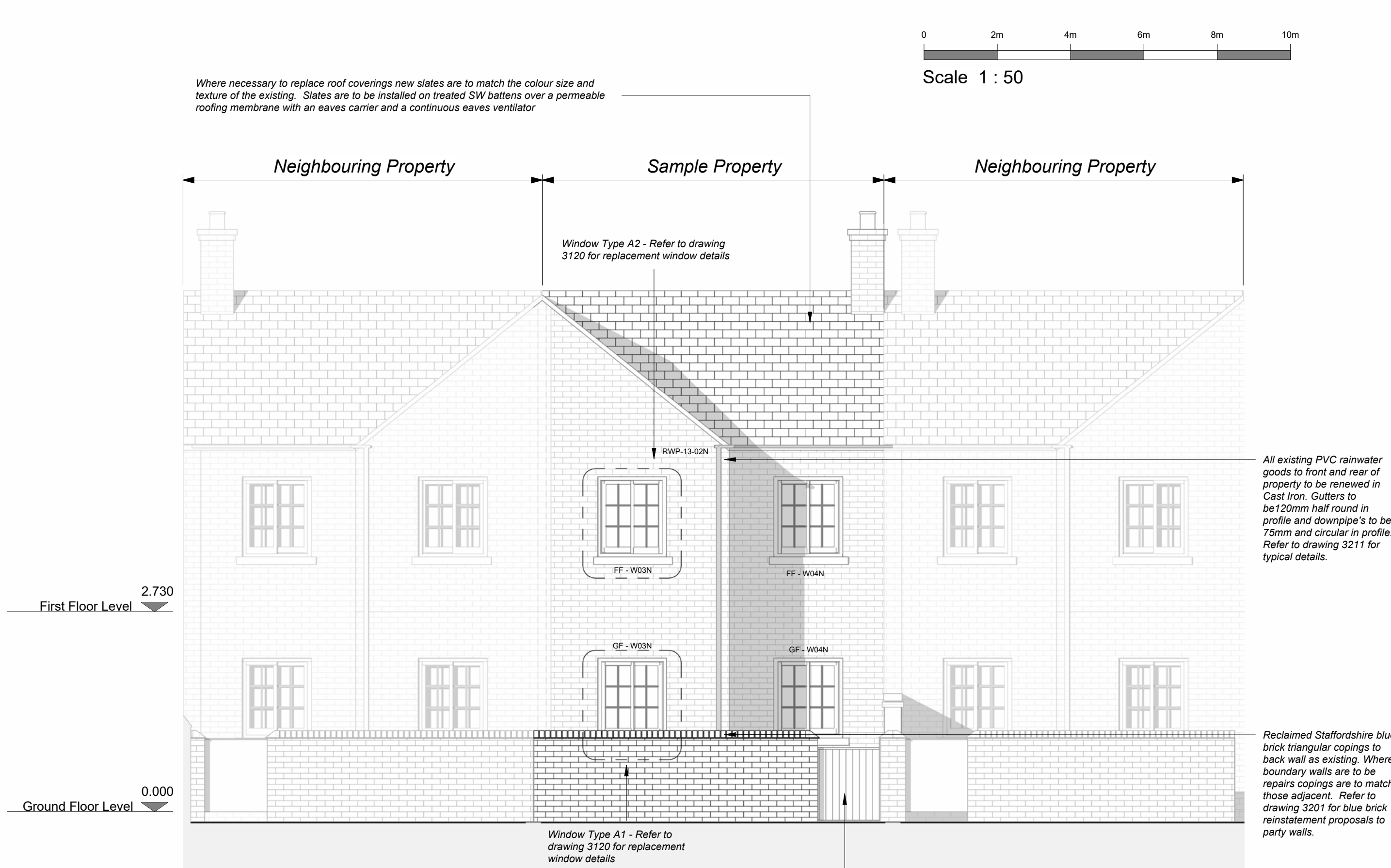




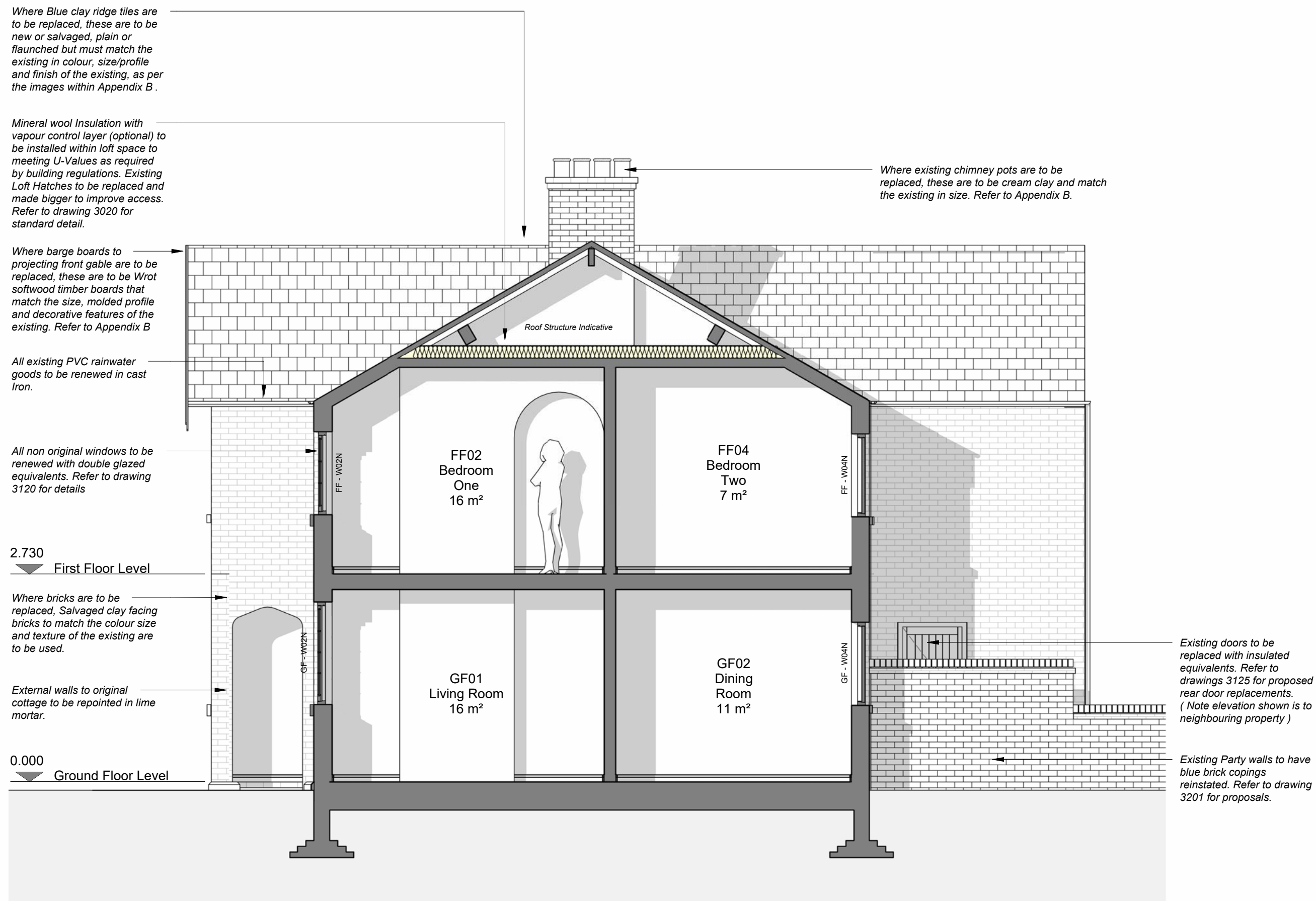
1 Principal Elevation as Proposed  
1 : 50



3 GA Section as Proposed A-A  
1 : 50



2 Rear Elevation as Proposed  
1 : 50



4 GA Section as Proposed B-B  
1 : 50

**Notes:**

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**Key Plan**  
not to scale  
**NOTES**

Removal of cementitious pointing of brickwork with repointing with Lime Mortar

1. Removal of existing cementitious mortar and cement patch repairs
  - Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arises and flush out with water. Remove cement pointing by using hand tools such as quills or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.
  - Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.
  - Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.
2. Repointing in Lime mortar
  - Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour; also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.
  - Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arisises or spread over any worn or rounded edges of the bricks or stone.
  - As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

3. Lime Mortar Spec mix spec

1. Mix:
  - 1 part Hydraulic Lime, 3.5 NHL
  - 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
  - 1/2 part fine red sand sieved to <600 microns
  - 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

2. Additives:  
Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd

4. Lime Mortar Spec mix Photo

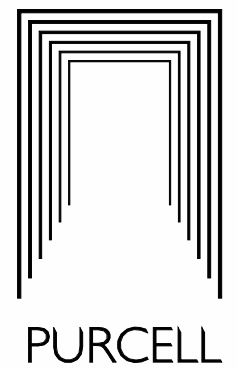


P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	21/11/2024	MP	MP	Issued for Information
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**



TITLE  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Elevations and Sections**

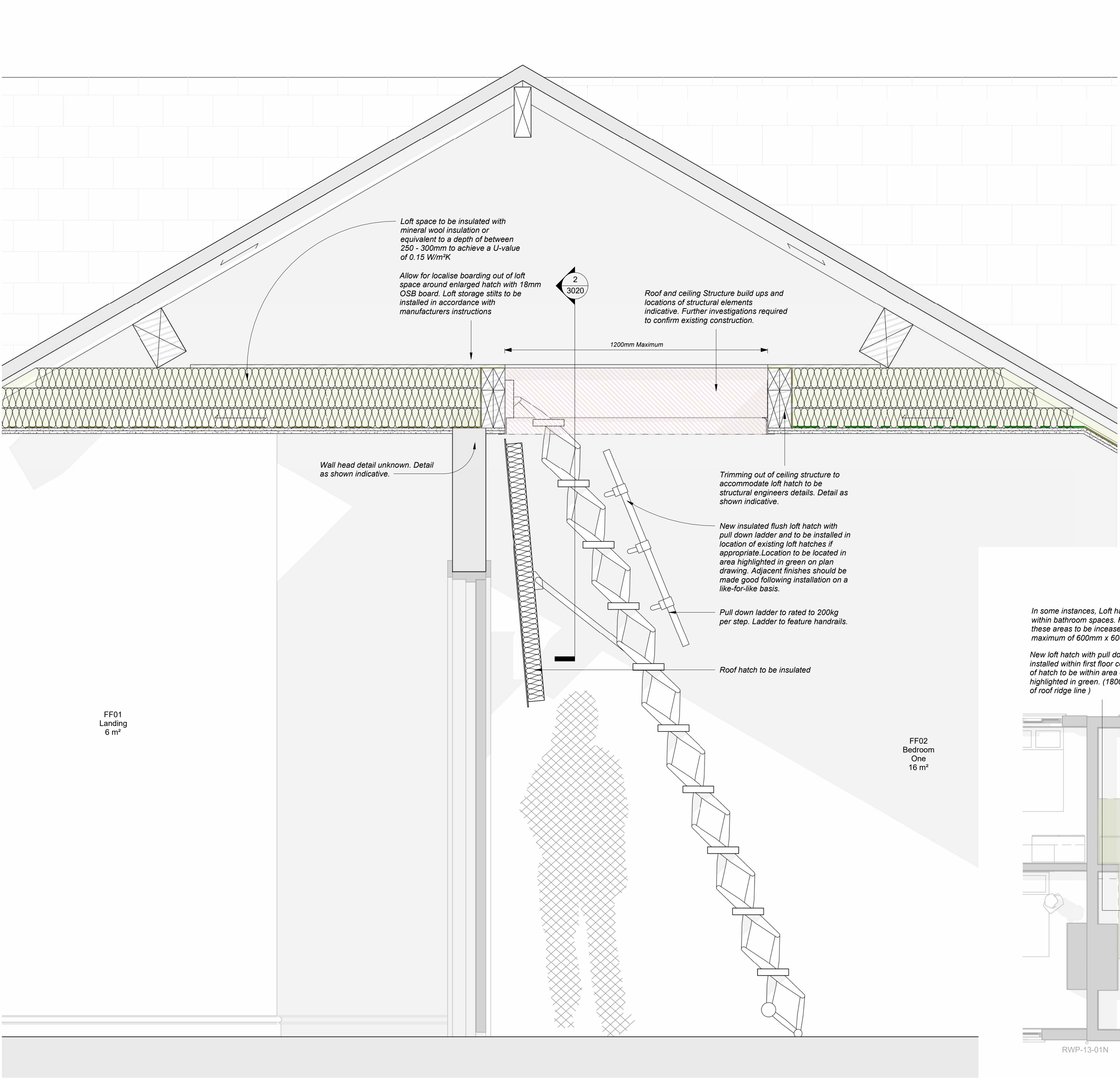
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A1L 1 : 50

REV SUITABILITY/REASON FOR ISSUE  
P05 S4 - For Approval

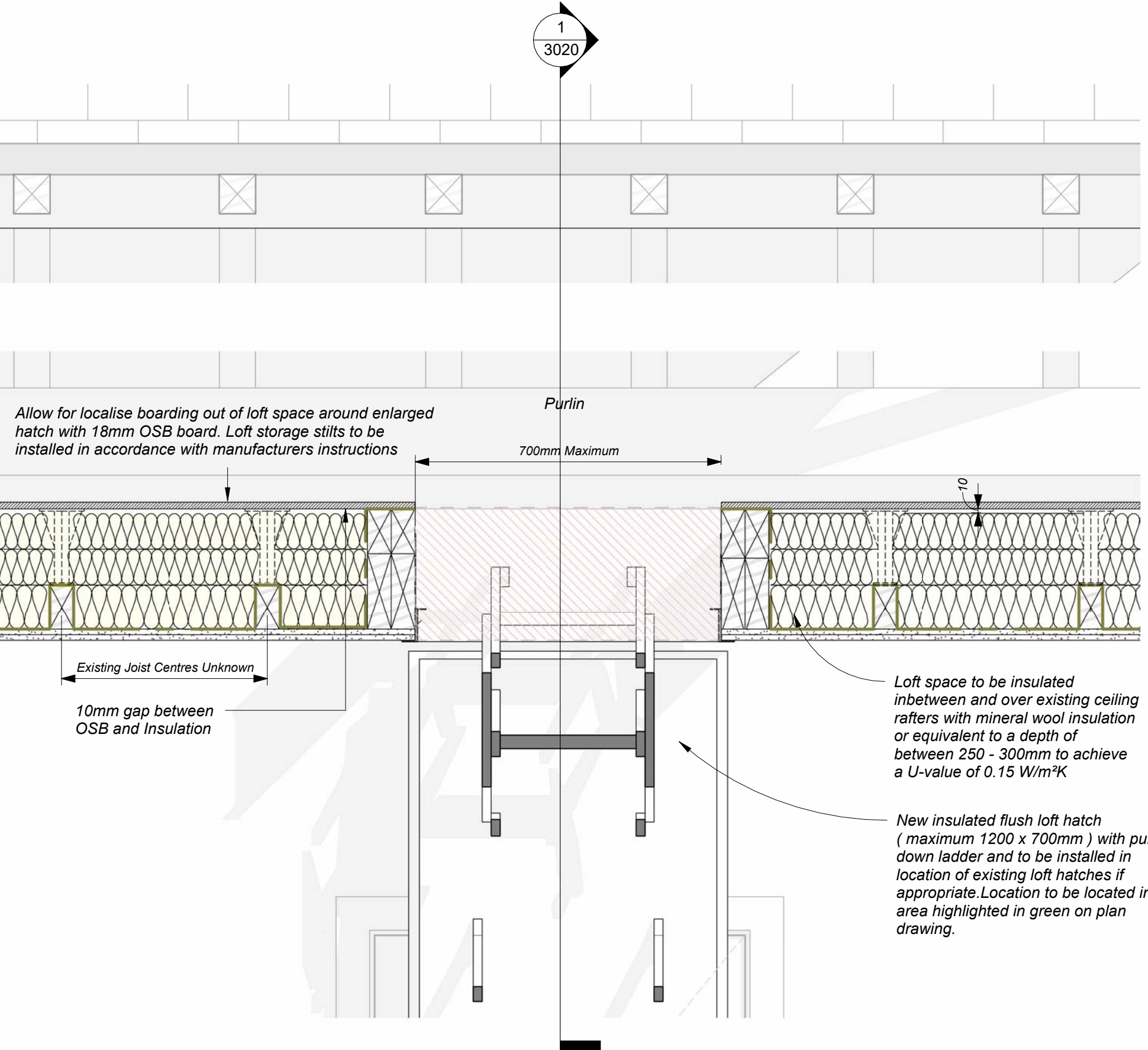
DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-2120**

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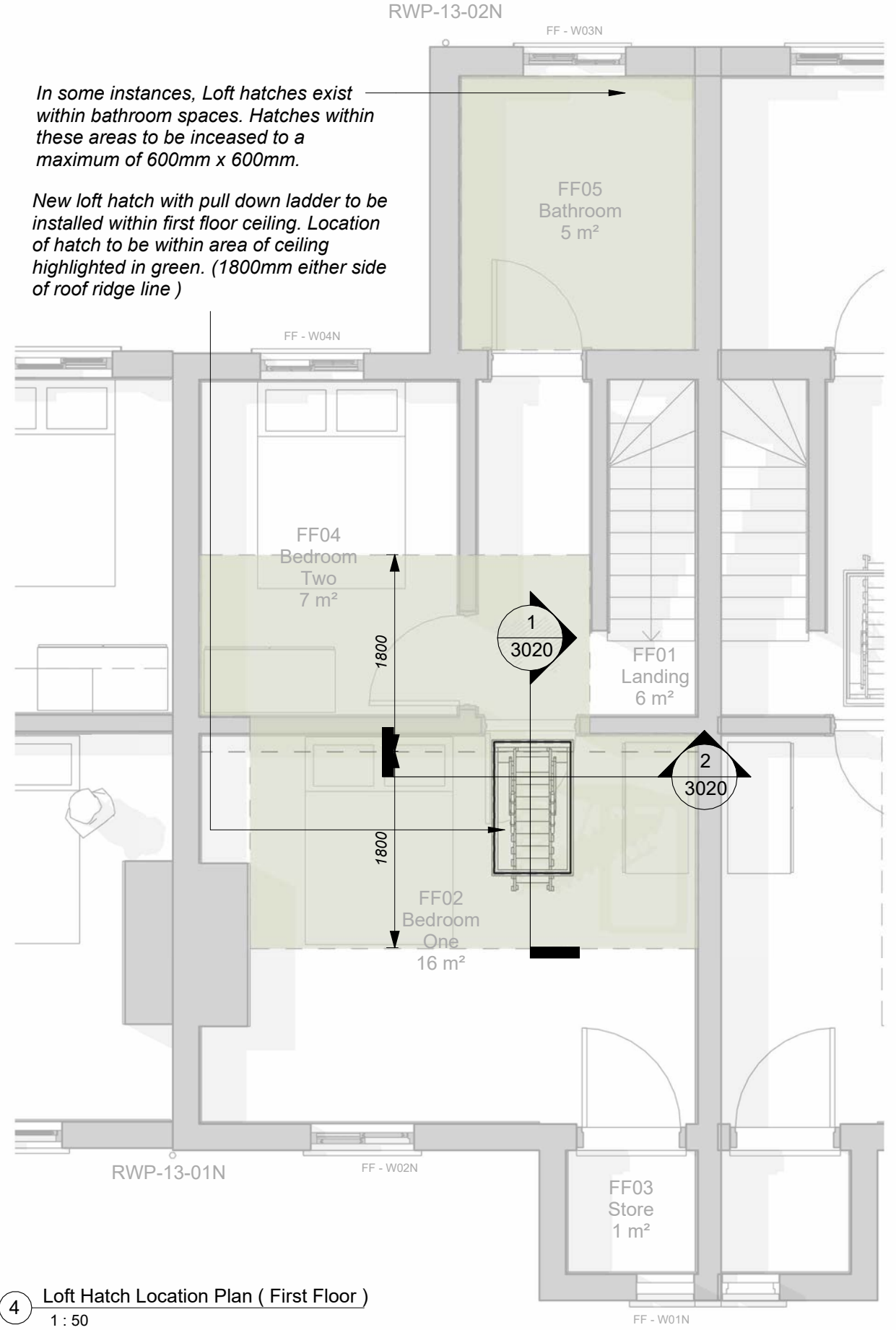




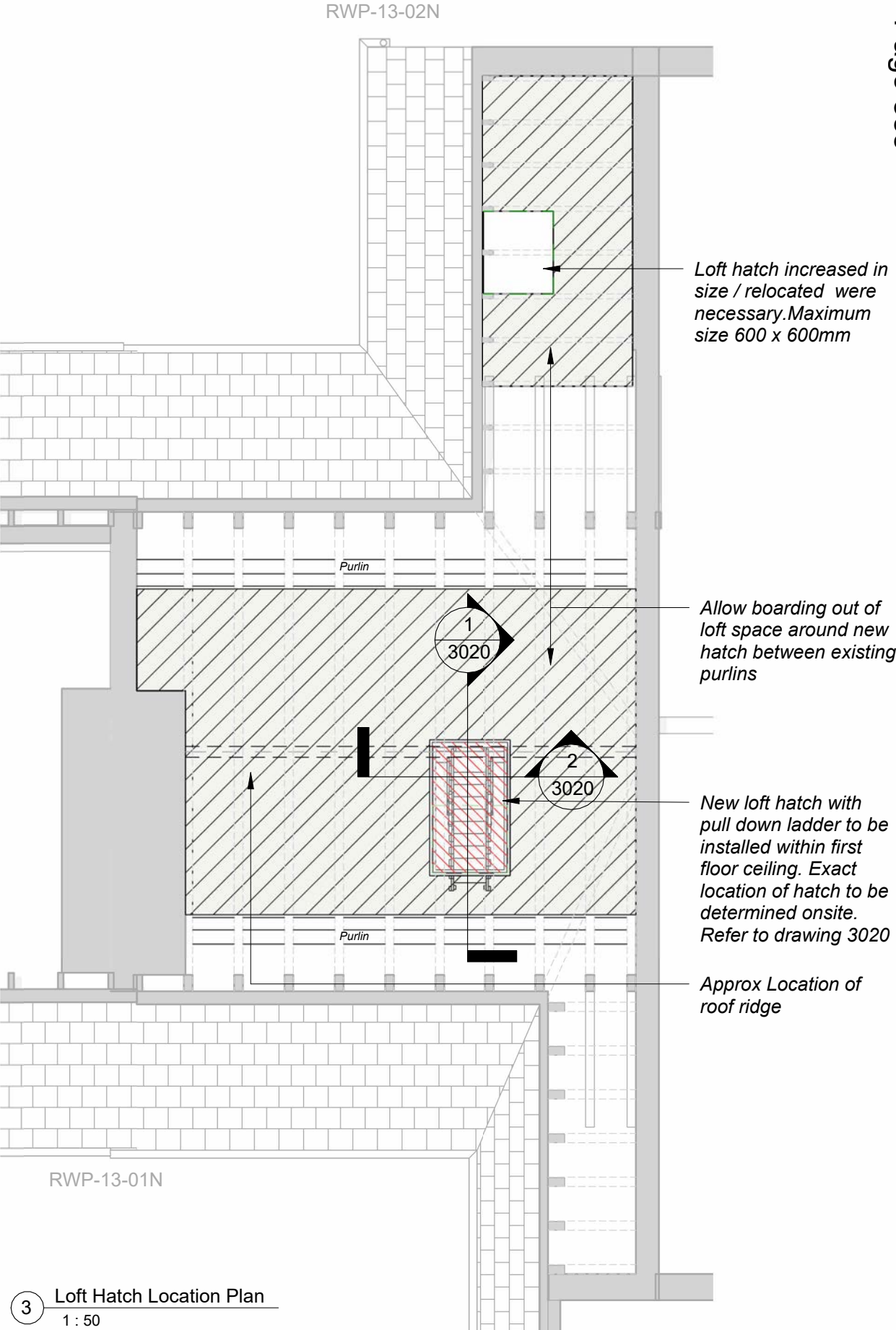
1 Typical Section A-A Through Loft Hatch  
1 : 10



2 Typical Section B-B Through Loft Hatch  
1 : 10



4 Loft Hatch Location Plan ( First Floor )  
1 : 50



3 Loft Hatch Location Plan  
1 : 50

**Notes:**  
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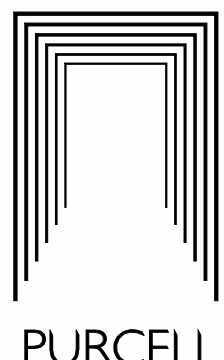
- NOTES**
- Loft hatches and access ladders may be installed within the zone identified on this drawings only.
  - Roof / ceiling structure as shown is indicative due to lack of available access.

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

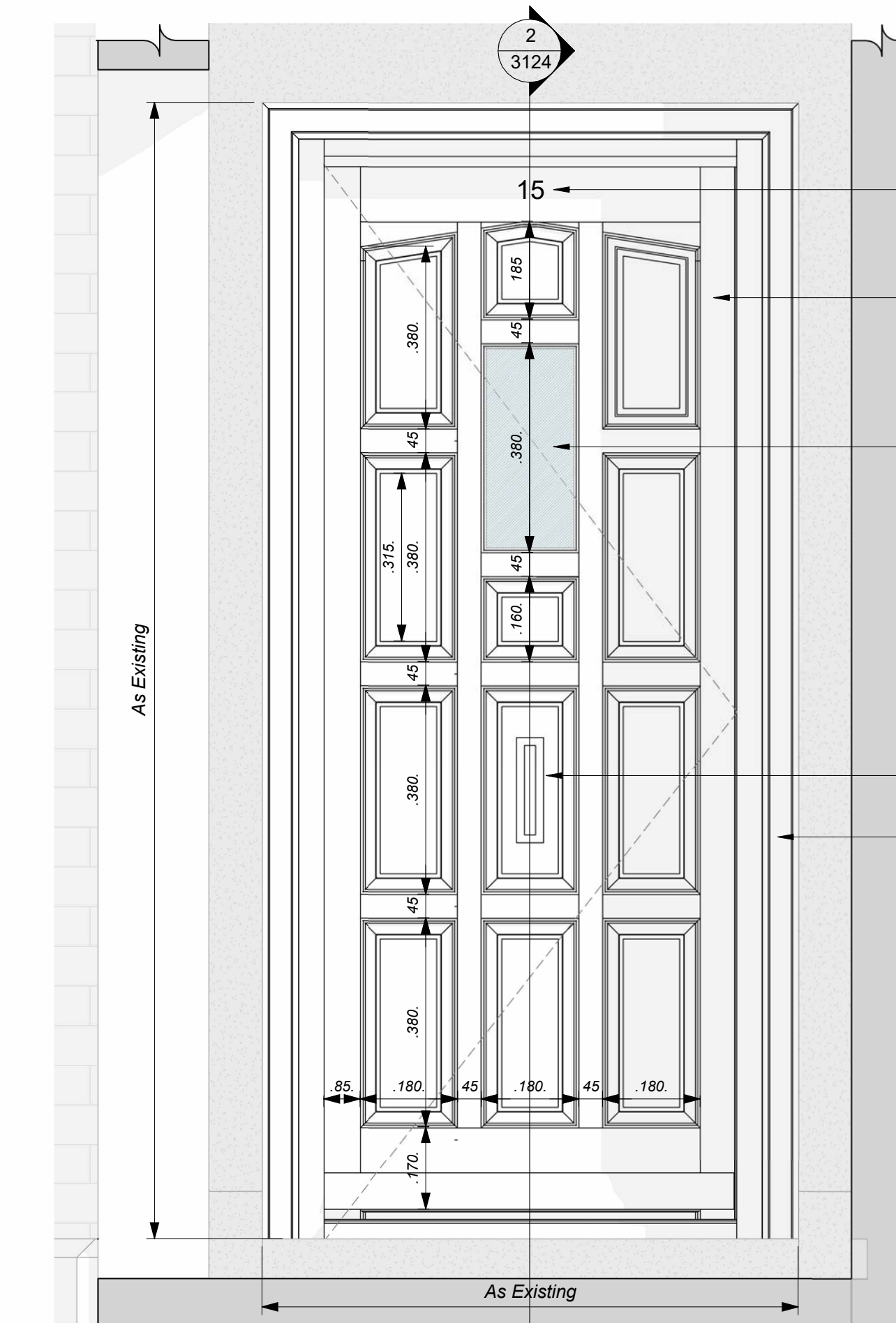
**CLIENT**  
Cheshire East Council  
**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231  
**TITLE**  
Dorfold / Tollitt Street - Typical Loft Hatch Detail

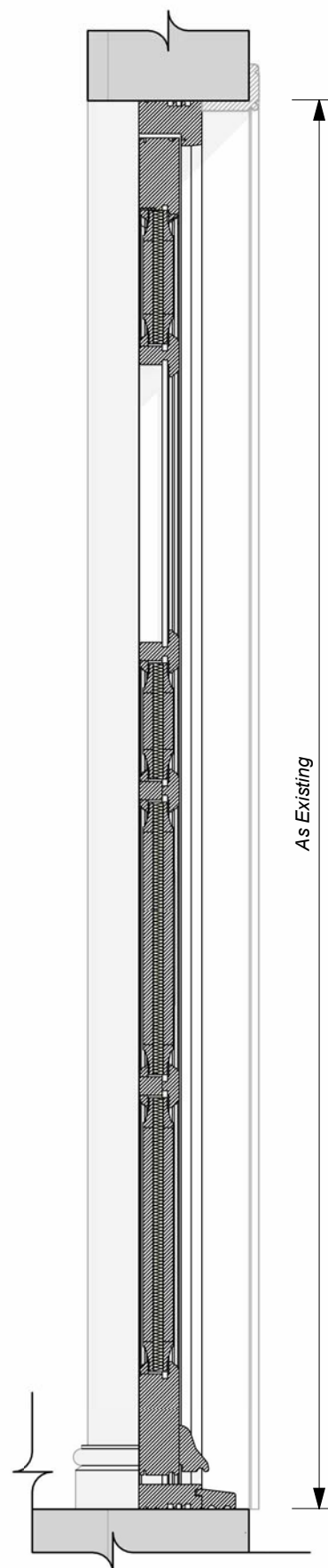
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**SCALE** As indicated  
**REV** P05  
**SUITABILITY/REASON FOR ISSUE** S4 - For Approval/  
**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-3020



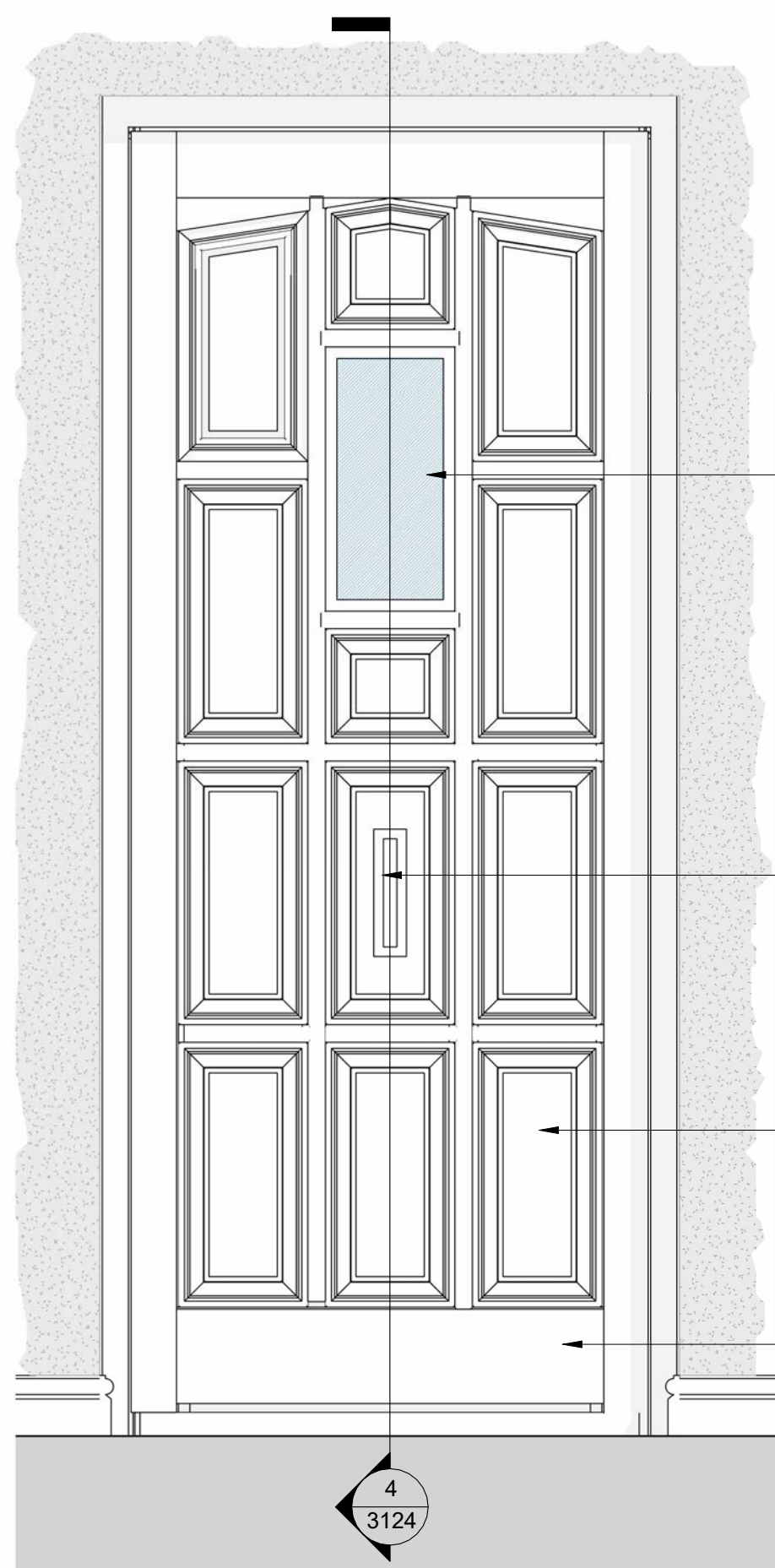




1 External Door Type A as Proposed - External Elevation  
1 : 10



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10

Existing external Architrave profile to be retained and redecorated.

Allow for making good of reveals following installation of new door.

Door to be finished externally in RAL 170 40 15 Palace Green. Refer to Appendix C.

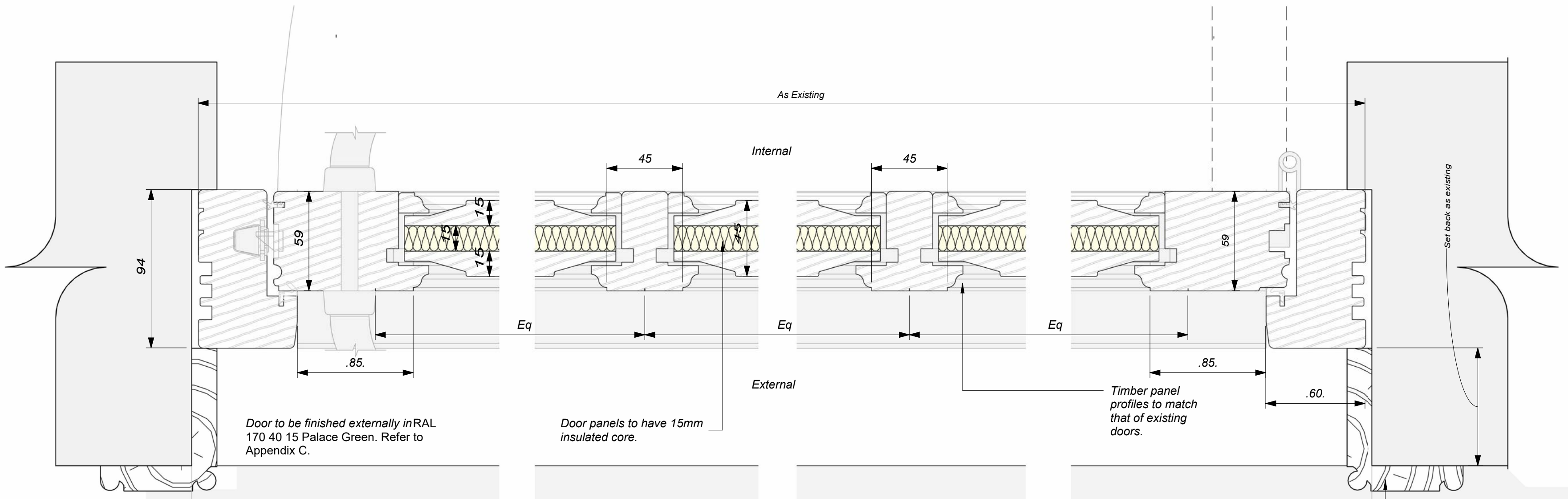
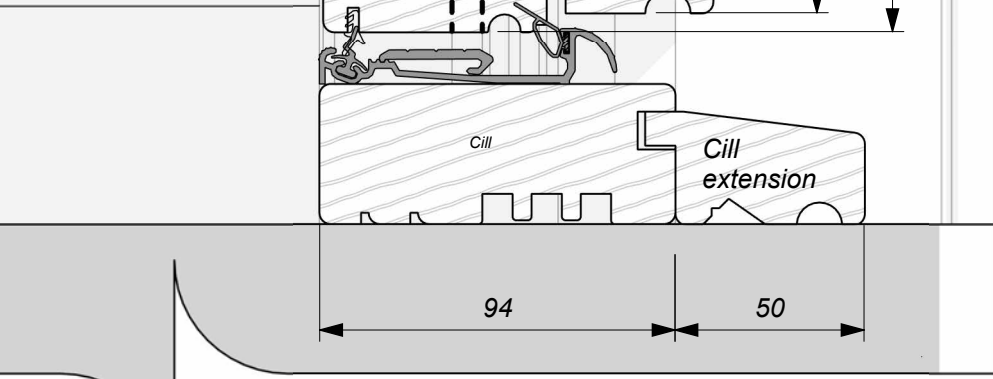
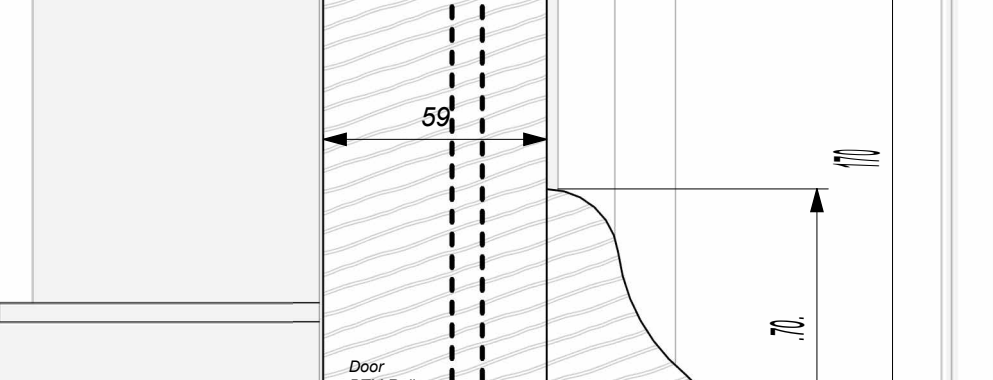
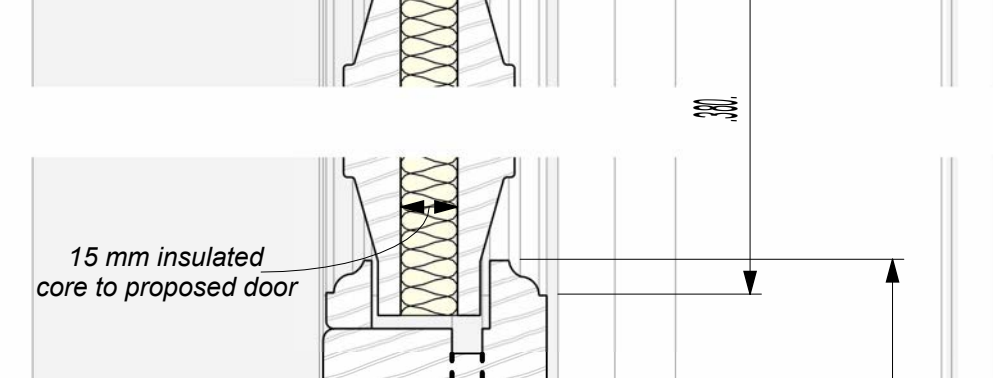
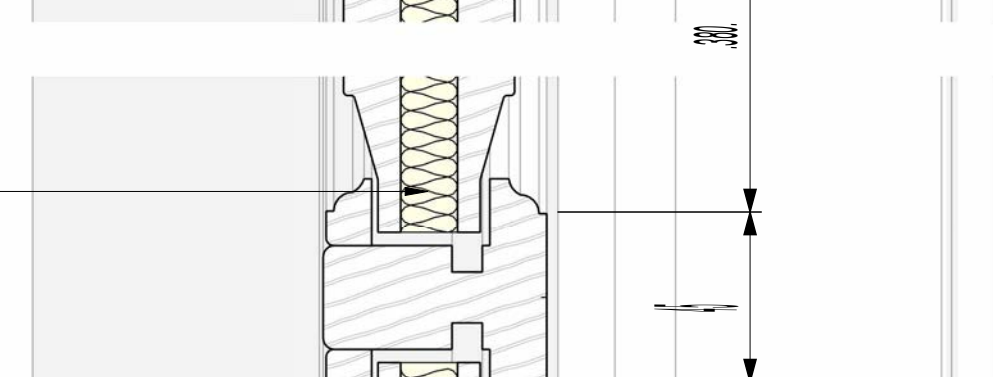
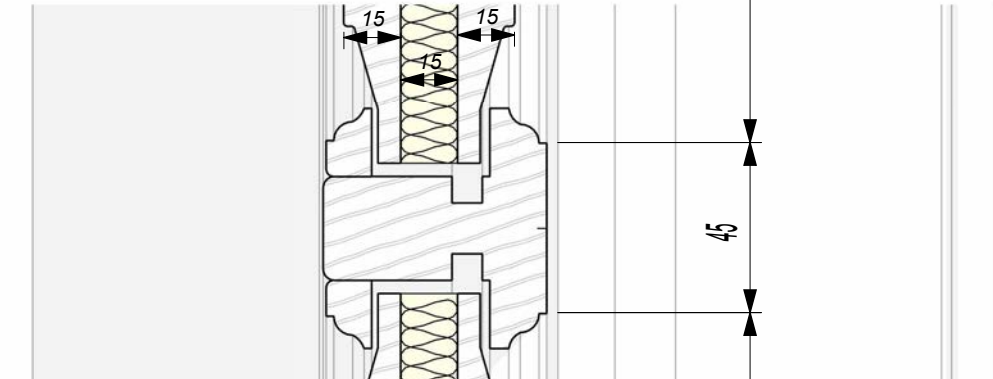
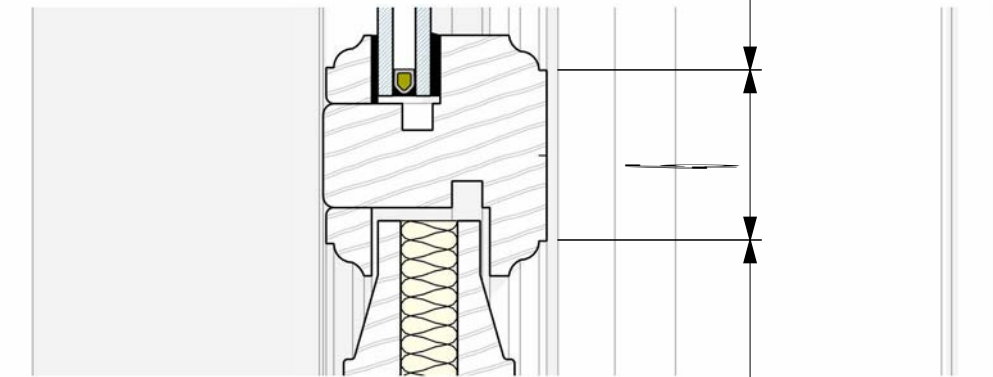
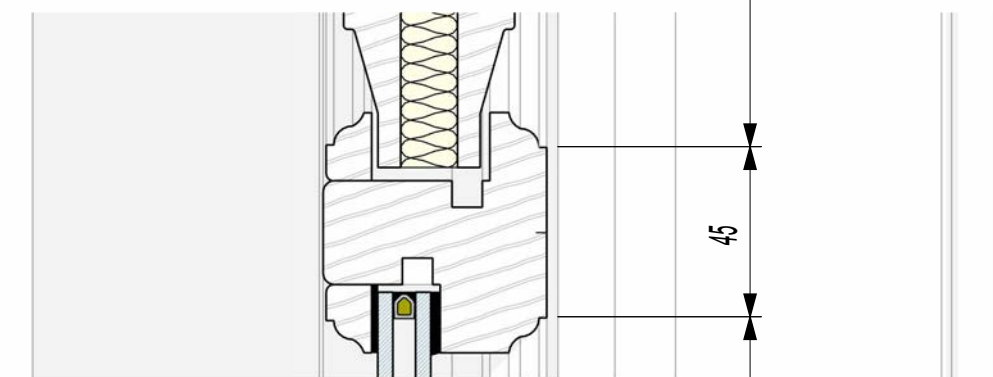
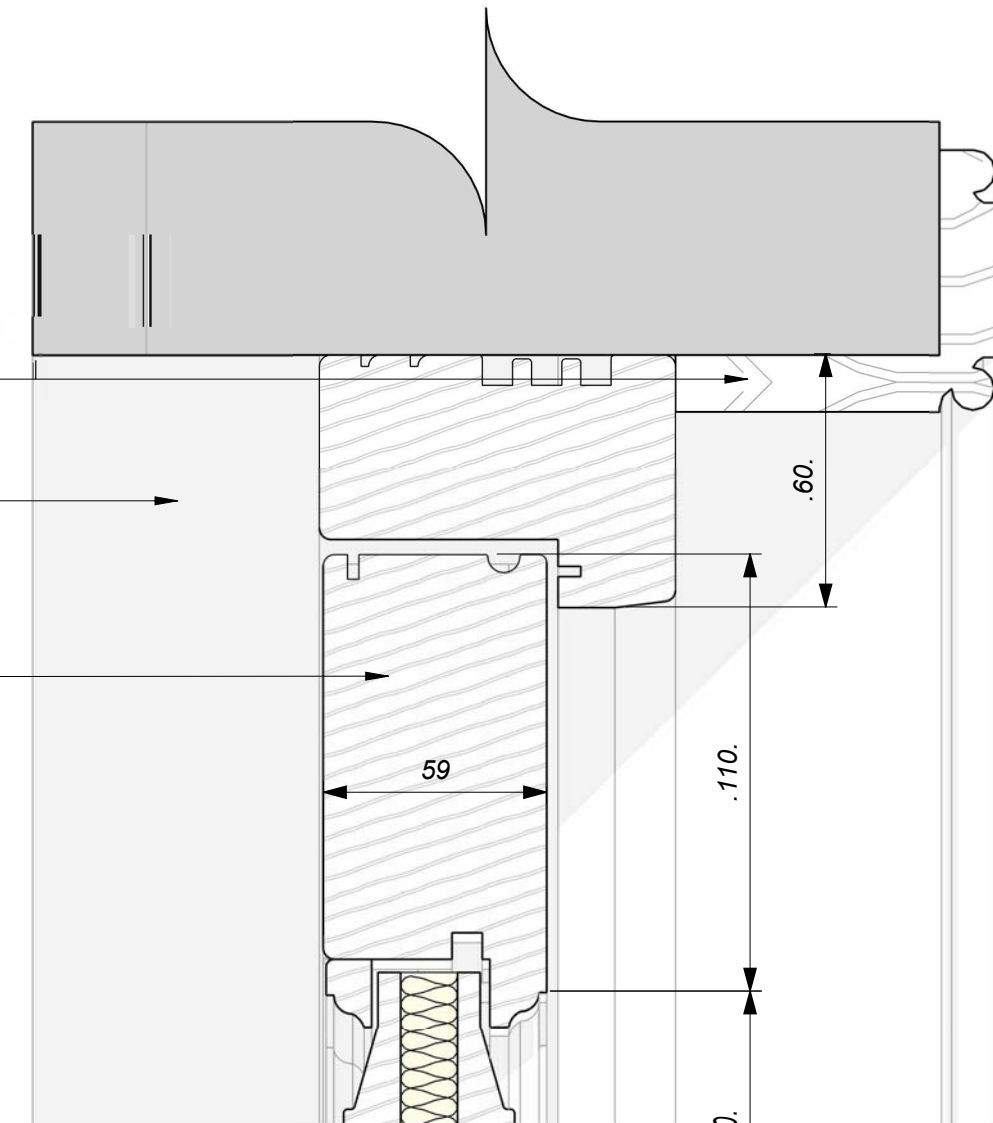
Slim Double glazed vision panel.

Letter box

General setting out of door arrangement to match existing.

Overall U-Value of door to achieve between 1.4 and 1.2 W/m²K

Door panels to have 15mm insulated core (Optional).



6 External Door Type A as Proposed - Plan Detail  
1 : 2

4 External Door Type A as Proposed - Section Detail  
1 : 2

#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**  
JOB NUMBER  
**243231**



TITLE  
**Dorfold / Betley / Tollitt Street - External Door Type A as Proposed**

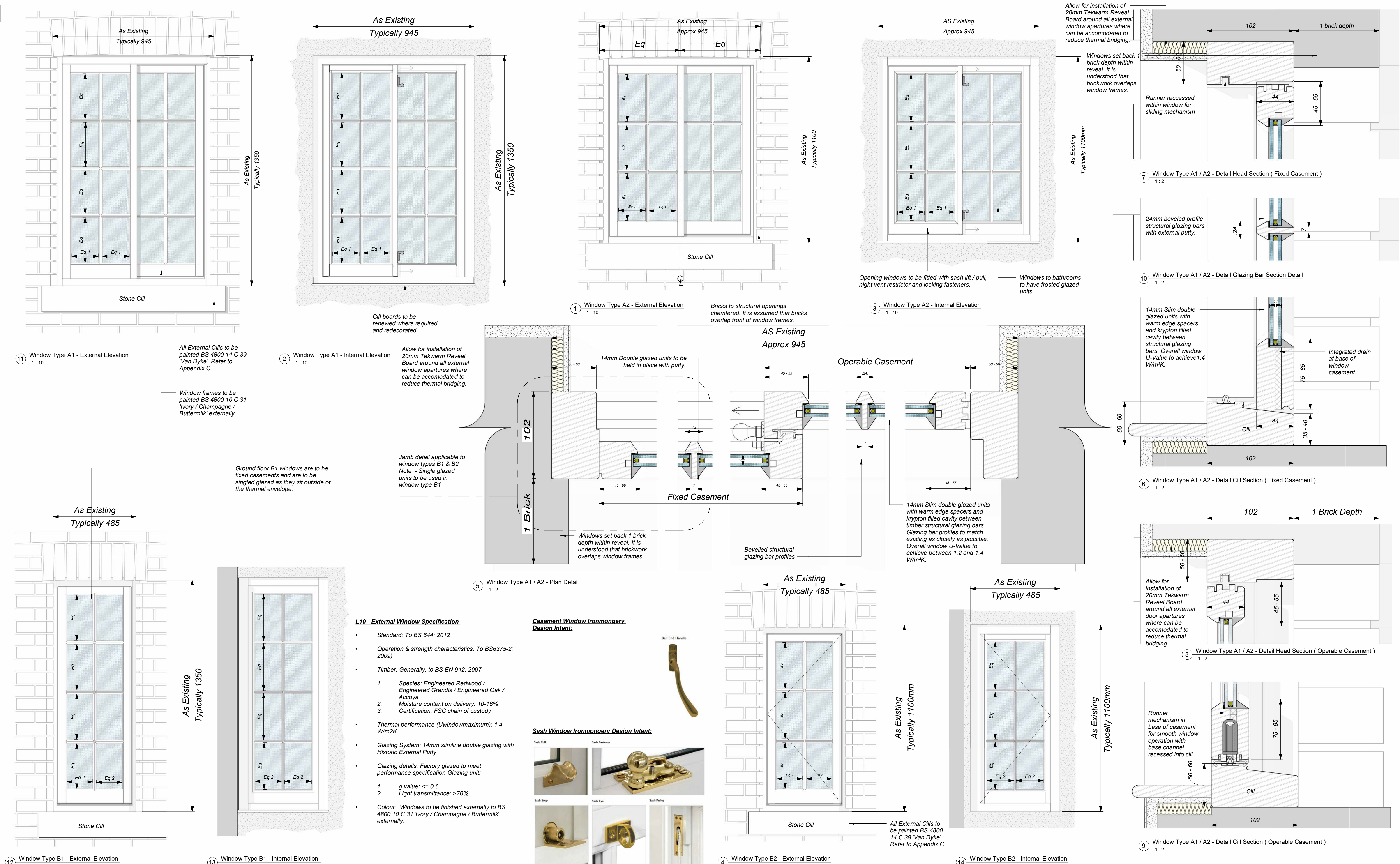
SIZE SCALE  
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REV SUITABILITY/REASON FOR ISSUE  
**P05 S4 - For Approval**

DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-3124**

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**Window Type B1 - External Elevation**  
1:10

**Window Type B1 - Internal Elevation**  
1:10

P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
Cheshire East Council

**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231

**TITLE**  
Dorfold / Betley / Tollitt Street - Window Details as Proposed

**SIZE**    **SCALE**  
A1L    As indicated

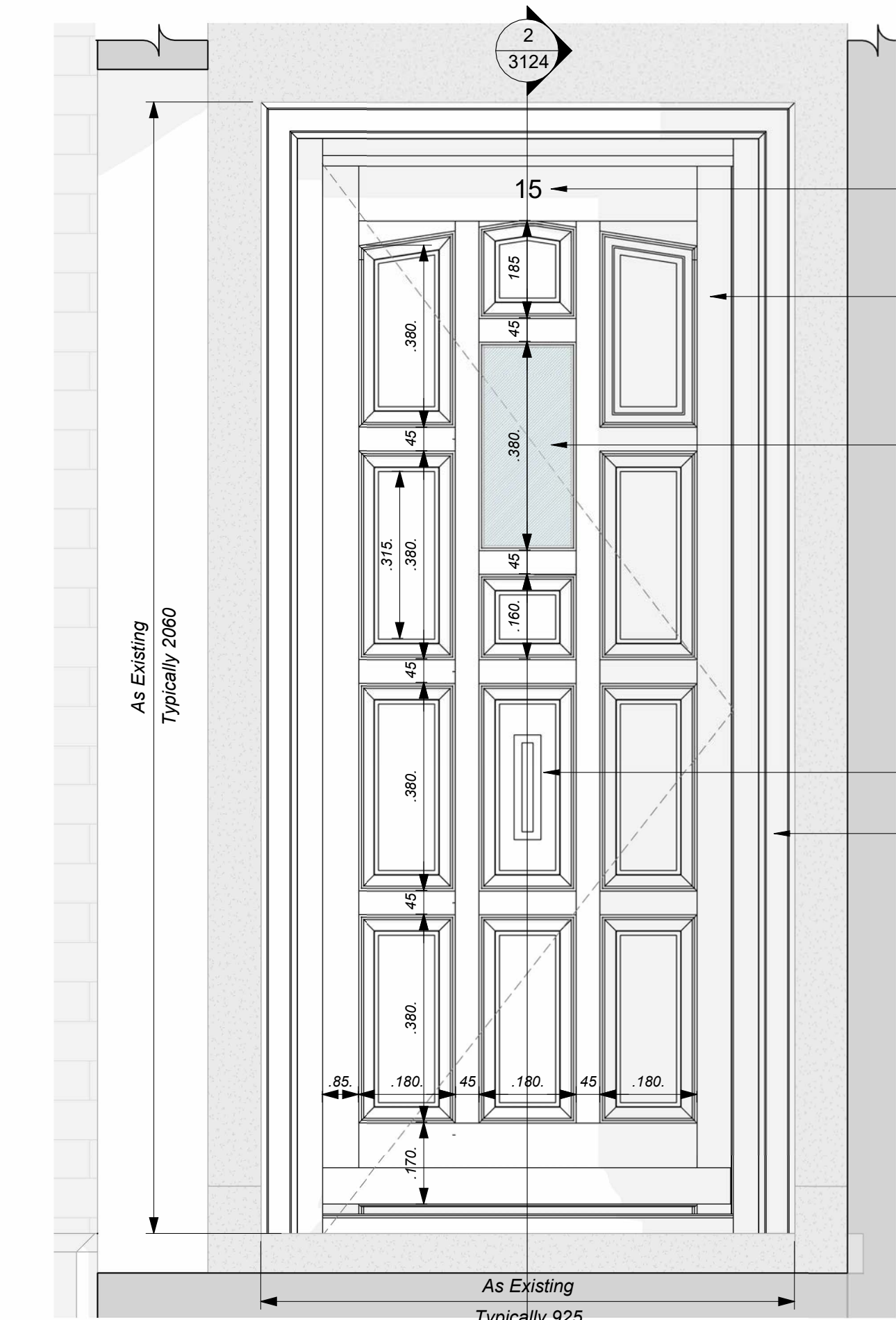
**REV**    **SUITABILITY/REASON FOR ISSUE**  
P07    S3 - For Review & Comment/

**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-3120

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1 External Door Type A as Proposed - External Elevation  
1 : 10

House number to be located central to top rail.

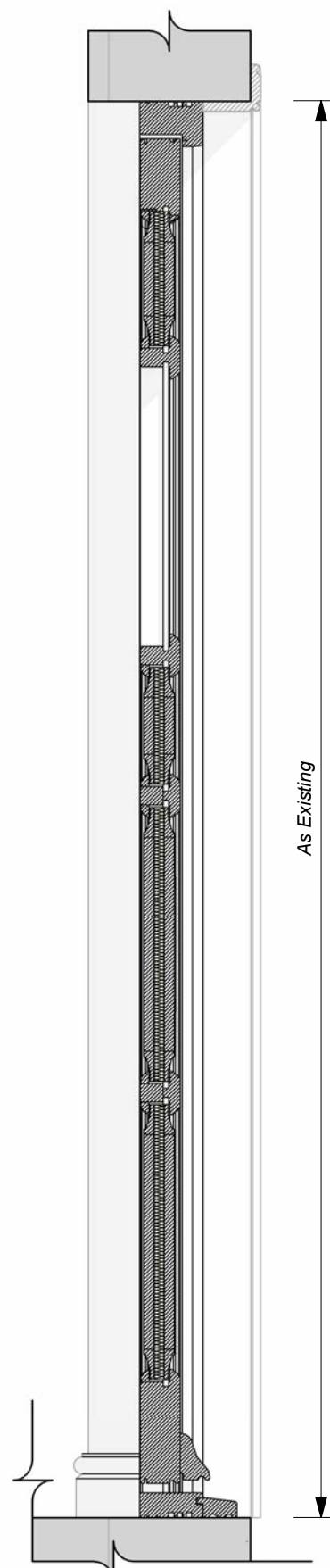
Door to be finished externally in BS 4800 14 C 39 - 'Hollybush' Refer to Appendix C.

Double glazed vision panel with putty finish to external side.

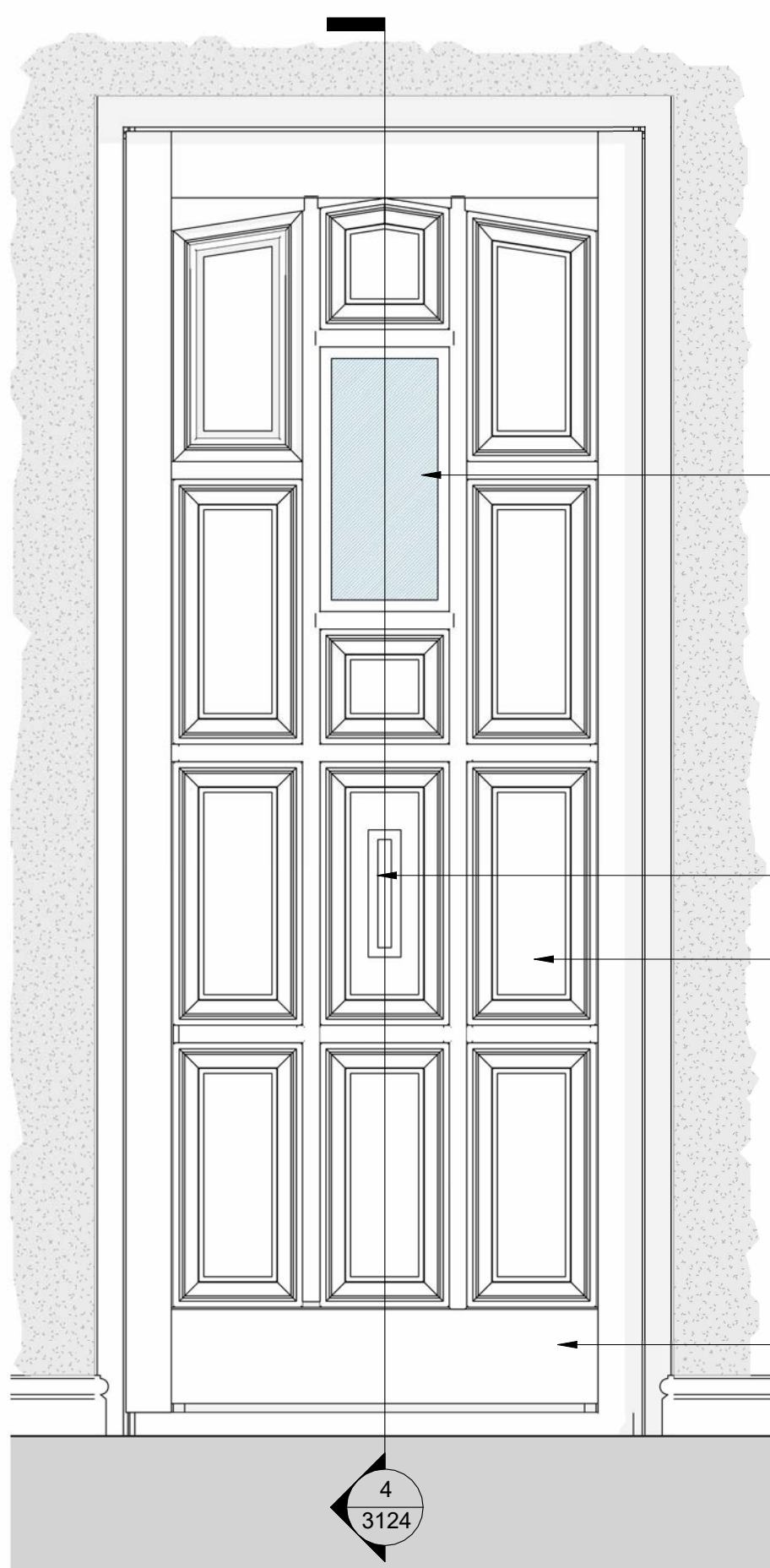
14mm Slim double glazed unit with warm edge spacers and krypton filled cavity. Overall U-Value to achieve 1.4 W/m²K.

Letter box to match existing

Existing external Architrave profile to be retained and redecorated.



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10

Allow for installation of 20mm Tekwarm Reveal Board around all external door apertures where can be accommodated to reduce thermal bridging.

Existing external Architrave profile to be retained and redecorated.

Allow for making good of reveals following installation of new door and reveal boards.

Door to be finished externally in BS 4800 14 C 39 - 'Hollybush' Refer to Appendix C.

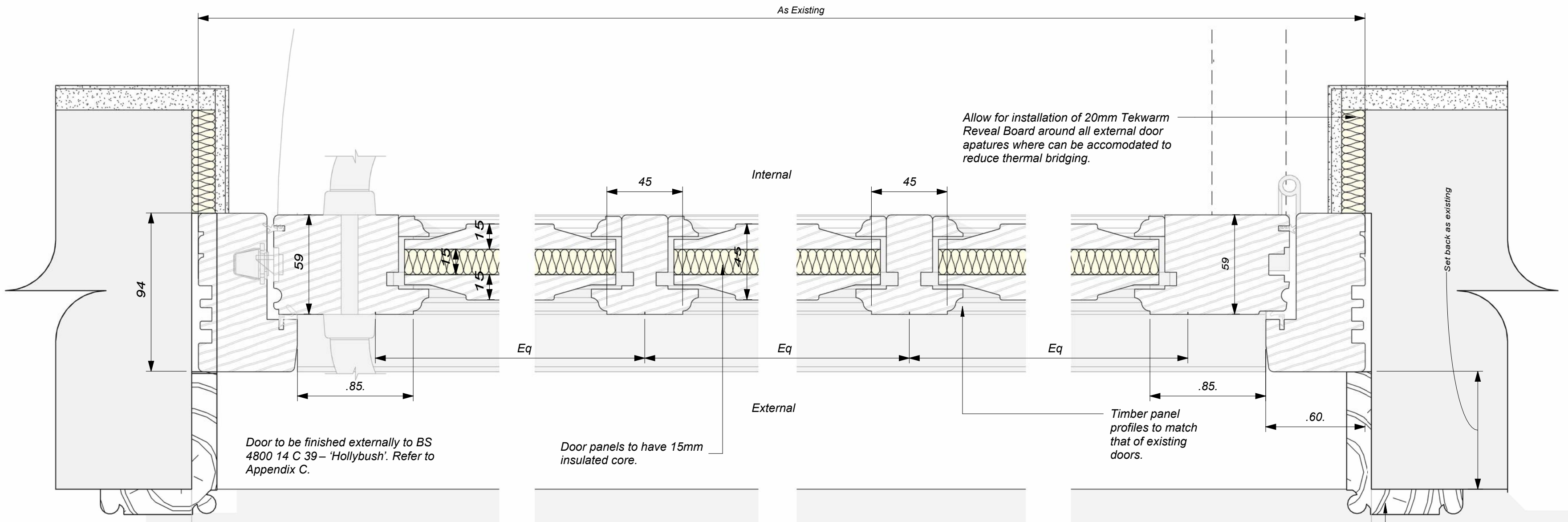
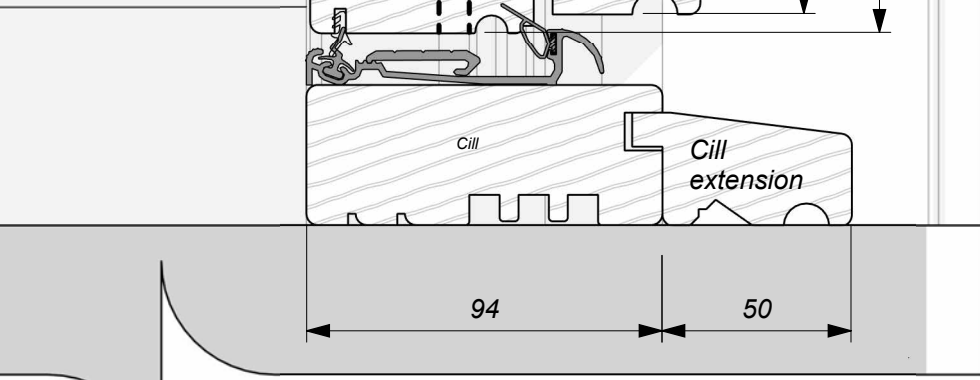
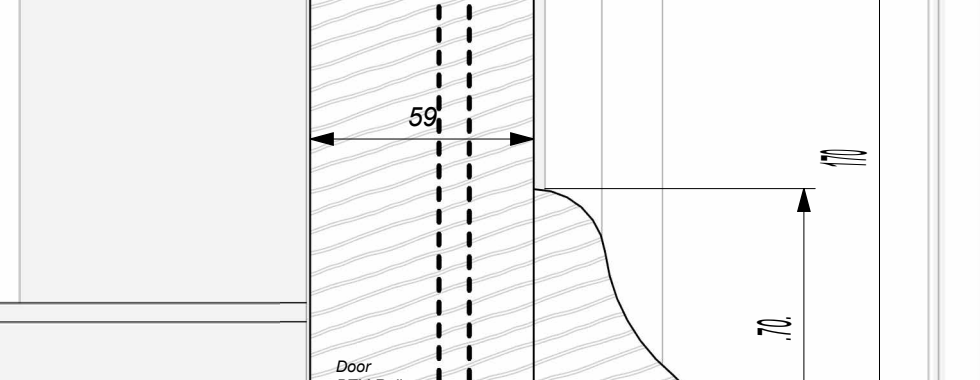
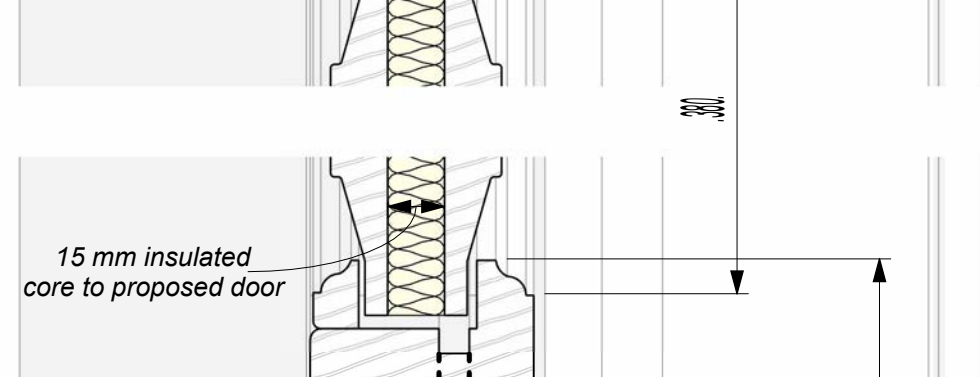
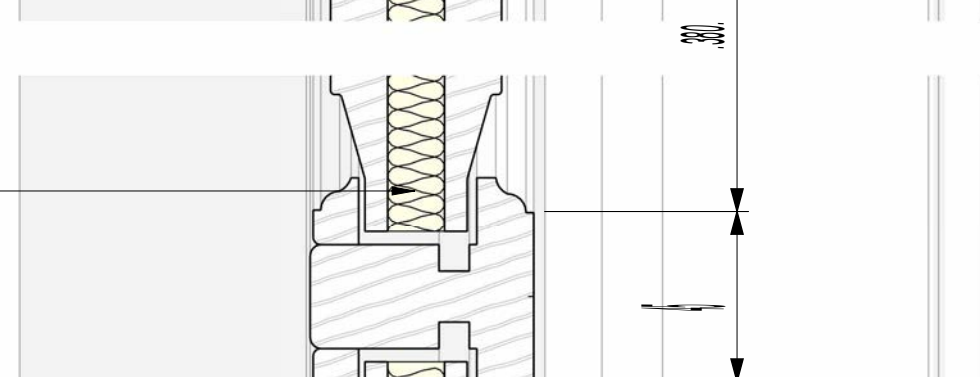
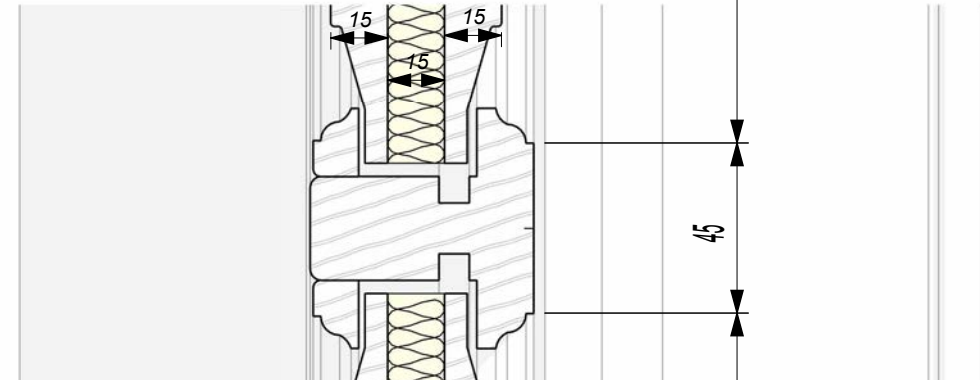
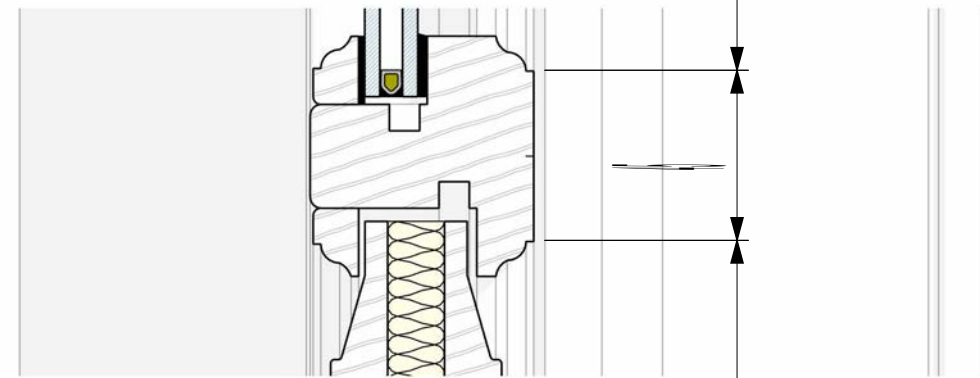
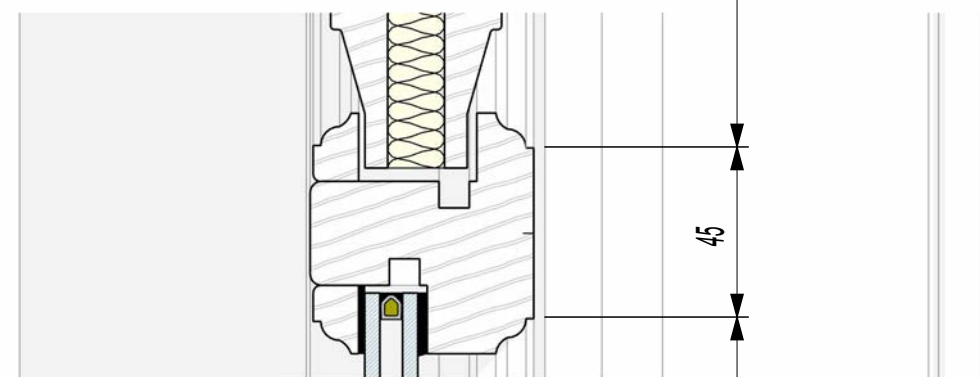
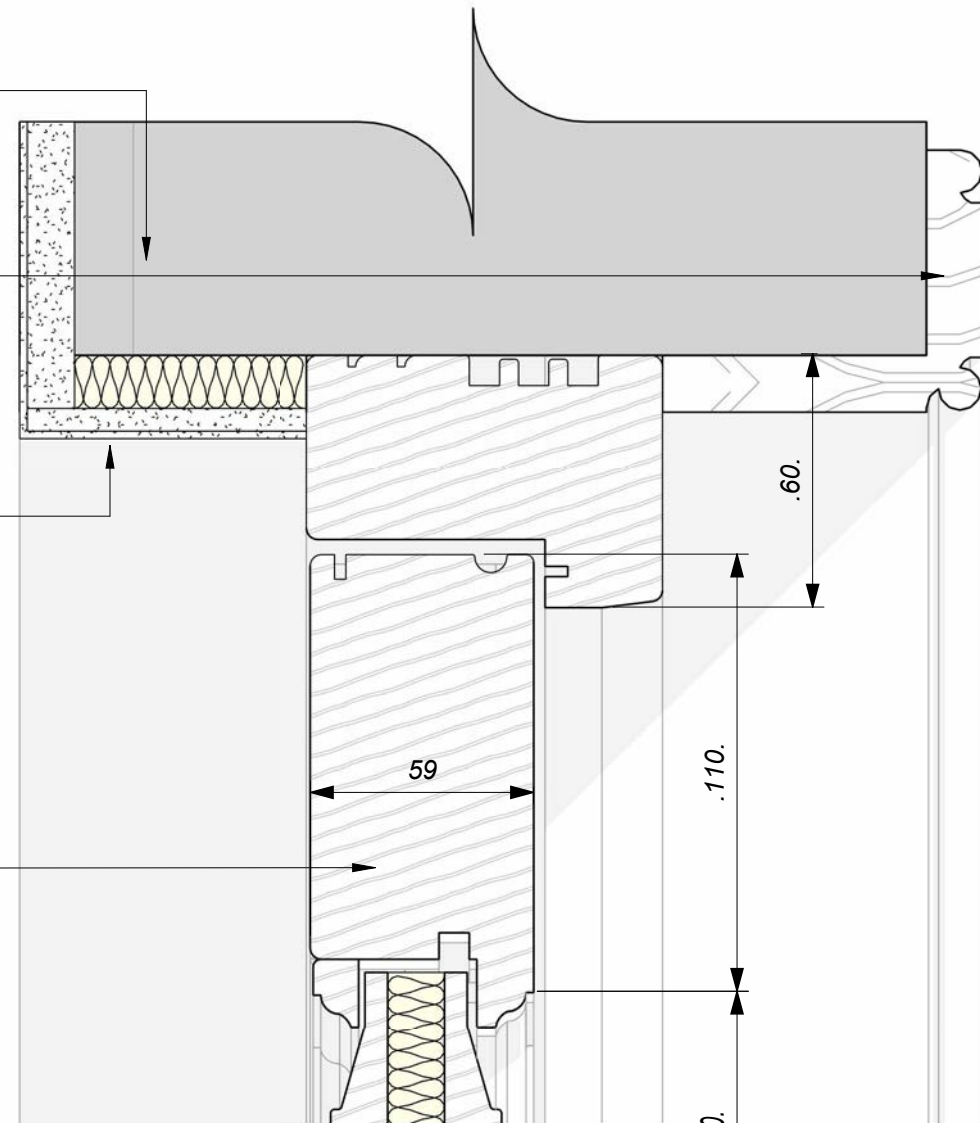
Slim Double glazed vision panel.

Letter box

General setting out of door arrangement to match existing.

Overall U-Value of door to achieve between 1.4 W/m²K minimum.

Door panels to have 15mm insulated core (Optional).



6 External Door Type A as Proposed - Plan Detail  
1 : 2

Door to be finished externally to BS 4800 14 C 39 - 'Hollybush'. Refer to Appendix C.

Door panels to have 15mm insulated core.

Timber panel profiles to match that of existing doors.

Allow for installation of 20mm Tekwarm Reveal Board around all external door apertures where can be accommodated to reduce thermal bridging.

Timber panel profiles to match that of existing doors.

Existing external Architrave profile to be retained and redecorated.

4 External Door Type A as Proposed - Section Detail  
1 : 2

#### Notes:

Drawings are based on survey data and may not accurately represent what is physically present.

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%

Colour: Door to be finished externally to BS 4800 14 C 39 - 'Hollybush'

- Door to achieve PAS24 / secure by Design

#### Ironmongery Design Intent:



P07	16/05/2025	MP	JPH	Paint Colours Amended
P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

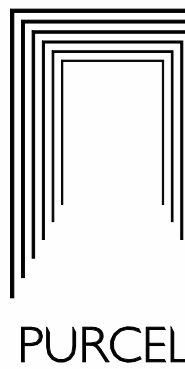
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollitt Street - External Door Type A as Proposed - DESIGN INTENT

#### SIZE

A1L

As indicated

#### REV

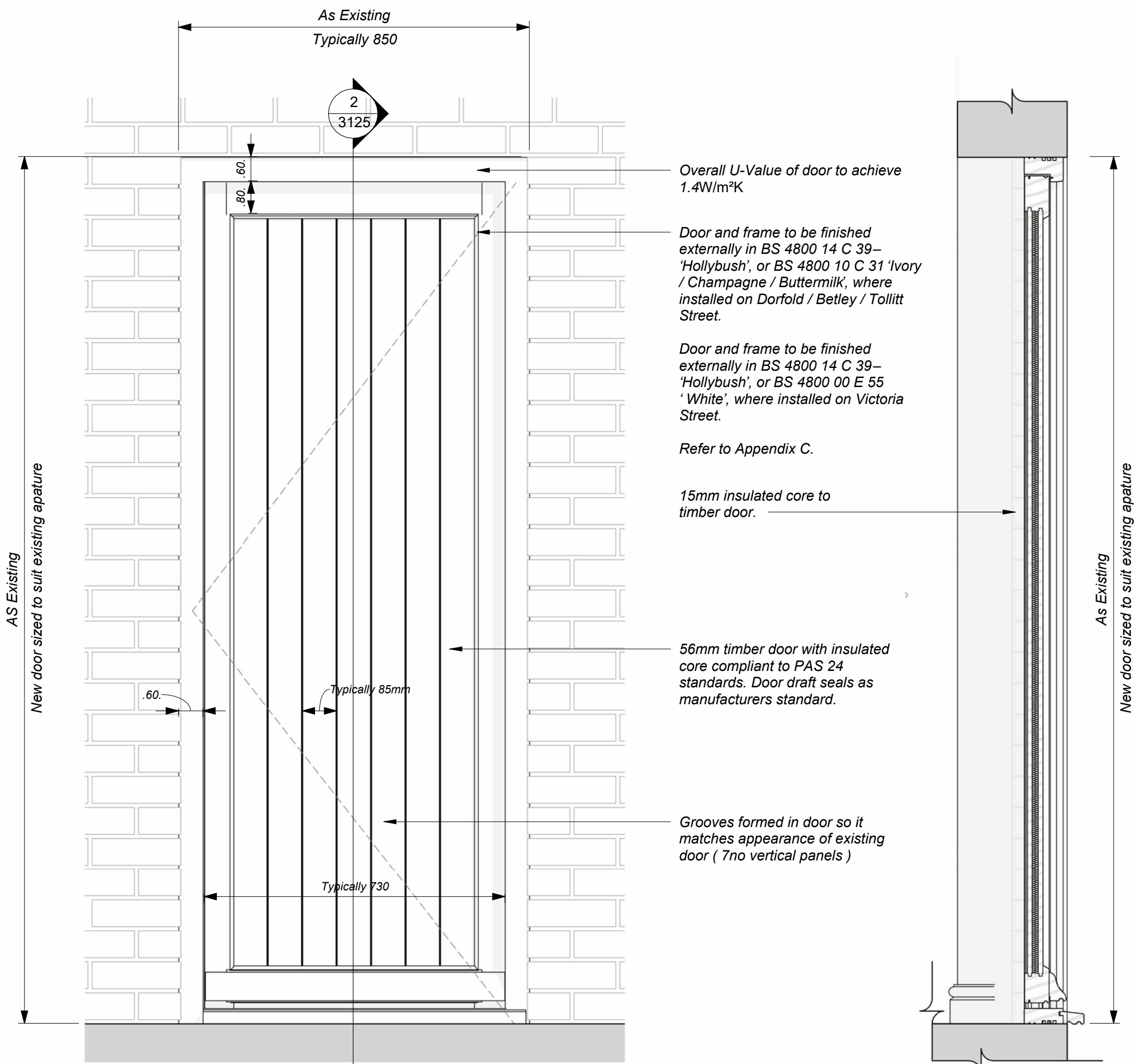
S3 - For Review & Comment

#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3124

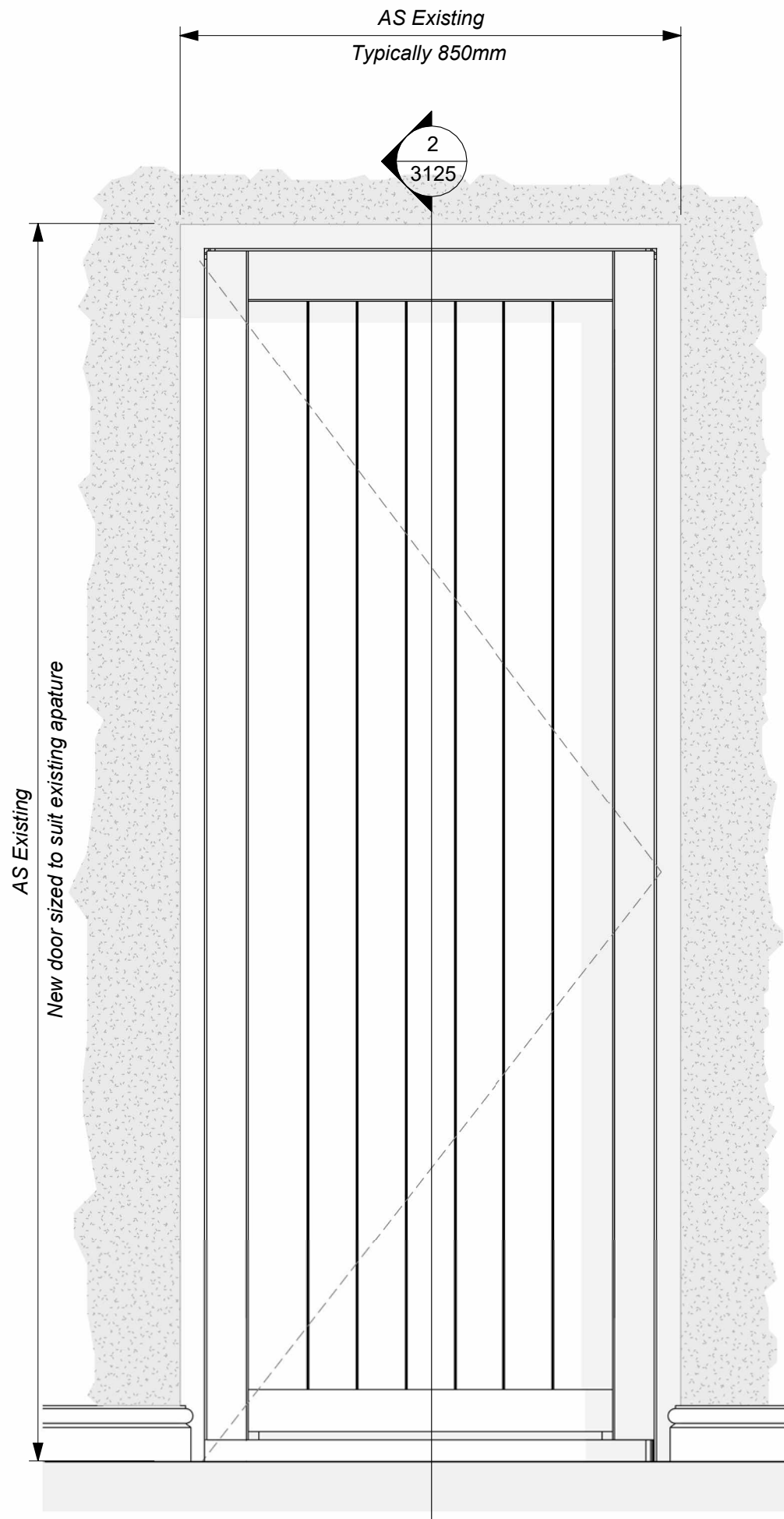
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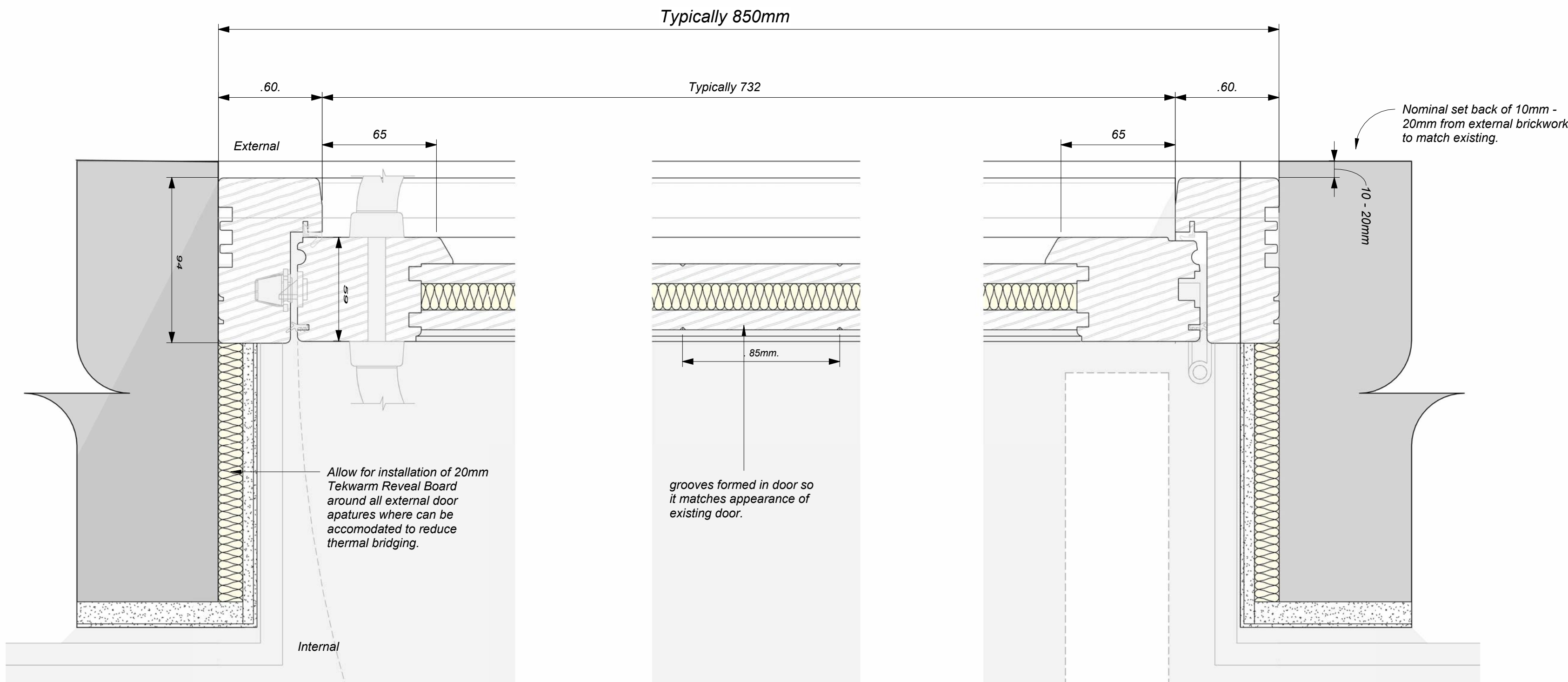
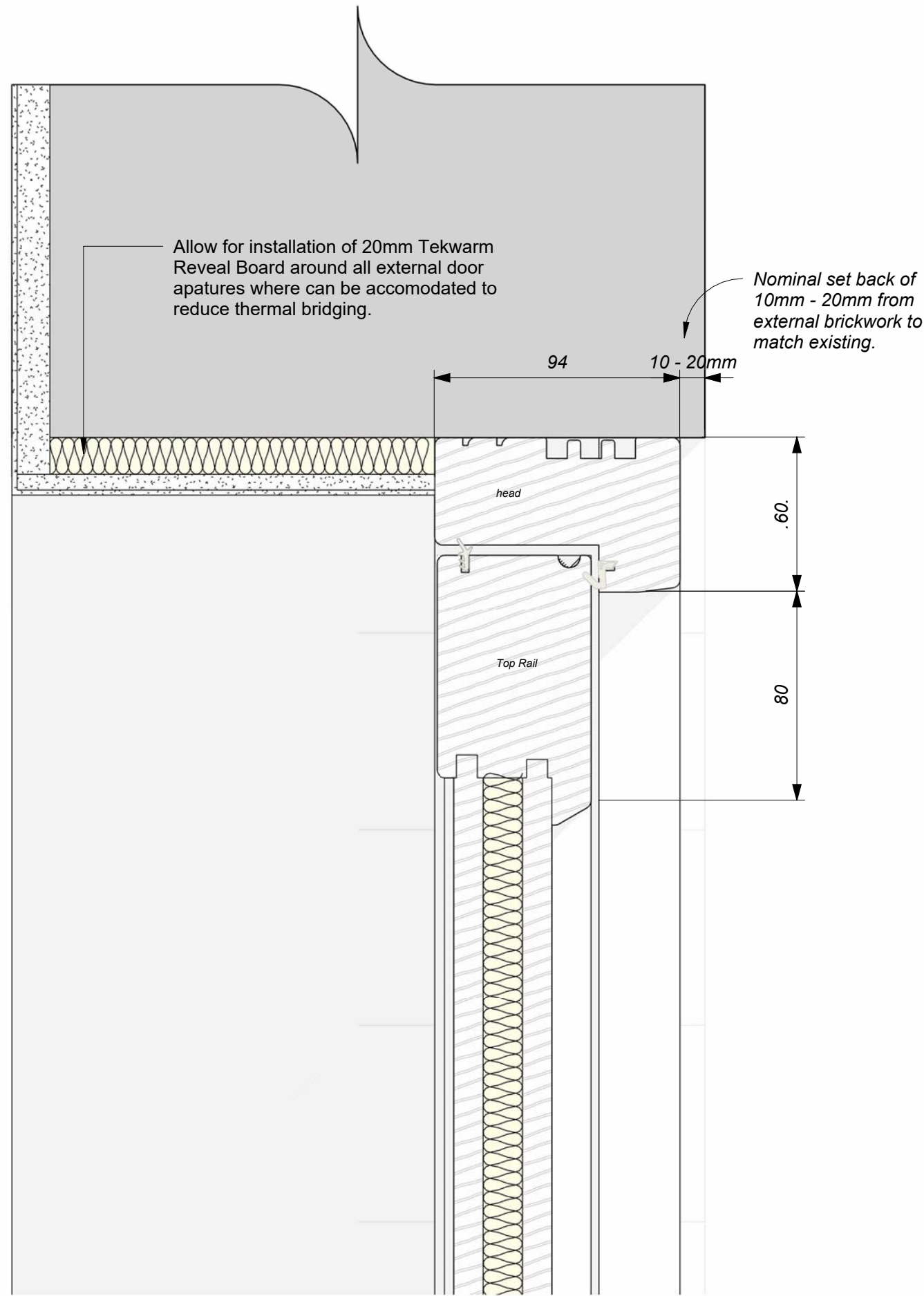


1 External Door Type B as Proposed - External Elevation  
1:10

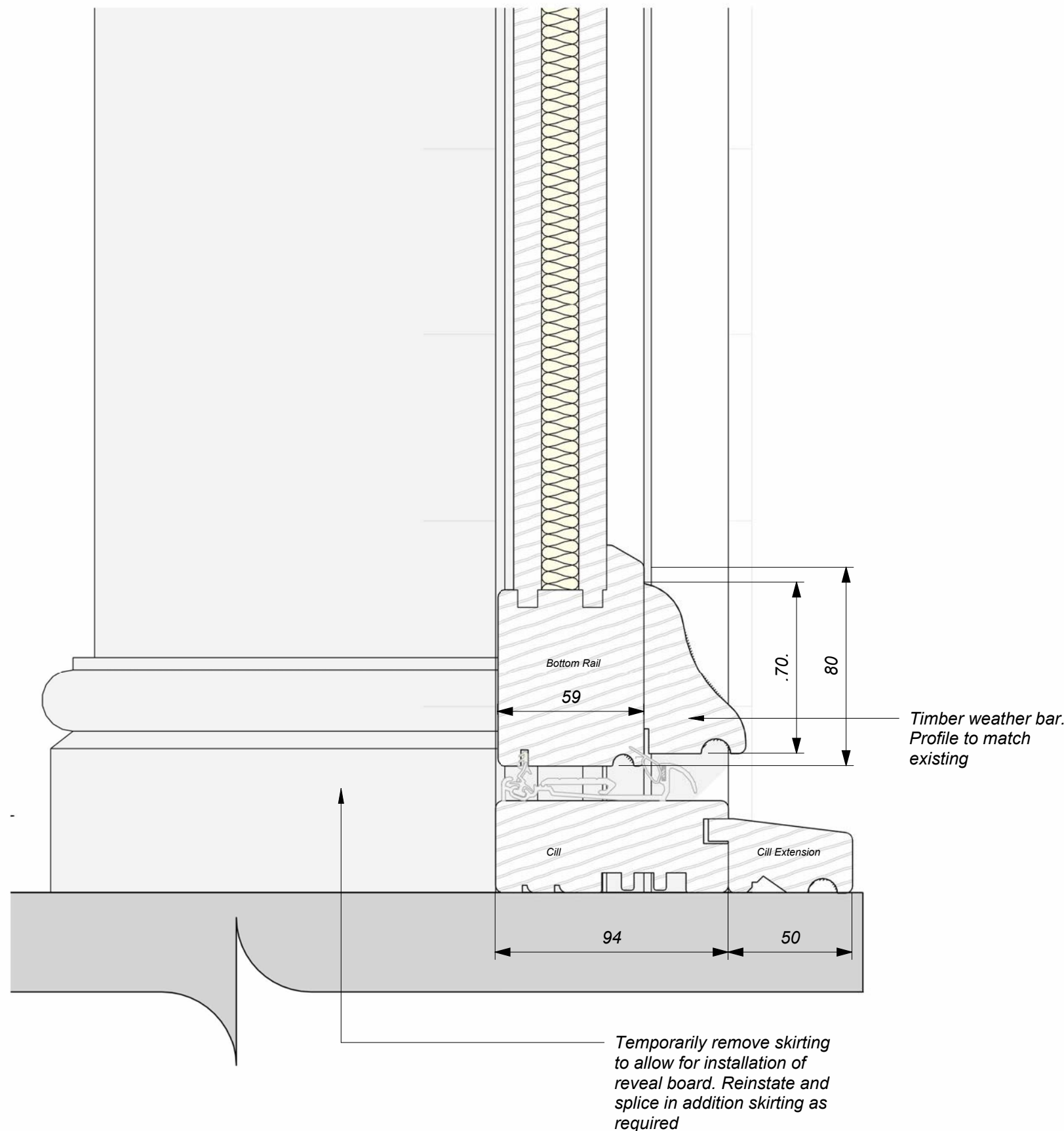
2 Door Type B as Proposed - Section  
1:10



3 Door Type B as Proposed - Internal Elevation  
1:10



4 Door Type B as Proposed - Plan Detail  
1:5



5 Door Type B as Proposed - Section Detail  
1:2

#### Notes:

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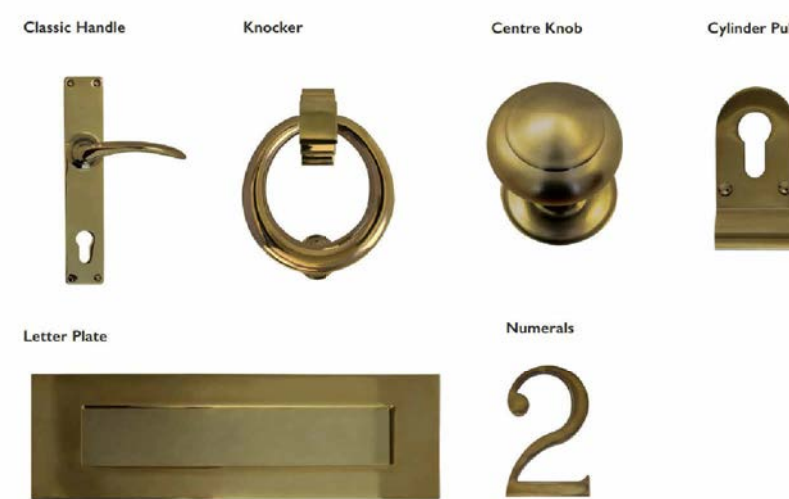
#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Udoormaximum): 1.4 W/m²K
  - 15mm insulated core to door
- Acoustic performance: 38 dB
- Security: Certified to PAS 24 and Secured by Design
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.

#### Ironmongery Design Intent:



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

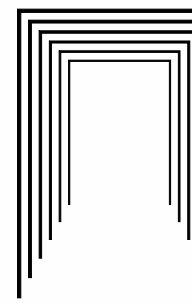
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



PURCELL

#### TITLE

Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT

#### SIZE

A1L

#### SCALE

As indicated

#### REV

SUITABILITY/REASON FOR ISSUE  
P06 S3 - For Review & Comment

#### DRAWING NUMBER

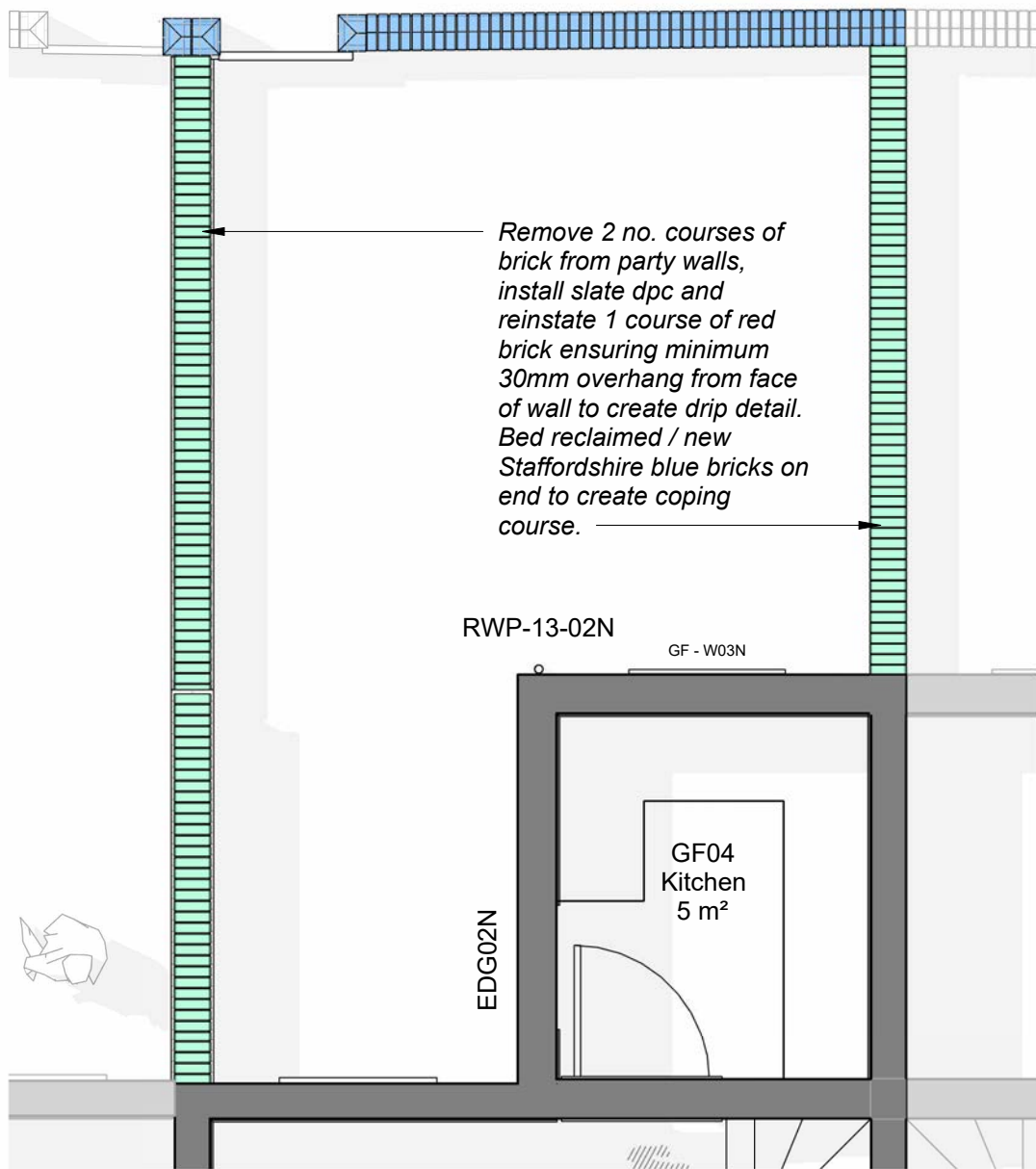
243231-PUR-02-ZZ-DR-A-3125

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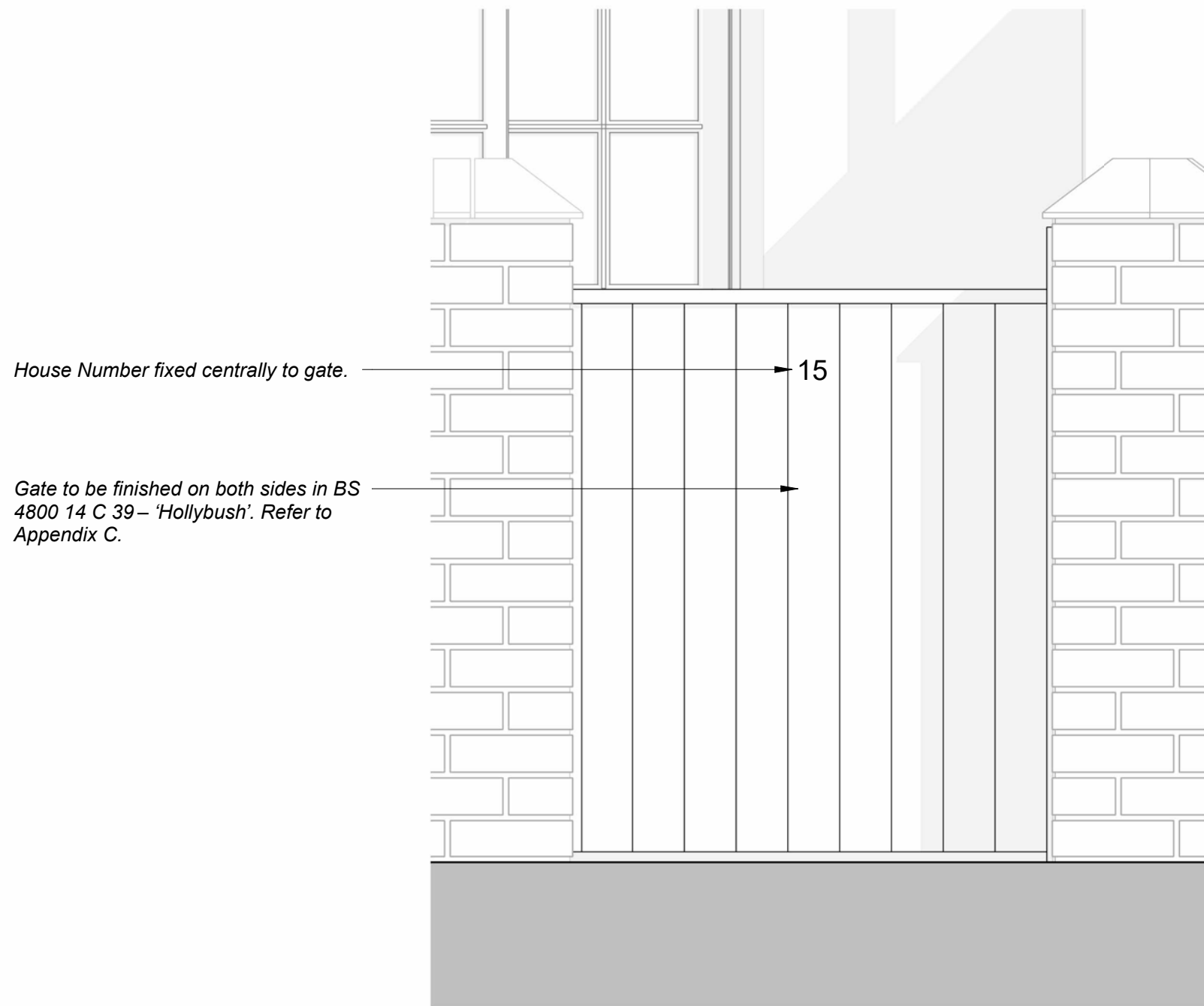




1 Typical Rear Elevation as Proposed  
1 : 50



2 Typical Back Yard Plan as Proposed  
1 : 50



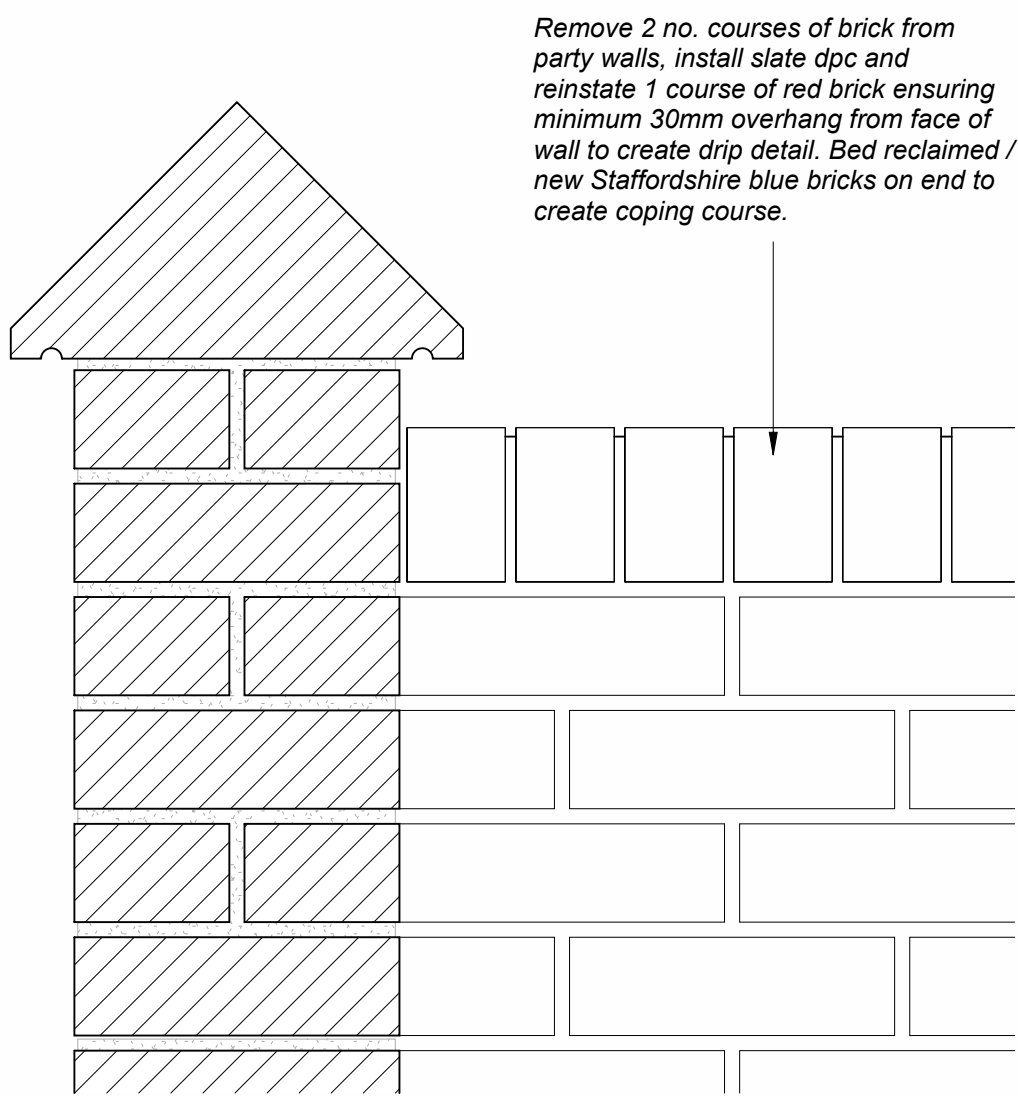
6 Rear Gate - Front Elevation  
1 : 10



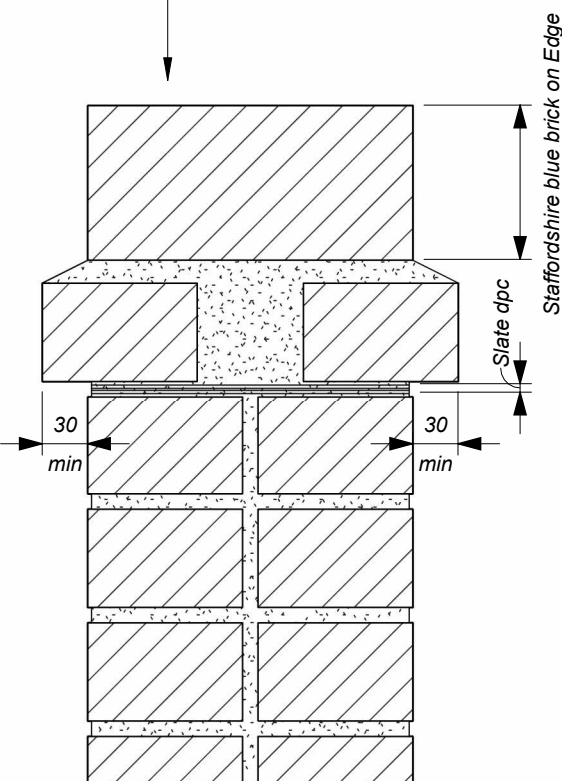
4 Typical Coping Detail to party walls  
NTS



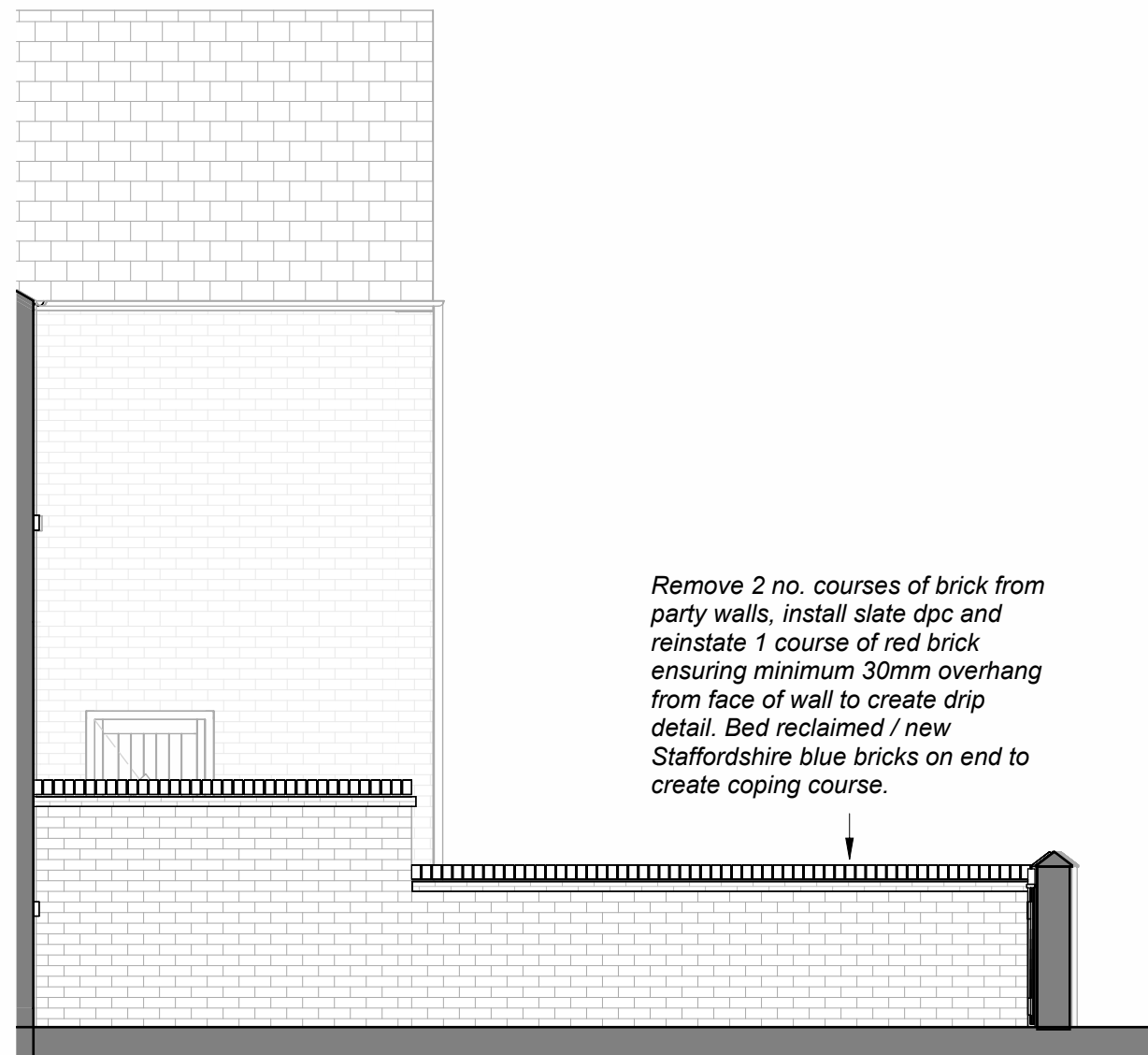
4 Typical Coping Detail to Rear / Side Boundary walls  
NTS



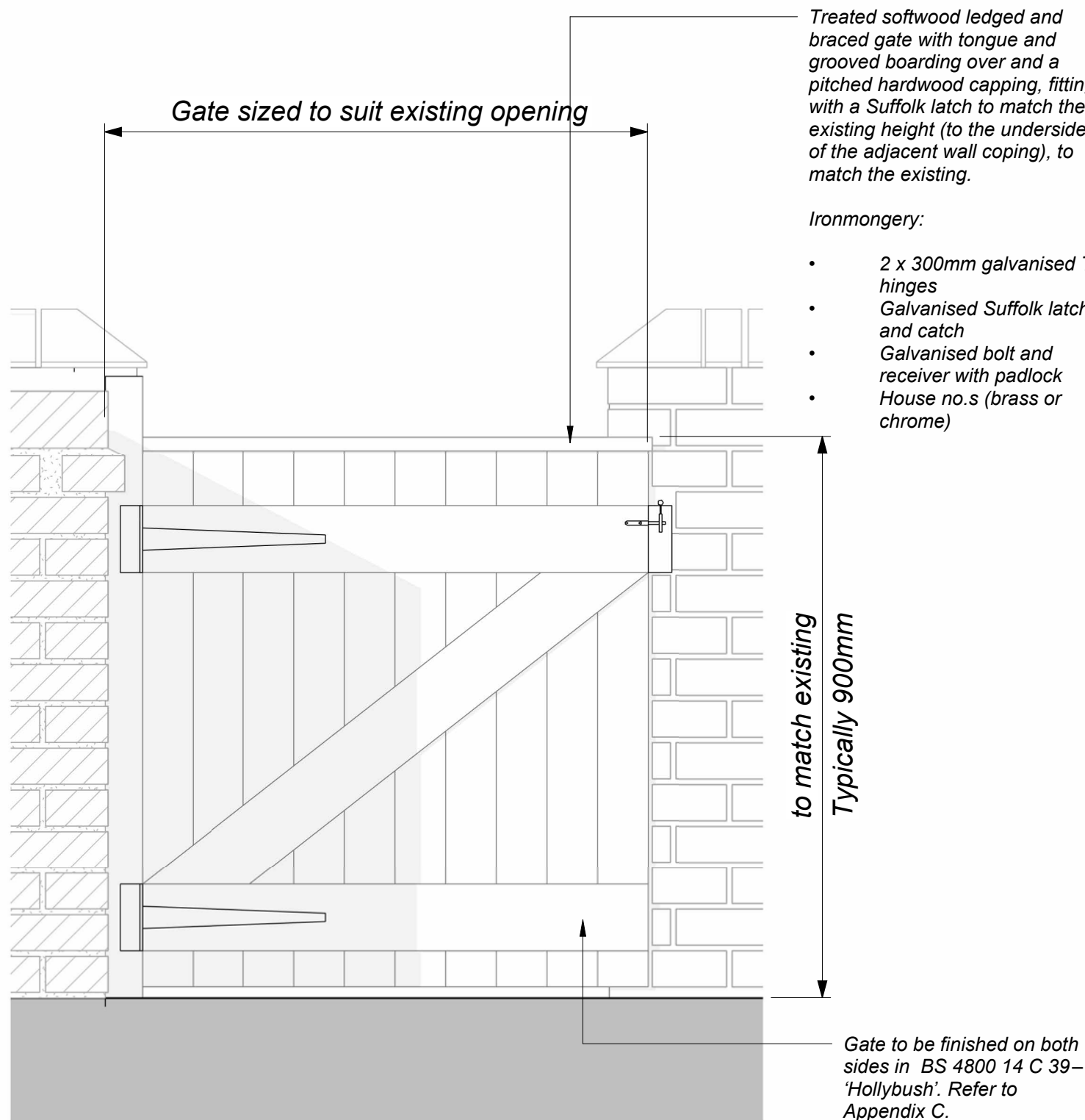
5 Boundary to Party Wall Connection Detail  
1 : 5



8 Section Through Party Wall as Proposed  
1 : 5



4 Party Wall Elevation as Proposed  
1 : 50



7 Rear Gate - Rear Elevation  
1 : 10

**Notes:**  
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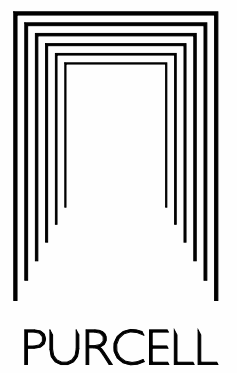
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P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**  
TITLE  
**Dorfold / Betley / Tollitt - Brick Copings Details to Boundary & Part Walls**

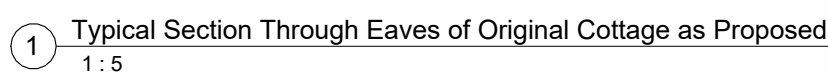
SIZE SCALE  
A1L As indicated  
REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**  
DRAWING NUMBER  
**243231-PUR-02-XX-DR-A-3201**

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*Bottom row of slates to be temporarily removed existing roofing membrane to be unfixed at base to allow access. Glidevale FV100 Over Fascia Ventilator (or similar) to be installed over new fascia board. Glidevale Protect OFV Eaves skirt to be installed over ventilator and dressed up rafters onto rafter ends. Membrane to be reinstated and dressed over eaves skirt.*



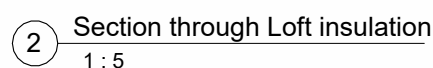
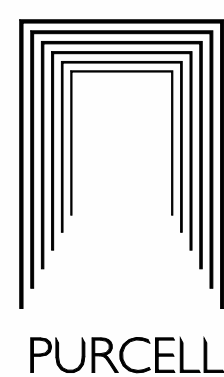
4 Typical Section Through Base of Wall of Original Cottage as Proposed  
1 : 5

- Refer to repair schedules for approximate linear metreage of guttering / downpipes across Dorfold, Betley, & Tollitt Streets

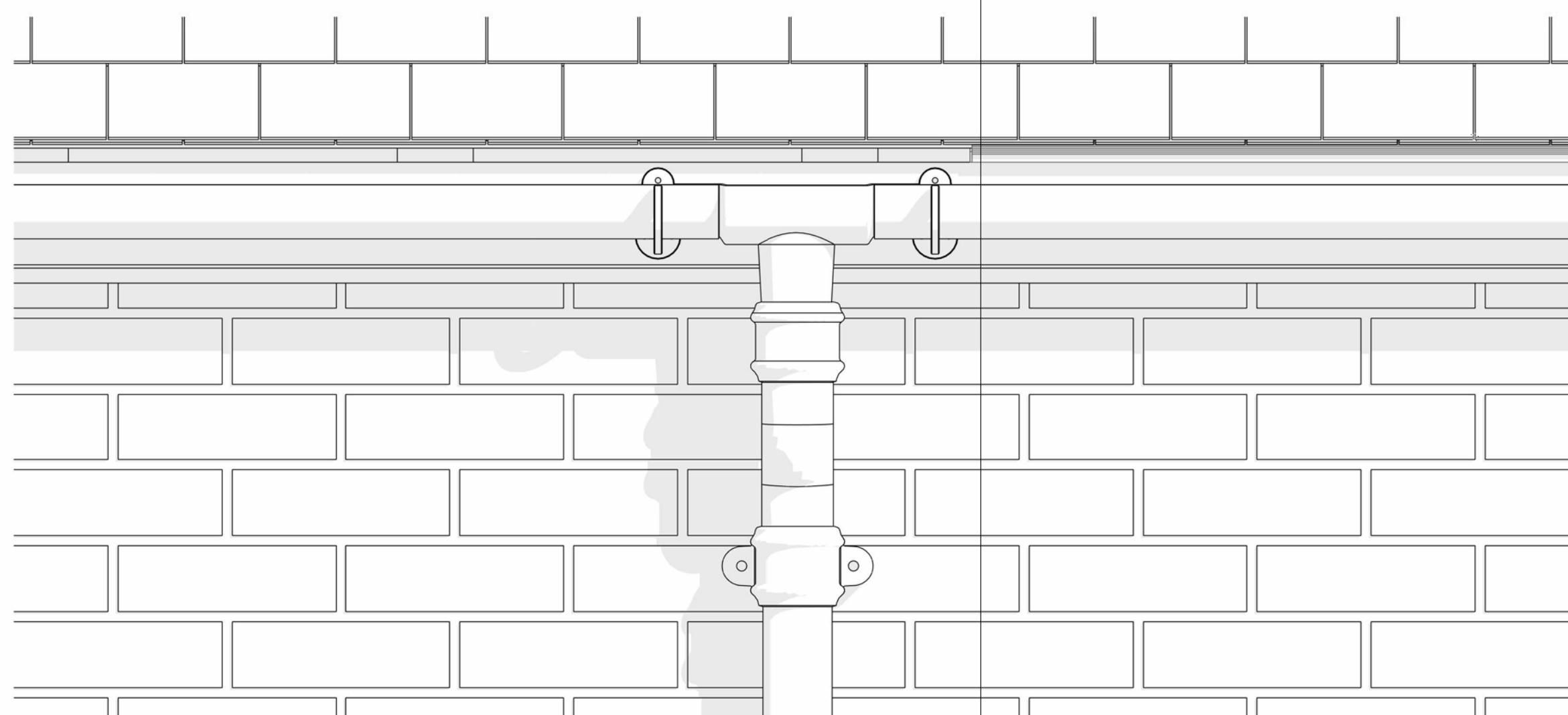
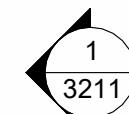
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P02	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P01	24/03/2025	MP	JPH	Issued for LBC
REV	DATE	BY	CHK	DESCRIPTION

DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-3211**

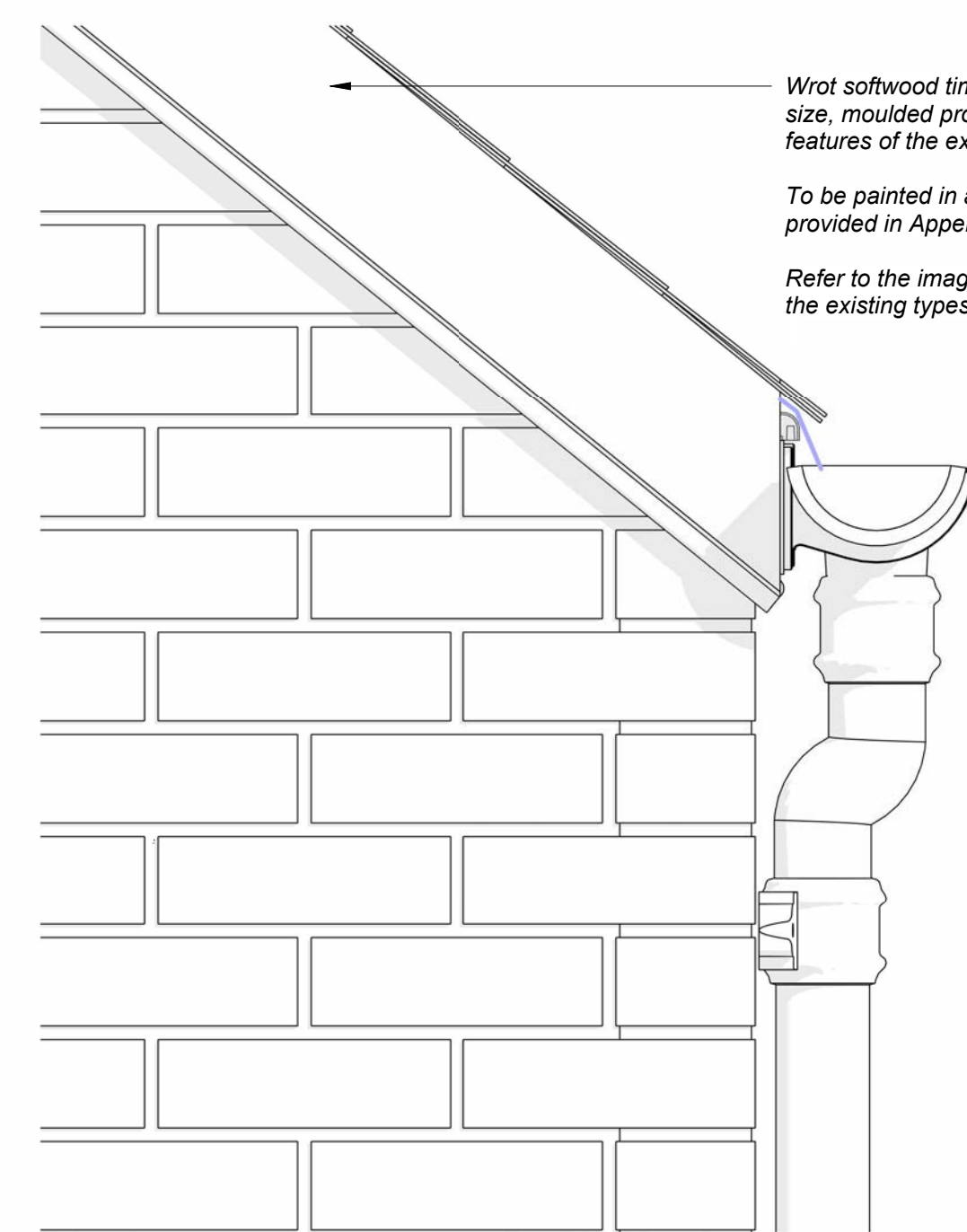
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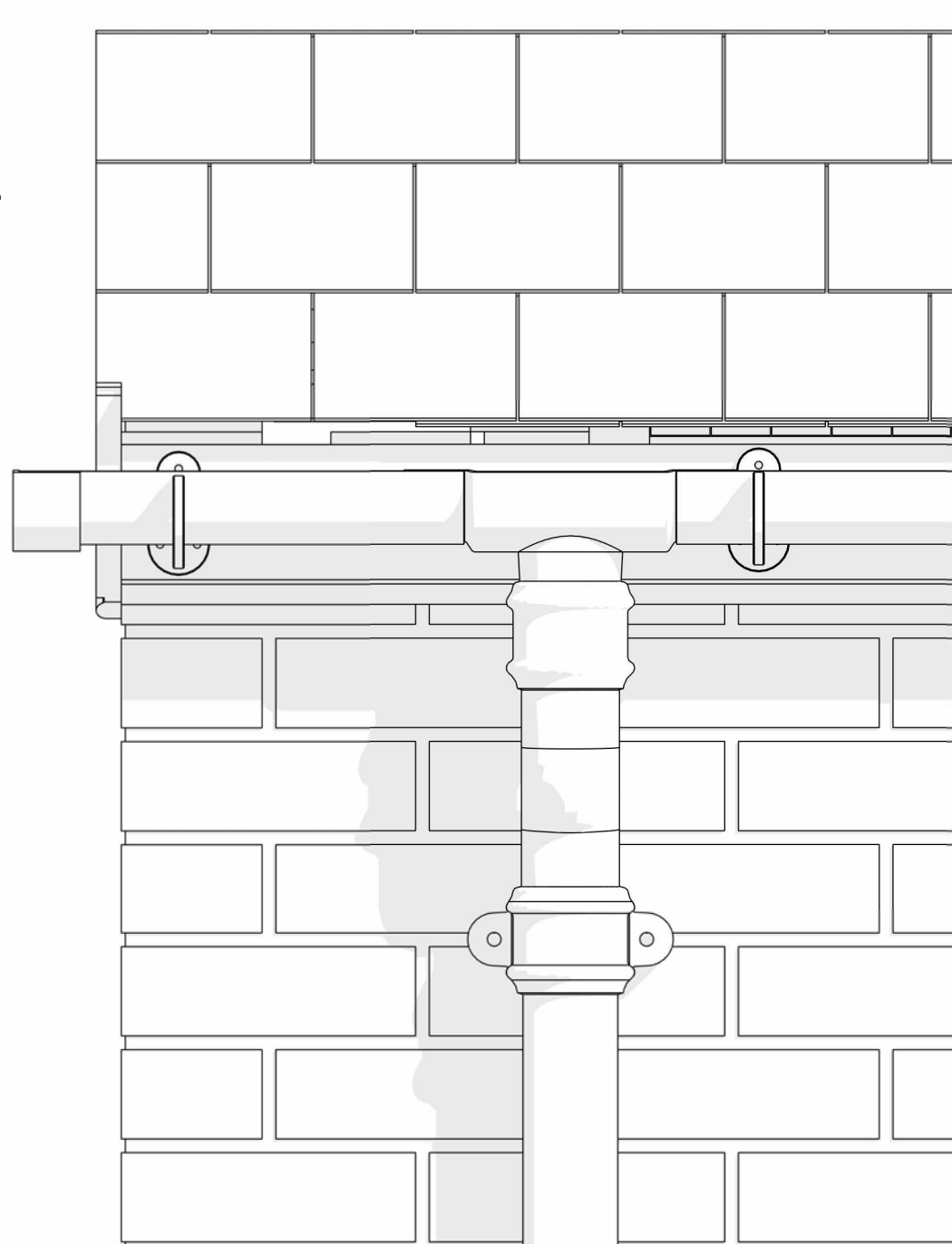
Vapour Control Layer dressed over existing ceiling joists (Optional)



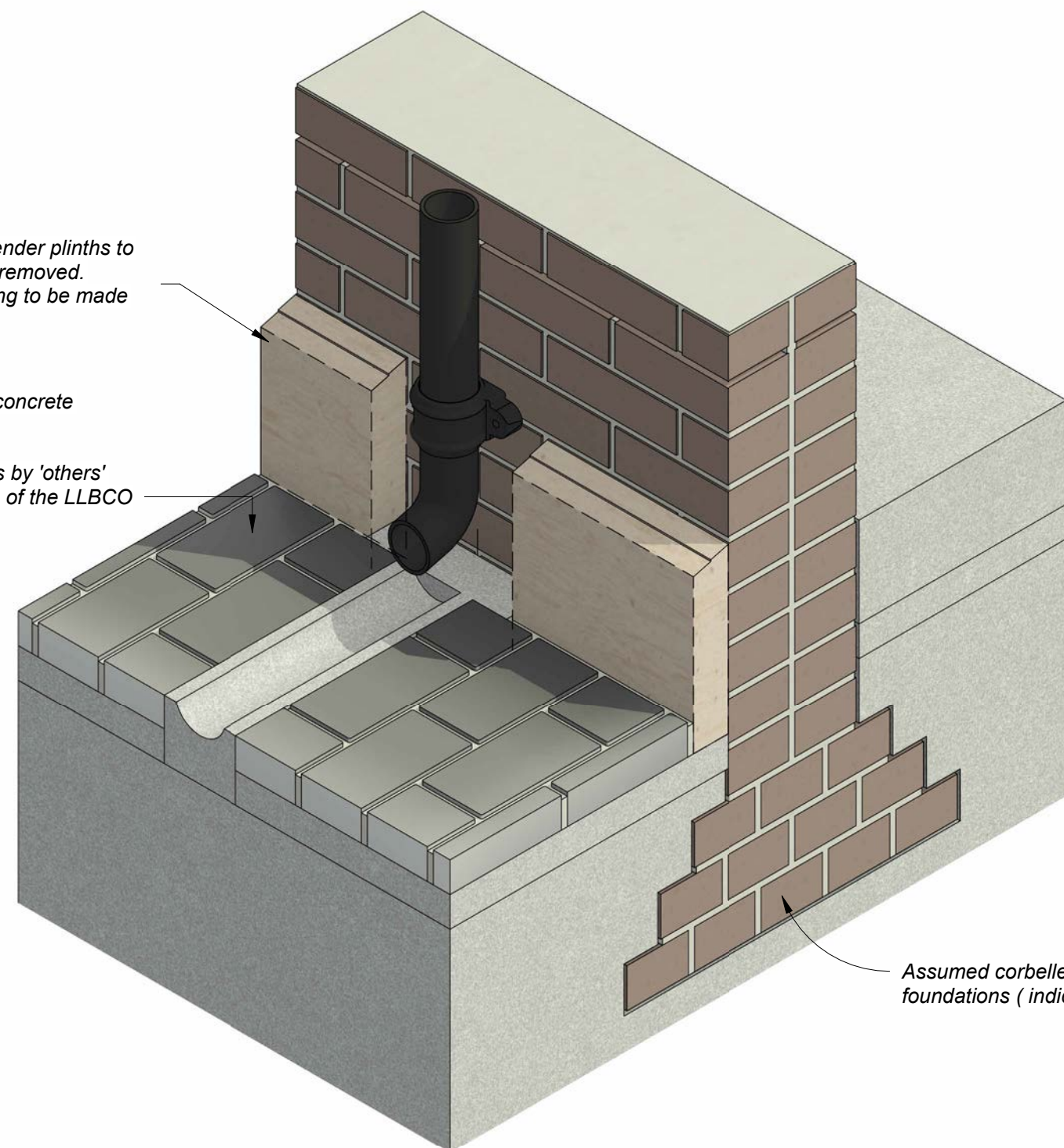
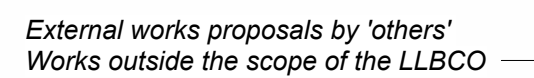
3 Typical Gutter to Downpipe Connection Detail - Front Elevation  
1:5



5 Original Cottage - Typical Verge Detail as Proposed  
1 : 5



6 Typical Gutter to Downpipe Connection Detail - Side Elevation as Proposed  
1 : 5

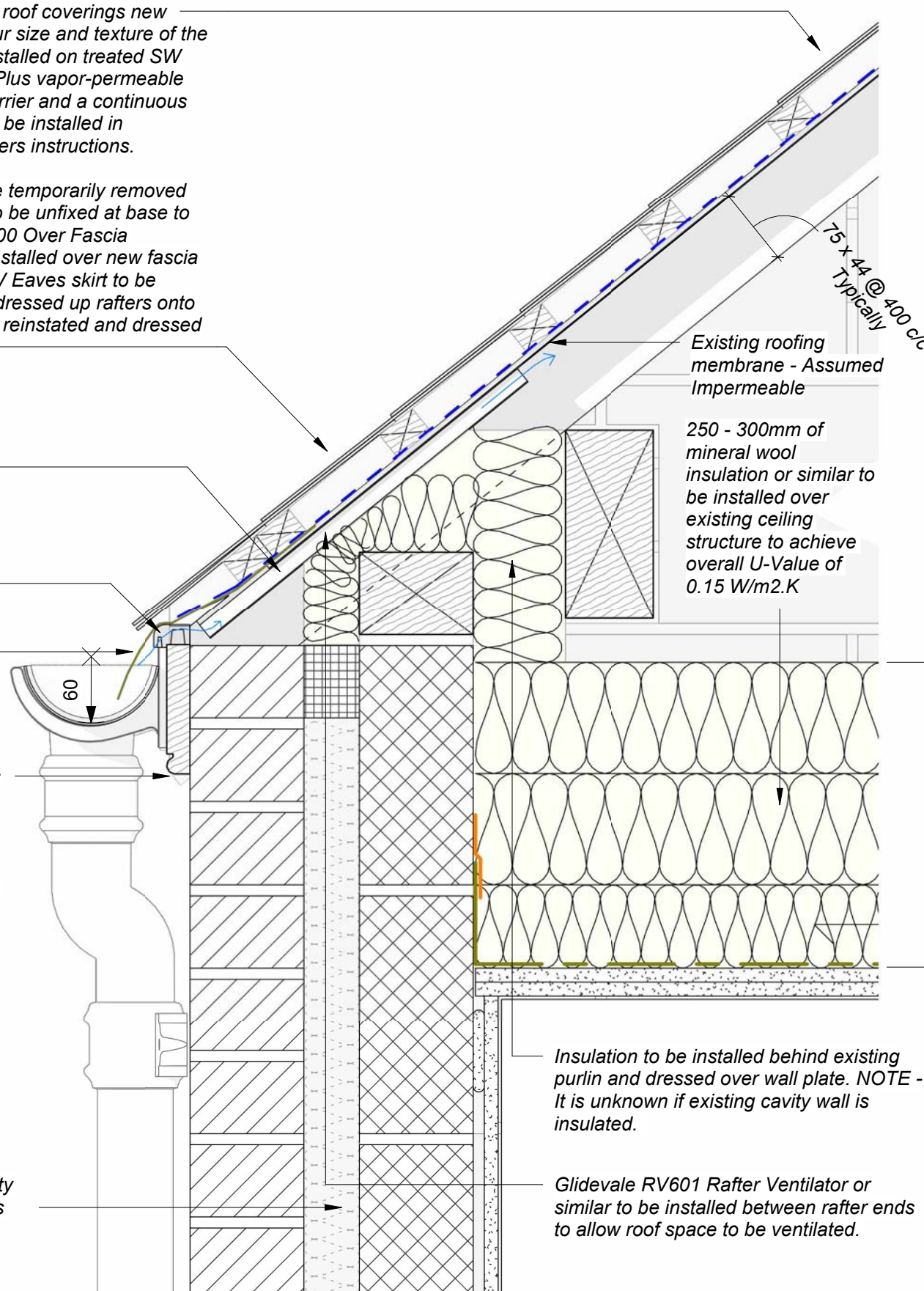


7 Existing Gully Arrangement at Wall Base

Bottom 3 rows of slates to be temporarily removed existing roofing membrane to be unfixed at base to allow access. Glidevale FV100 Over Fascia Ventilator (or similar) to be installed over new fascia board. Glidevale Protect OFV Eaves skirt to be installed over ventilator and dressed up rafters onto rafter ends. Membrane to be reinstated and dressed over eaves skirt.



*It is unknown if existing  
walls are insulated. The  
shown is indicative.*



8 Typical Section Through Eaves of 1970's Extension as Proposed  
1:5



APPENDIX B – 04 TOLLITT STREET

Tollitt Street – Photo Reference

04/04/2025

PURCELL 

## Mark Popely

St James's Building

79 Oxford St

Manchester

M1 6FQ

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[www.purcelluk.com](http://www.purcelluk.com)

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## APPENDIX B - 04 TOLLITT STREET



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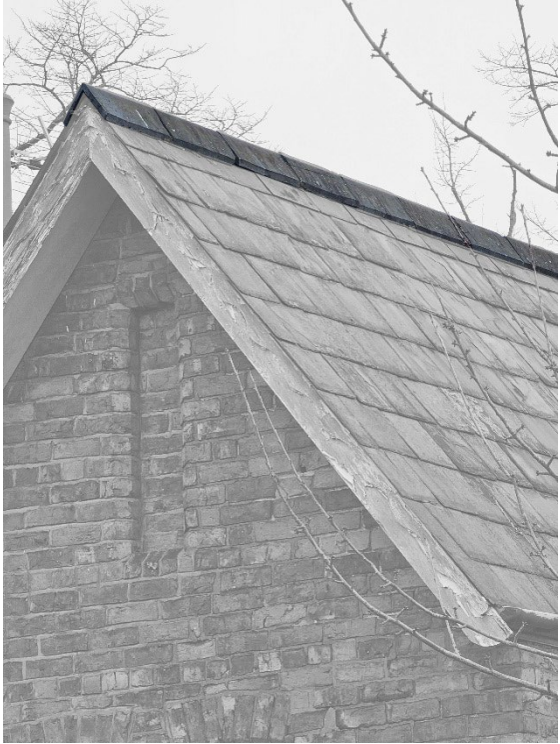



## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Replacement chimney pots are to be cream clay and match the existing in size.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Replacement buff stone copings are to match existing in size, profile and geology.</p> <p>Where original stone coping has been previously been replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	



## APPENDIX B - 04 TOLLITT STREET


<p>Blue Clay Ridge Tiles</p>	<p>These may be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing.</p>	 <p>'Uncapped' Ridge Tile Variant</p>  <p>'Flaunched' Ridge Tile Variant</p>
<p>Replacement Joinery for Barge boards to projecting rear gable</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to Gable end</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to</p>	<p>Wrot softwood timber boards to match the size, moulded profile</p>	

APPENDIX B - 04 TOLLITT STREET

<p>front projecting front Gable</p>	<p>and decorative features of the existing.</p>	
<p>Replacement blue clay pitched wall coping on the rear boundary.</p>	<p>New or salvaged blue clay triangular coping bricks to match the colour, size and finish of the existing.</p>	
<p>Replacement of blue engineering brick copings to side/ party yard walls</p>	<p>New or salvaged blue clay engineering brick to form a coping on side walls and act as a DPC. To match the colour size and texture of the existing. Refer to drawing 3201 for coping detail.</p>	



## APPENDIX B - 04 TOLLITT STREET

<p>Replacement yard gates</p>	<p>Treated softwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing. Refer to drawing 3201 for typical gate detail.</p>	
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## APPENDIX C – COLOUR SWATCHES

Dorfold, Betley and Tollitt Street

16/05/2025

PURCELL 



## Revisions

P01 – 04/04/2025

P02 – 16/05/2025

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## COLOUR SWATCHES FOR DECORATION SCHEME

Colour references in the schedule below act as a reference where the proposal is required to redecorate to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials, and commencement of works.






Items	Photo Reference	Description	Colour Reference
External Front Door		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rear Gate		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rainwater Goods		<b>BS 4800 00 E 53</b> 'Black'	

APPENDIX C - COLOUR SWATCHES



<p>Front Porch Gates</p>		<p><b>BS 4800 00 E 53</b> 'Black'</p>	
<p>Window frames</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
<p>Window / threshold Stone Sills</p>		<p><b>BS 4800 14 C 39</b> 'Van Dyke'</p>	



## APPENDIX C - COLOUR SWATCHES

<p>External Rear Door</p>		<p><b>Allow for either:</b></p> <p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p> <p><b>OR</b></p> <p><b>BS 4800 14 C 39</b> 'Hollybush'</p>	 
<p>Front Porch timber work.</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	

APPENDIX C - COLOUR SWATCHES

<p>Barge Boards and Facias</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
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**DRAFT LOCAL LISTED BUILDING CONSENT ORDER FOR THE ON GRADE II LISTED BUILDINGS IN THE  
BOROUGH OF CHESHIRE EAST**

This Local Listed Building Consent Order is made under the provisions as set out in the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 and Sections 26D - G and 28A and Schedule 2A of the Planning (Listed Buildings and Conservation Areas) Act 1990

**1. Introductory**

THE LOCAL LISTED BUILDING CONSENT ORDER is made on the 28<sup>th</sup> day of May 2025

**2. The listed buildings covered by the order: -**

Tollitt Street numbers:

1, 2, 3, 4, 5, 6, 7, 8 & 9

**3. Description of the consented works**

**3.2 Replacement of non-original timber windows with **timber windows****

3.2.1 to qualify for consent under this order the works must:

- A – be as per the drawing and specification noted in drawing 3120 in appendix A
- B – any double glazing must be 14mm slim profile glazing with integral glazing bars
- C -windows to be behind a 100mm reveal and painted to the colour within the palette provided in Appendix C
- D – Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

**3.3 Replacement of **timber external doors****

3.3.1 to qualify for consent under this order the works must:

- A – be as per the drawings and specification noted in drawings 3124 & 3125 in appendix A
- B - painted in the colour provided in Appendix C
- C - Timber must be natural softwood or hardwood and not engineered or chemically modified timber.



3.4 Works to the **roof**, specifically reroofing, replacing bargeboards, replacing flashing, but excluding works to the timber structure.

3.4.1 to qualify for consent under this order the works must:

A – Blue clay ridge tiles to be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing, as per the images in Appendix B.

B - Renewal of roof covering, to include a permeable roofing membrane with eaves carrier, new slates to match existing and re-bedding ridge tiles. As per drawings in Appendix A.

C - Replacement insulation quilt may be installed in roof spaces, between and above rafters, providing an eaves ventilator system is installed to ensure the roof space remains ventilated at the eaves.

D - be as per to drawings in Appendix A.

E - Welsh slates: Wholesale replacement of a roof or roof slope – new Welsh slates to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator. Refer to drawing 3211 in Appendix A. A sample slate must be submitted for approval by the Local Planning Authority via formal discharge of condition prior to works being carried out.

F - Mortar for Flaunching for chimney pots, to be as per the specification in 3.7.1C.

G - Lead flashings to:

Valley gutter and soakers– Code 6, Soakers Code 4 (minimum)

Roof abutment drip flashings and soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.5 Chimney works

3.5.1 To qualify for consent under this order the works must:

A – Re-bed existing sound clay chimney post in a mortar flaunching. - Flaunching for chimney pots to be a Natural Hydraulic Lime mix as per 3.7.1C.

B - Replacement chimney pots are to be cream clay and match the existing in size.

C - Cream clay pepper pot ventilators are advised to keep the weather out of redundant flues.

D - Refer to the images on drawings in Appendix B for the existing types.

E - Other clay pots and ventilators are not included in this order and require an application for Listed Building Consent.

F - Lead flashings to:

Coping DPC to chimney stack – Code 5 (minimum)

Chimney stepped flashings and drip flashings/ soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.6 Relocation of **Loft Hatch**

3.6.1 To qualify for consent under this order the works must:

A - Loft hatches and access ladders may be installed within the zones identified on the drawings only.

B - Adjacent finishes should be made good following installation on a like-for-like basis.

C - be as per the drawings and specification noted in drawing 3020 in appendix A

### 3.7 Repointing and replacement bricks

3.7.1 To qualify for consent under this order the works must:

A - New or salvaged red/orange clay facing bricks to match the colour size and texture of the existing, sample to be submitted for approval to the Local Planning Authority by the via formal discharge of condition prior to works being carried out.

B - Cut out defective bricks by hand and indent new bricks as single bricks, fully bedded and shimmed with mortar as below

C - Rake out (no mechanical tools to be used) and repoint with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

D – to be as per the repointing specification in drawing 3020 in appendix A including raking out

E – mortar finish to be a flush joint/ tampered to expose aggregate following initial set.

### 3.8 Replacement **rainwater goods**

3.8.1 To qualify for consent under this order the works must:

A - The rainwater drainage system serves multiple properties and to function correctly must remain as installed. Replacement sections of cast iron gutters, downpipes and associated fittings must match the drawings in Appendix A exactly.

- 120mm diameter half round gutter on fascia brackets
- 75mm diameter downpipes/ fixing brackets

B - To be as per drawings 3211 in Appendix A.



C - To be painted the colour in the palette provided in Appendix C

### 3.9 Works to **Stone**

3.9.1 To qualify for consent under this order the works must:

A - stone window cills to be painted the colour in the palette provided in Appendix C

B - Stone/ render plinths - Careful removal of the remains of the stone plinth (to a specification in appendix A) and replacement render sections is permitted, providing the brickwork behind and pointing are repaired in line with this specification and undertaken at the same time.

### 3.10 Works to **garden/yard walls** and **gates**

3.10.1 To qualify for consent under this order the works must:

A – be treated softwood or hardwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing.

B - Gates to be as per drawing 3201 and images contained with Appendix B for the existing types.

C - Blue clay pitched wall coping on the rear boundary to match the colour, size and finish of the existing.

D - Refer to drawing 3201 and Appendix B for the existing types of blue clay pitched wall coping on the rear boundary.

E - New or salvaged blue clay engineering brick to form a coping on side walls and act as a Damp Proof Course. To match the colour size and texture of the existing.

F - Replacement of blue engineering brick copings to side/ party yard walls to be as per drawing 3201 and Appendix B.

G - Rake out and repoint / rebuild with

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved) Refer to drawing 2120 for specification & raking out methodology
- Flush joint/ tamp to expose aggregate finish following initial set.

### 3.11 external joinery Replacement Joinery for **Barge Boards** and **Fascia Boards**

3.11.1 To qualify for consent under this order the works must:

A - Planed softwood timber boards to match the size, moulded profile and decorative features of the existing.

B - To be painted the colour in the palette provided in Appendix C

C - To be as per the images within Appendix B.

### 3.12.1 decoration of **External joinery, External metalwork, & Painted stonework**

3.12.1 To qualify for consent under this order the works must:

A - Be painted the colour in the palette provided in Appendix C

## INFO NOTED IN APENDIX 1

### 4. **Statement of Reasons**

4.1 The Council recognises its role in the climate emergency and this Order is an opportunity for residents to extend the service life and improve energy efficiency of the properties covered within this Order, whilst recognising the importance they play in the town's history. One of the most efficient ways to eliminate unnecessary energy use is to improve a building's condition. Defects such as damp walls and poorly fitting doors or windows can substantially reduce thermal performance; and repairs are an important energy-saving measure in their own right, and an essential prerequisite for some thermal improvements, such as the addition of loft insulation.

4.2 Constructed in the 1840s, the properties, the cottages are directly associated with the development of the Grand Junction Railway in Crewe and specifically the relocation of the railway locomotive and engineering works from Edge Hill to Crewe in 1843. The cottages are some of the few rows of cottages remaining from this large-scale development and have high historical value as reminders of this significant development. There is also associative value in their connection with architect John Cunningham, known for his railway architecture and for his design of Liverpool's Lime Street Station. The houses are also associated with John Betjeman, who campaigned against the cottages' demolition in the 1970s whilst he was Poet Laureate. As houses constructed for the railway community of Crewe the cottages have high communal value, many of local people will have ancestors who worked in the railways and the cottages form part of the local heritage. The importance to the local community was both demonstrated and strengthen during campaigns in the 1970s for their retention and restoration following plans to demolish them.

### 5. **Justification for Making the Order**

5.1 The initial group of works will relate to the 'Warm and Healthy Homes' Grant Scheme works. However it is anticipated that many of the works proposed under the order would come up general works to improve the condition of the buildings and it is therefore proposed that the order be in place for 10 years to allow any properties not taking up the grant offer to carry out the same works under the same conditions.

### 6. **Purpose of the order**

6.1 The buildings contained within the order are all Grade II listed and as such would require individual consents for the works. This would create repetitive almost identical applications for each



individual property as each property within its row is to a matching design. The symmetry of the rows is an important part of the significance of the buildings and this order allows for a uniform approach to each row to preserve and enhance that uniformity.

## **7. Term of order**

7.1 Dates from 28<sup>th</sup> May 2025 and to 27<sup>th</sup> May 2035 (a period of no more than 10 years from the starting date of the Order).

## **8. Other particulars:**

### **8.1 Operation of the Order**

i i) The Order has been made in accordance with the requirements of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014, including a public consultation of at least 28 days, and consultation with Historic England of at least 28 days. Representations received in response to these consultations have been considered in drawing up the final version of the Order.

ii) The Council will review the operation of the Order on an annual basis. If at any time during the life of the Order it is considered that it is either ineffective or is giving rise to unexpected and unacceptable harm to listed buildings to which it applies, it will be varied or revoked.

iii) If the Council revokes this Order at any point prior to the end date given above, any works authorised by the Order which have been started but not completed may be completed within six months of the date of revocation. Works which have been started but not completed at the end date given above may also be completed within six months of that date. However, once the Order expires or is revoked, any works previously covered by the Order which have not been started, will no longer benefit from the consent granted through the Order.

iv) If at the end of the term of the Order it is considered that it is operating effectively and does not give rise to undue harm, it will be renewed, and a longer term considered.

v) As an Order confers listed building consent for specified works, a breach of the Order by carrying out works not authorised by the Order may lead to enforcement action.

## **9. Appendices** Supplementary information

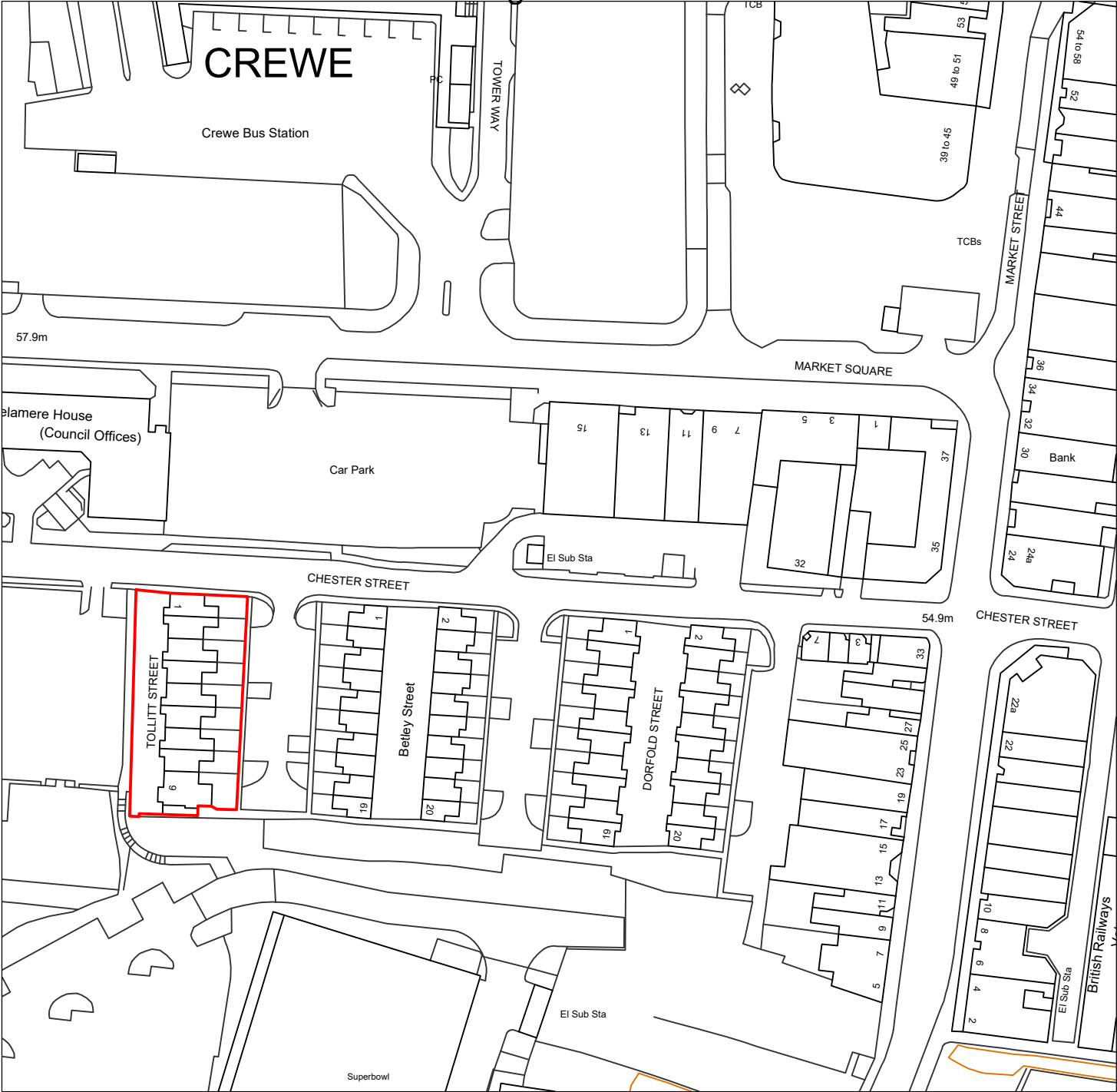
APPENDIX A – DRAWING PACKAGE

Tollitt Street

24/03/2025

PURCELL 



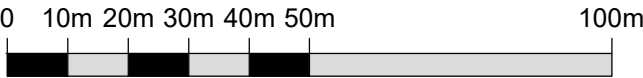


1  
0054

TOLLITT STREET - SITE LOCATION PLAN  
SCALE 1:1250



1:1250 Scale



KEY

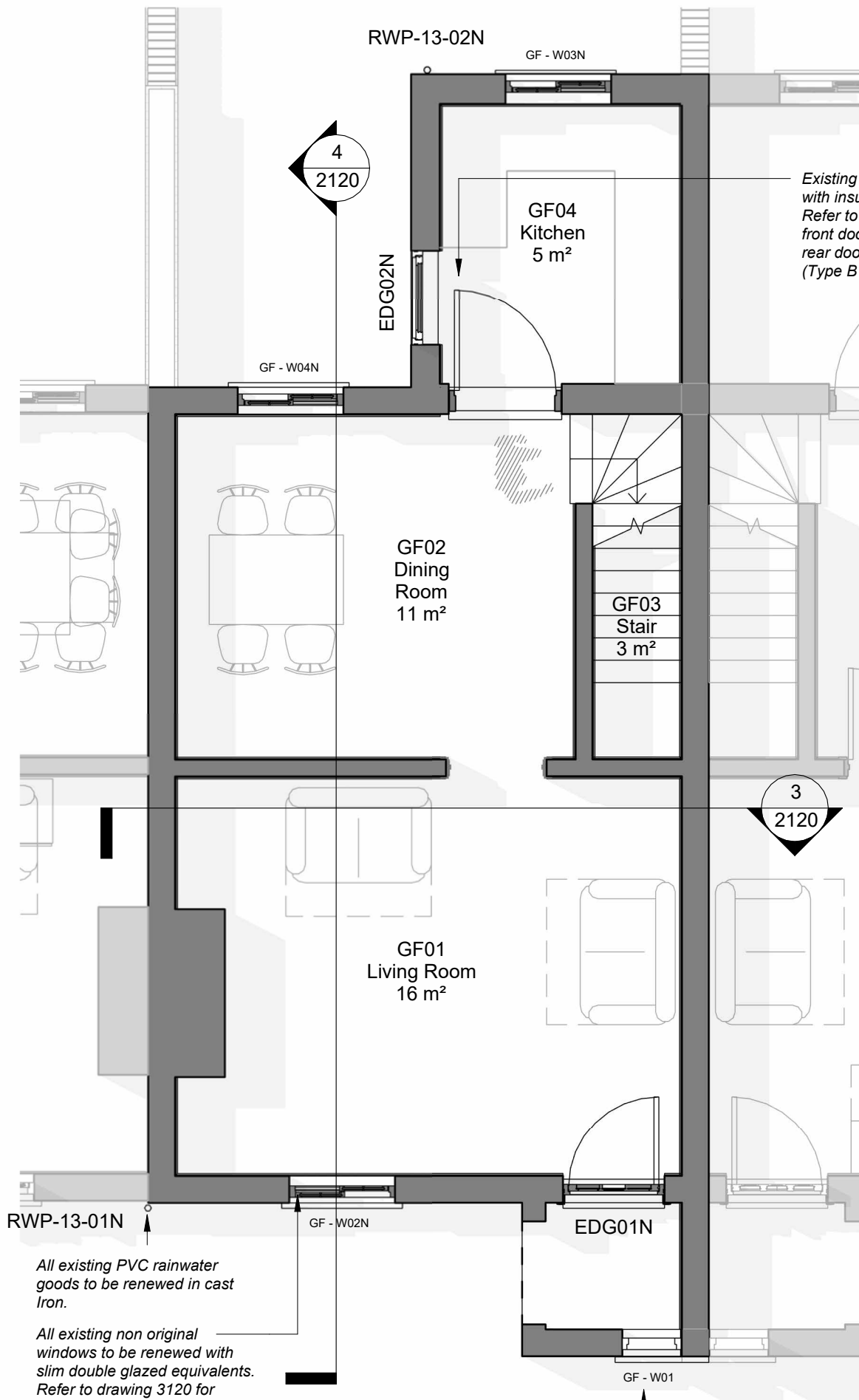
 Site Boundary Line

P01	18/03/2025	AM	MP	First Issue
REV	DATE	BY	CHK	DESCRIPTION

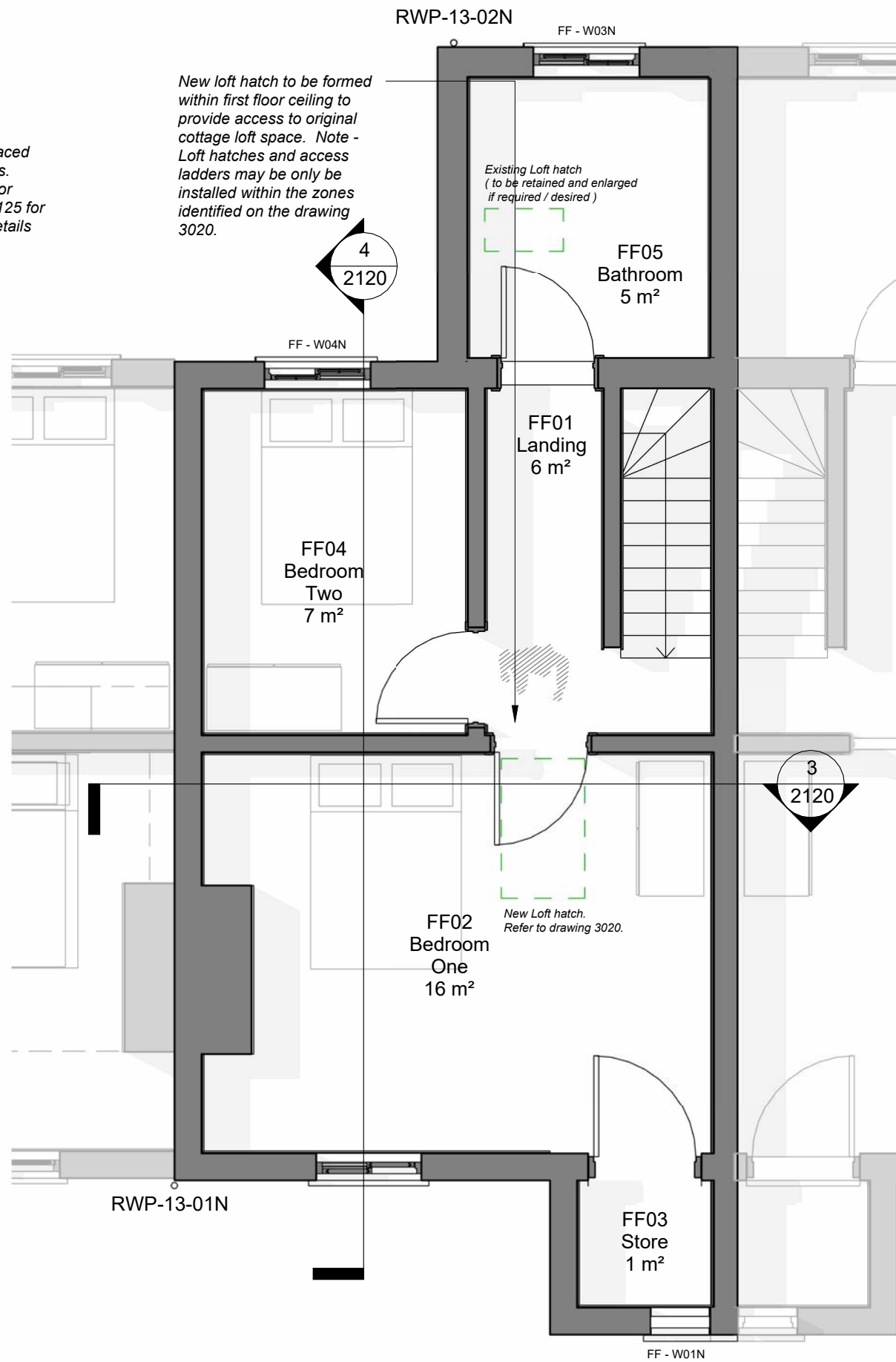
CLIENT	Cheshire East Council
JOB NUMBER	243231
PROJECT	CEF Crewe, Warm and Healthy Homes
TITLE	Tollitt Street - Site Location Plan

SIZE	SCALE
A4	As Indicated
REV	SUITABILITY/REASON FOR ISSUE
P01	S3 - For Review & Comment
DRAWING NUMBER	243231-PUR-04-00-DR-A-0054





1 Ground Floor as Proposed  
1 : 50



2 First Floor As Proposed  
1 : 50

**Notes:**

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.

All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

**CLIENT**  
Cheshire East Council

**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231

**PURCELL**

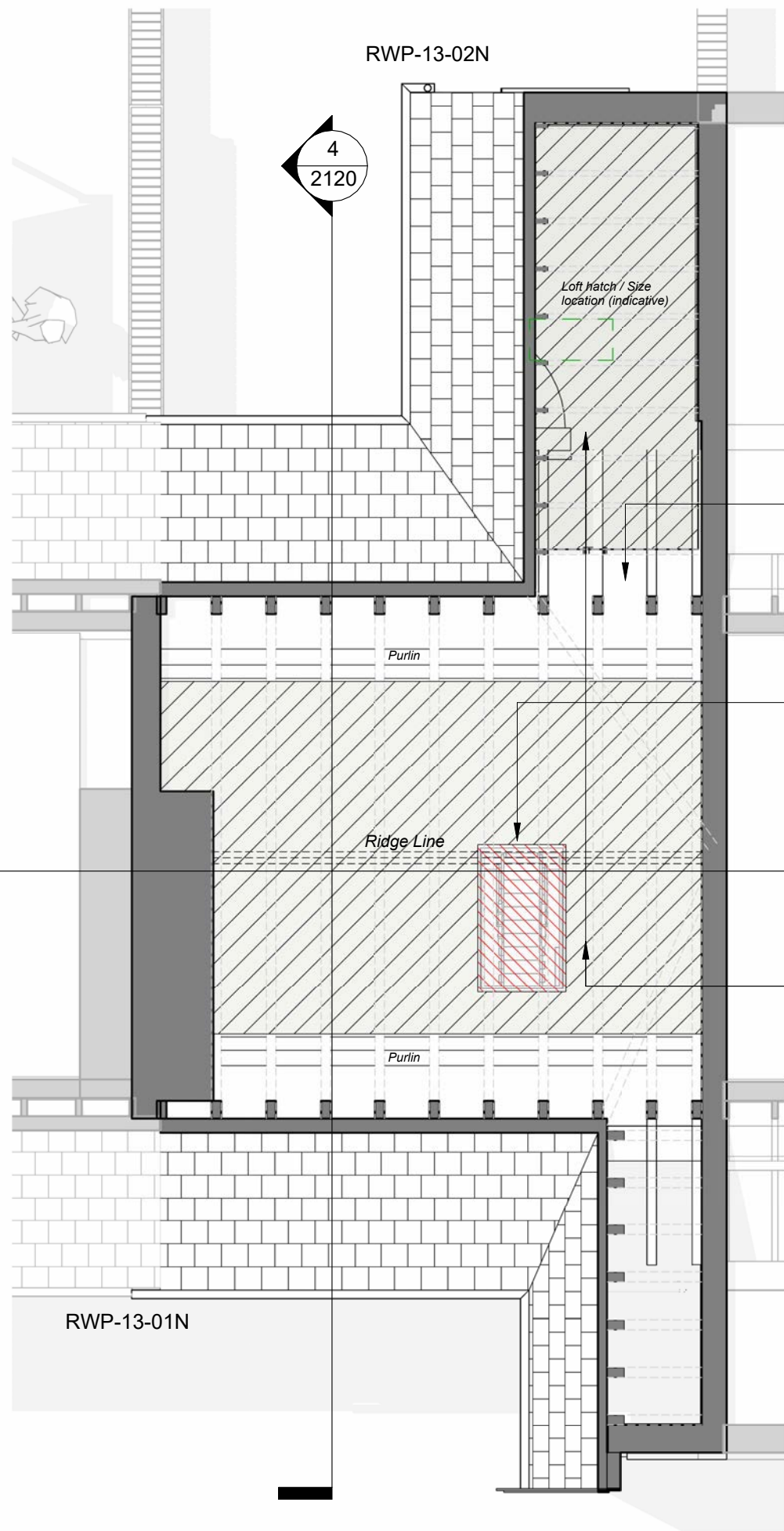
**TITLE**  
Typical Dorfold / Tollitt Street Dwelling - Proposed Ground and First Floor Plans

**SIZE** A3L  
**SCALE** 1 : 50

**REV** P05 S4 - For Approval/  
**DRAWING NUMBER** 243231-PUR-02-ZZ-DR-A-2020

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All existing PVC rainwater goods to be renewed in Cast Iron.

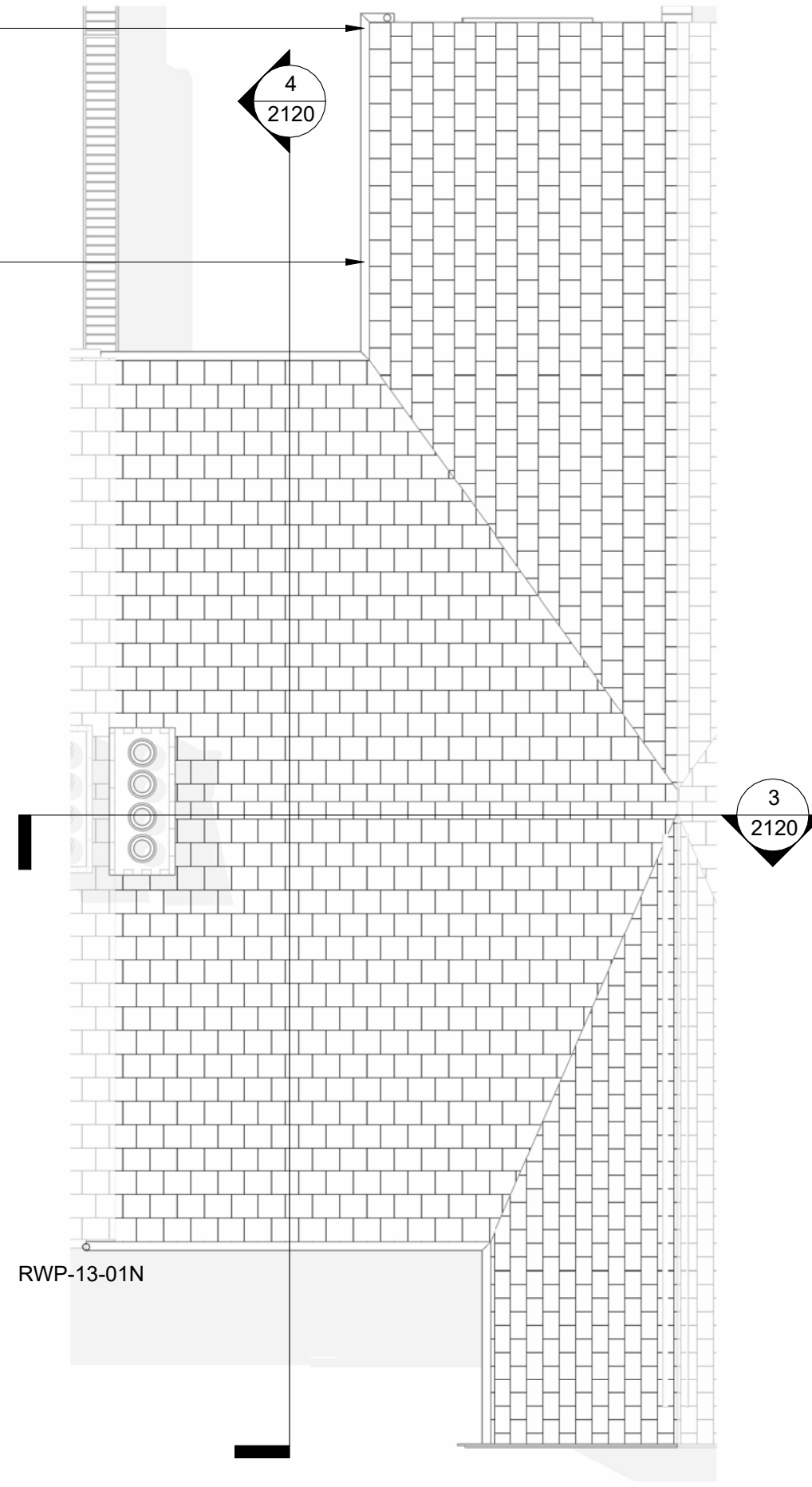
Refer to drawing 3211 for typical details

Where necessary to replace roof coverings new slates are to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator

Existing rafters prevent safe access between loft space to 1970's extension and original cottage loft space.

New loft hatch with pull down ladder to be installed first floor ceiling. Refer to drawing 3020 for details.

Allow boarding out of loft space around new / enlarged hatches between existing purlins



1 Loft Plan as Proposed  
1 : 50

2 Roof Plan as Proposed  
1 : 50

**Notes:**

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**Key Plan**  
not to scale

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**

PURCELL

TITLE  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Loft and Roof Plan**

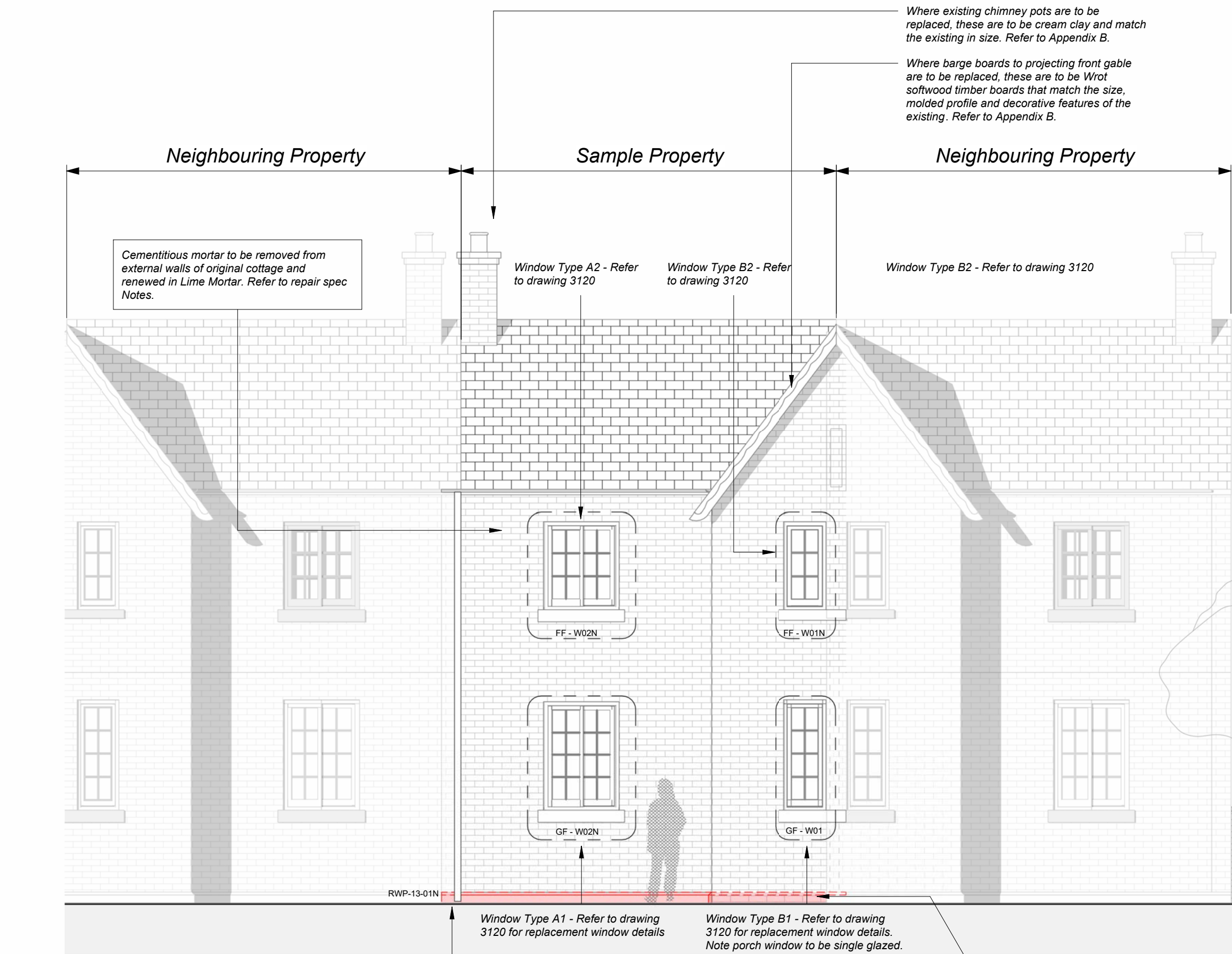
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A3L 1 : 50

REV SUITABILITY/REASON FOR ISSUE  
**P05 S4 - For Approval/**

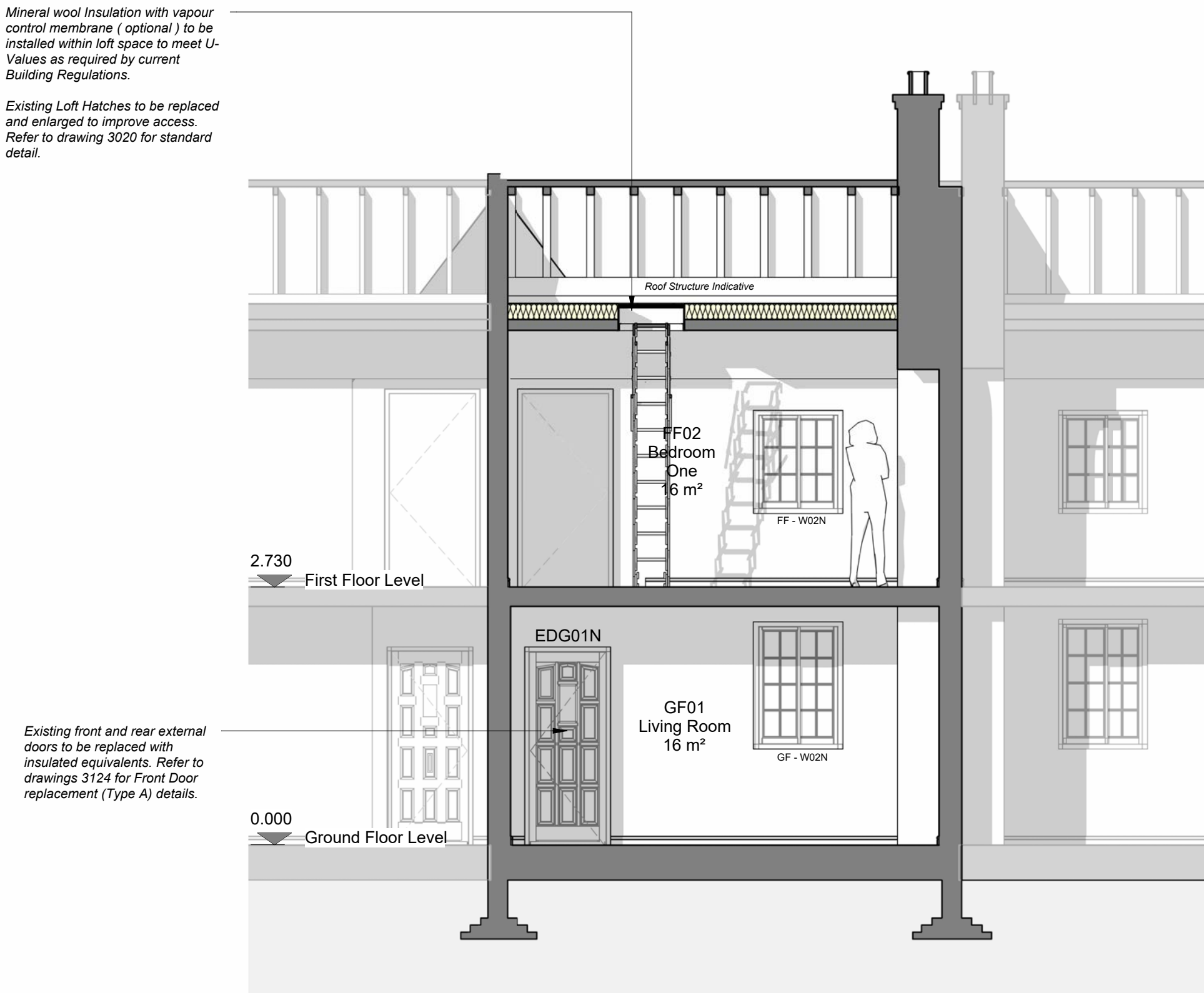
DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-2021**

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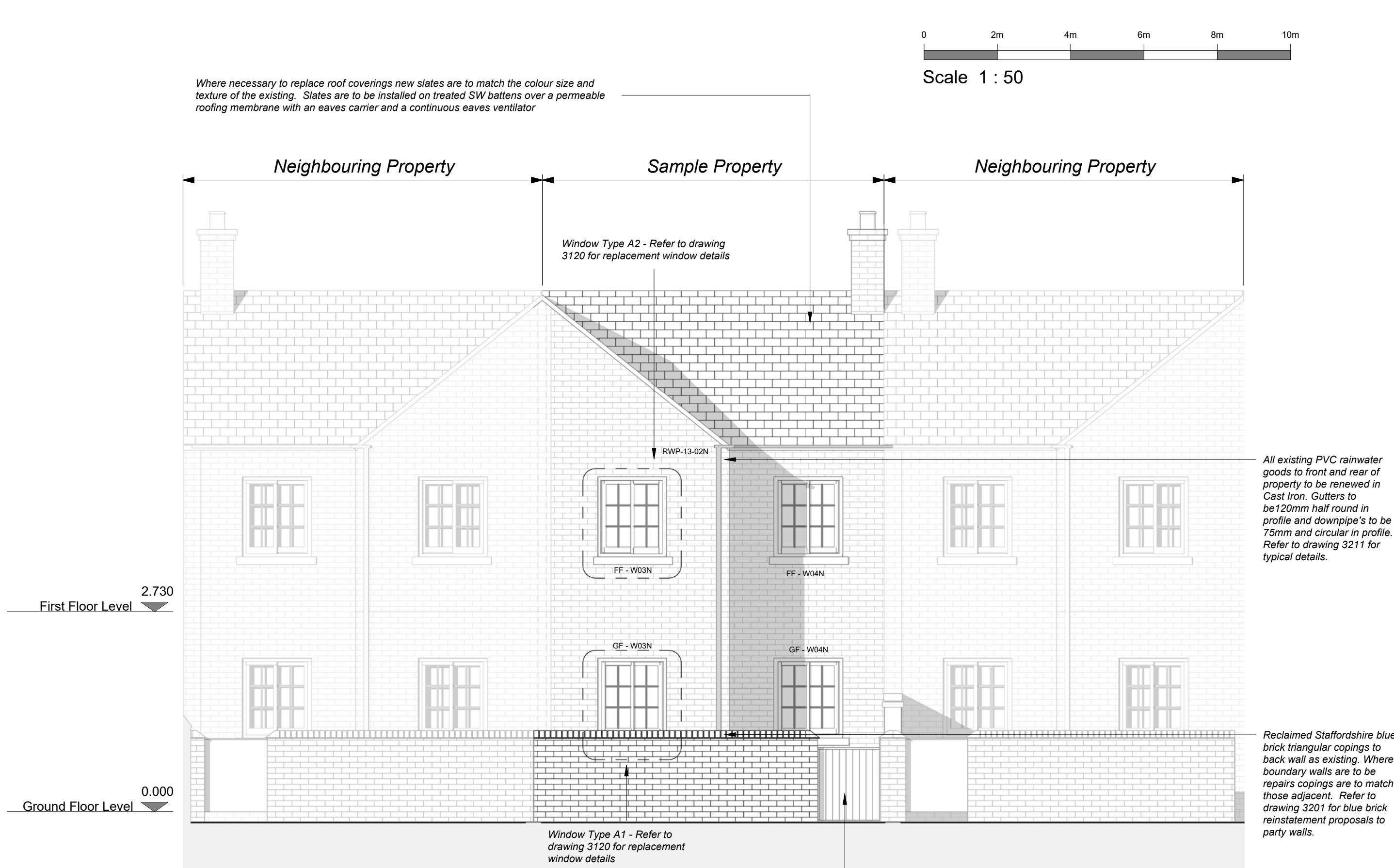




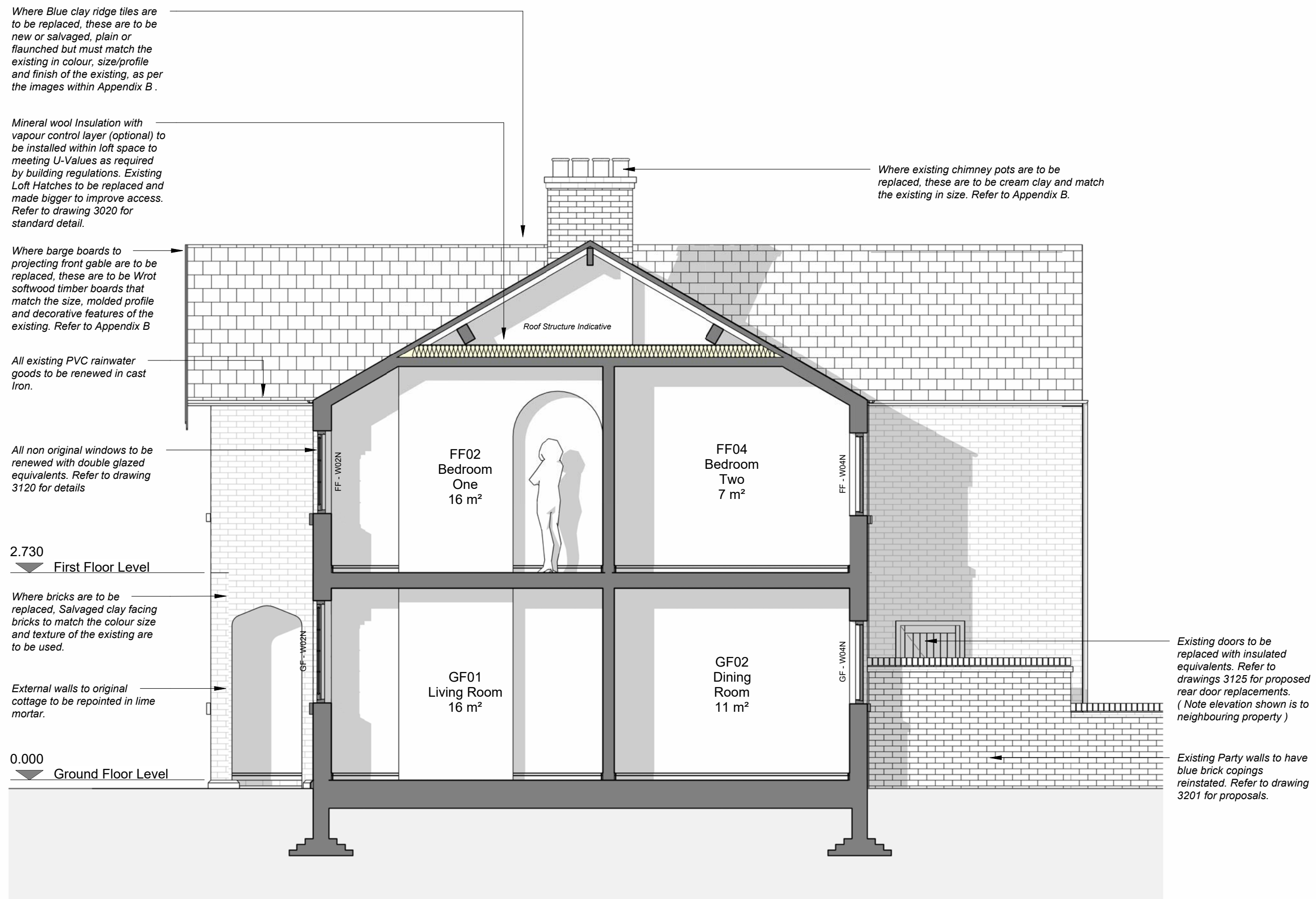
1 Principal Elevation as Proposed  
1 : 50



3 GA Section as Proposed A-A  
1 : 50



2 Rear Elevation as Proposed  
1 : 50



4 GA Section as Proposed B-B  
1 : 50

**Notes:**

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**Key Plan**  
not to scale  
**NOTES**

Removal of cementitious pointing of brickwork with repointing with Lime Mortar

1. Removal of existing cementitious mortar and cement patch repairs
  - Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arises and flush out with water. Remove cement pointing by using hand tools such as quills or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.
  - Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.
  - Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.
2. Repointing in Lime mortar
  - Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour; also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.
  - Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arisises or spread over any worn or rounded edges of the bricks or stone.
  - As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

3. Lime Mortar Spec mix spec

1. Mix:
  - 1 part Hydraulic Lime, 3.5 NHL
  - 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
  - 1/2 part fine red sand sieved to <600 microns
  - 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)
2. Additives:
  - Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd

4. Lime Mortar Spec mix Photo

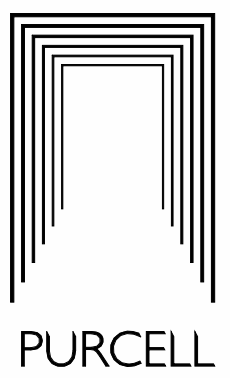


P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	21/11/2024	MP	MP	Issued for Information
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm & Healthy Homes**

JOB NUMBER  
**243231**



TITLE  
**Typical Dorfold / Tollitt Street Dwelling - Proposed Elevations and Sections**

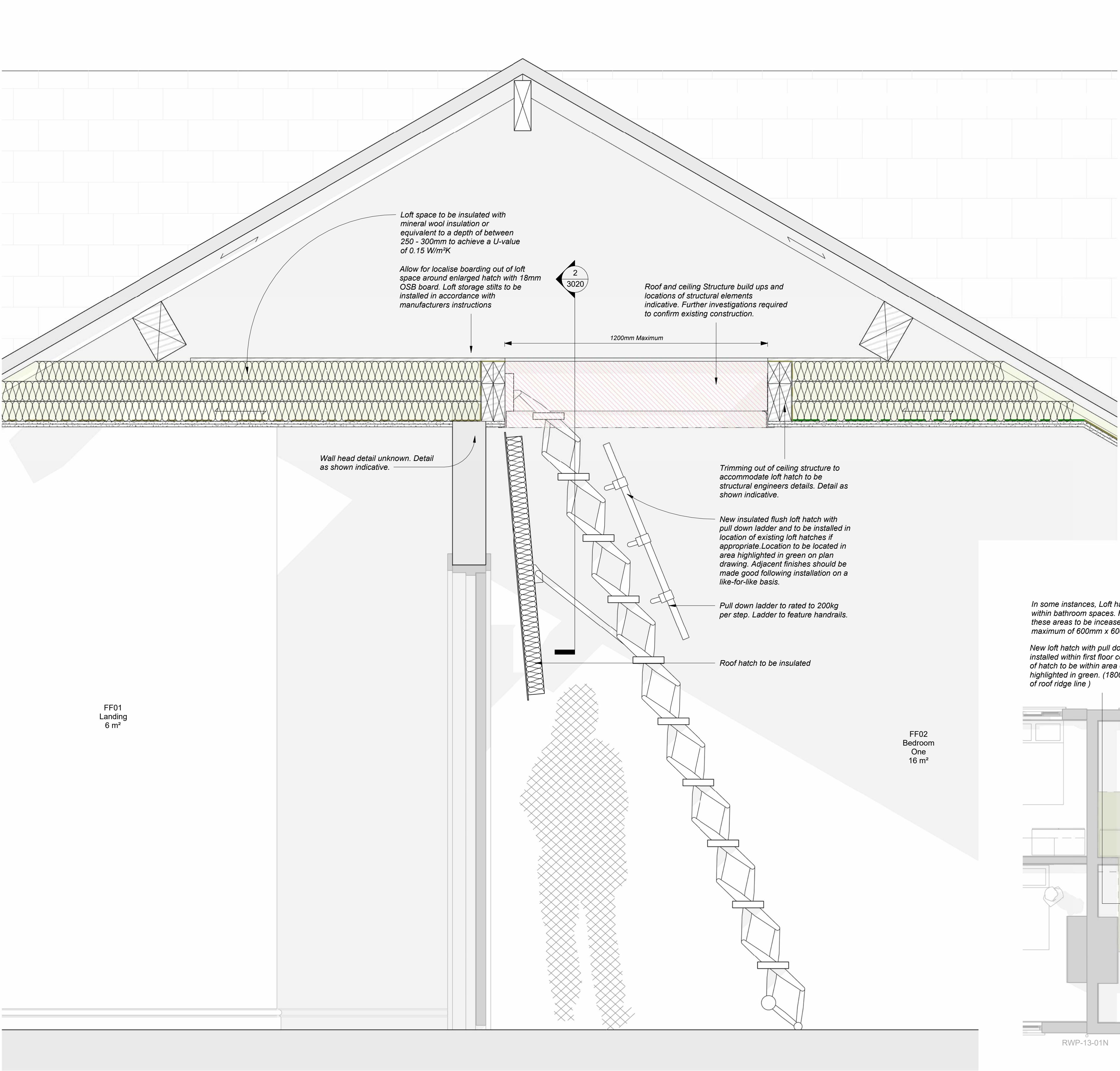
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A1L 1 : 50

REV SUITABILITY/REASON FOR ISSUE  
P05 S4 - For Approval

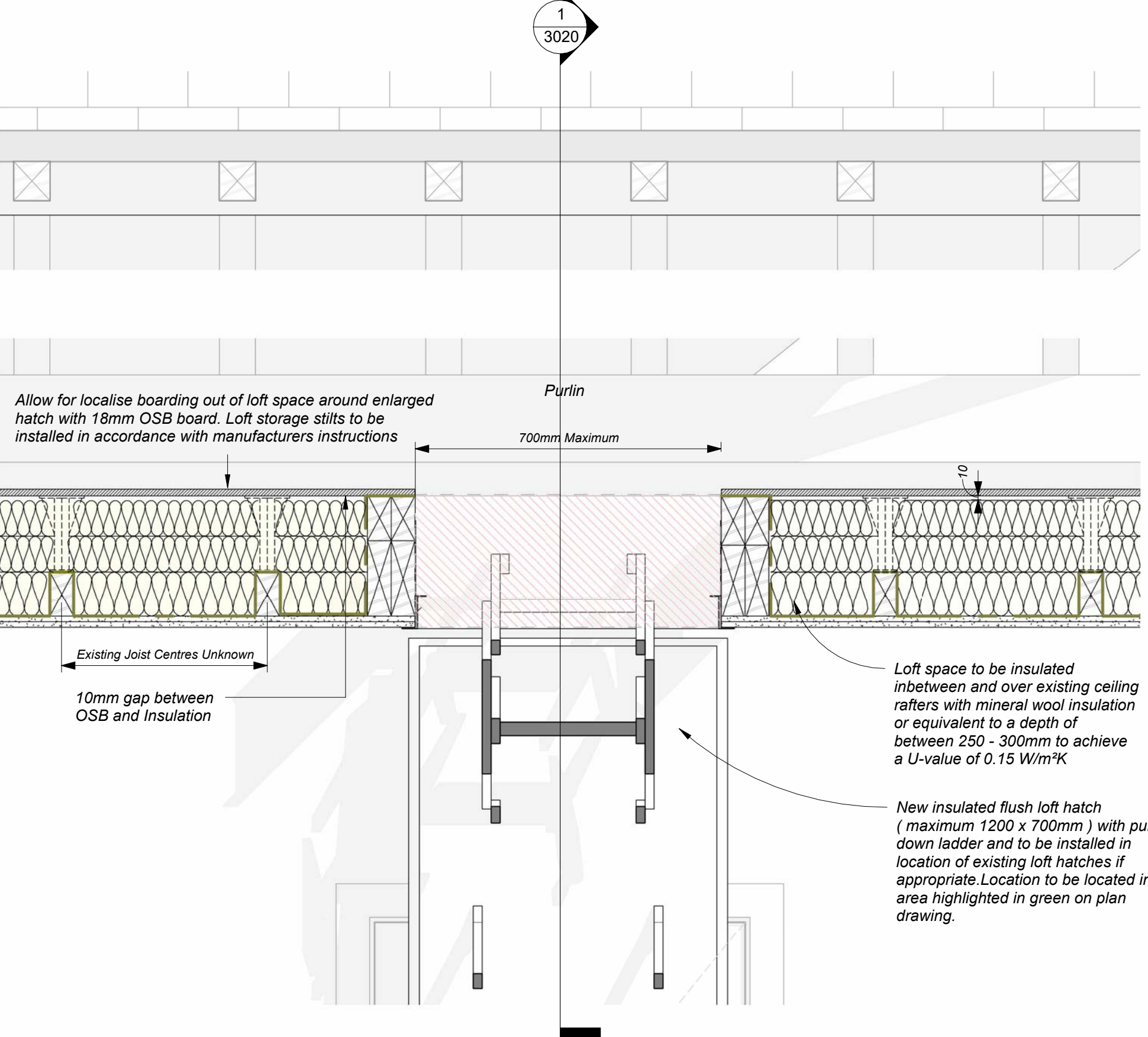
DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-2120**

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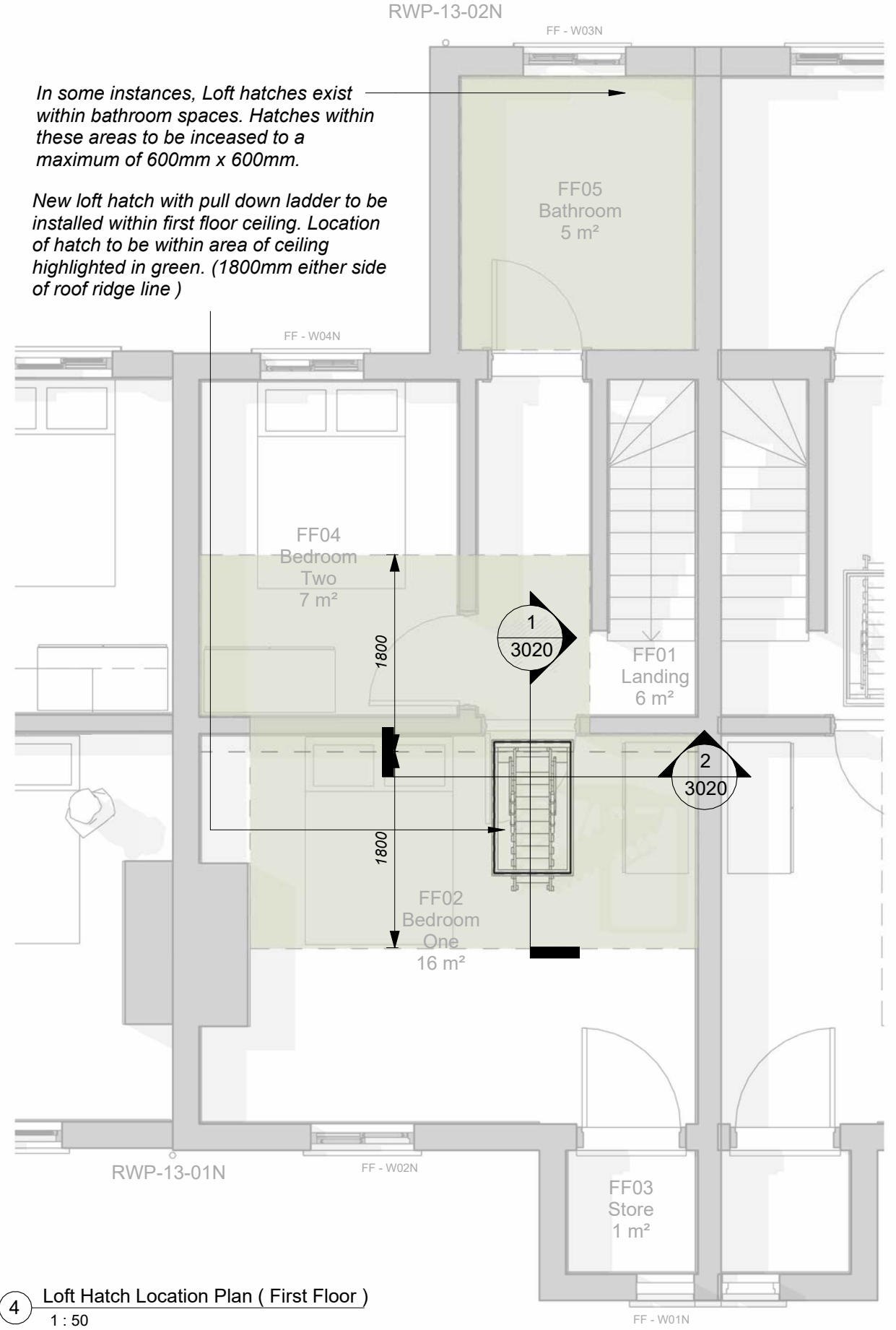




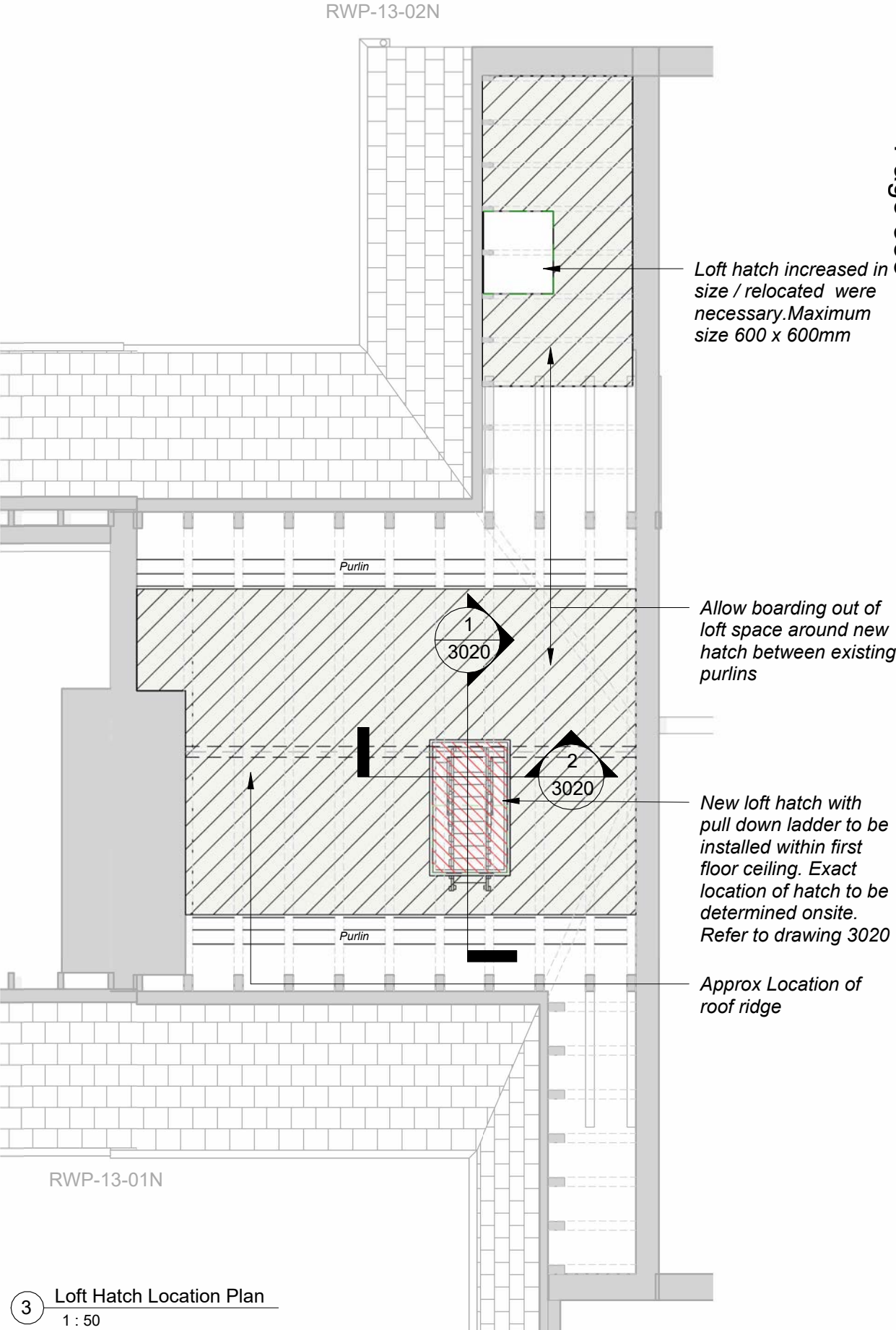
1 Typical Section A-A Through Loft Hatch  
1:10



2 Typical Section B-B Through Loft Hatch  
1:10



4 Loft Hatch Location Plan ( First Floor )  
1:50



3 Loft Hatch Location Plan  
1:50

**Notes:**  
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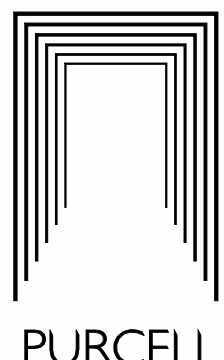
- NOTES**
- Loft hatches and access ladders may be installed within the zone identified on this drawings only.
  - Roof / ceiling structure as shown is indicative due to lack of available access.

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

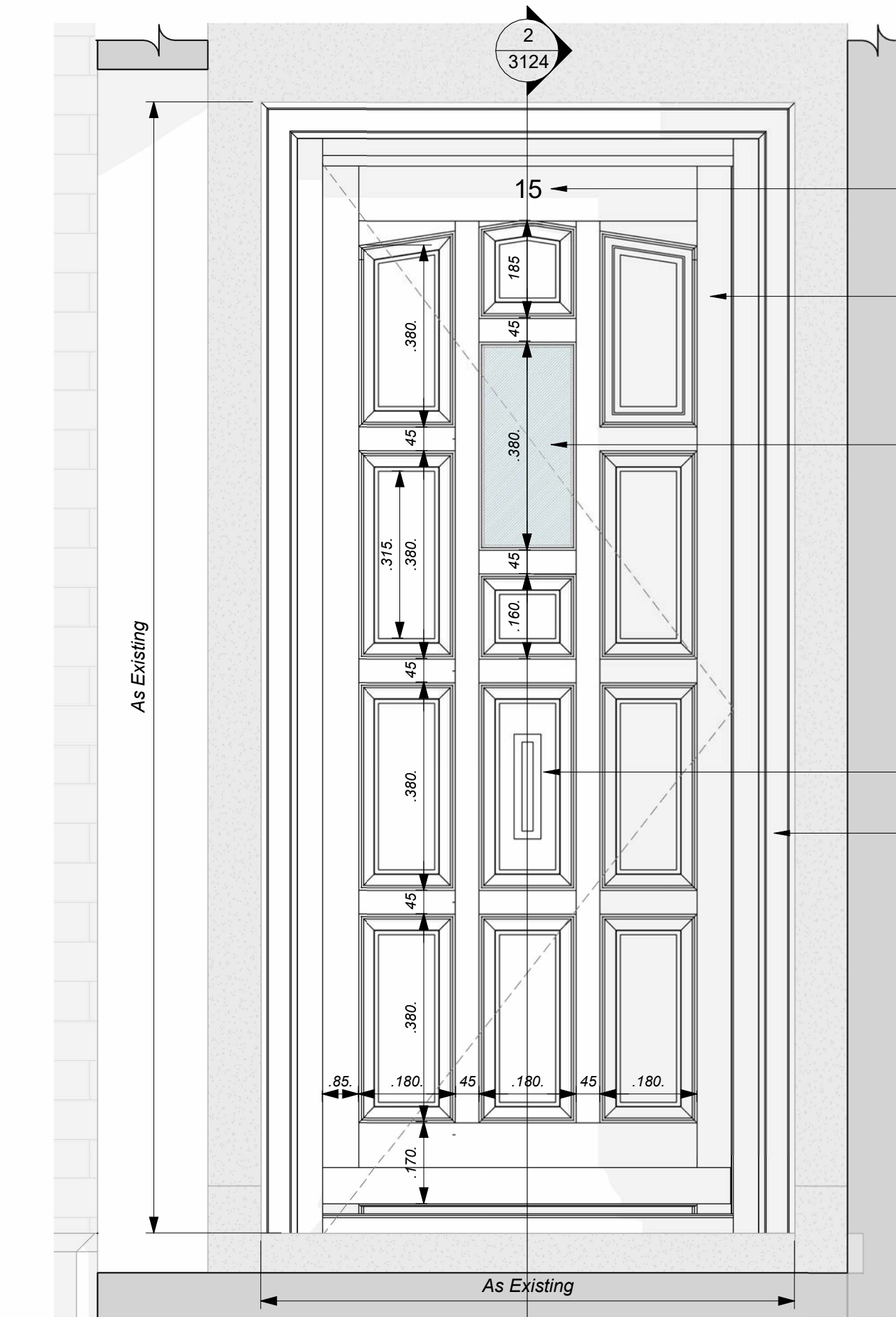
**CLIENT**  
Cheshire East Council  
**PROJECT**  
CEF Crewe, Warm & Healthy Homes

**JOB NUMBER**  
243231  
**TITLE**  
Dorfold / Tollitt Street - Typical Loft Hatch Detail

**SIZE** A1L  
**SCALE** As indicated  
**REV** P05  
**SUITABILITY/REASON FOR ISSUE** S4 - For Approval/  
**DRAWING NUMBER**  
243231-PUR-02-ZZ-DR-A-3020







1 External Door Type A as Proposed - External Elevation  
1 : 10

House number to be located central to top rail.

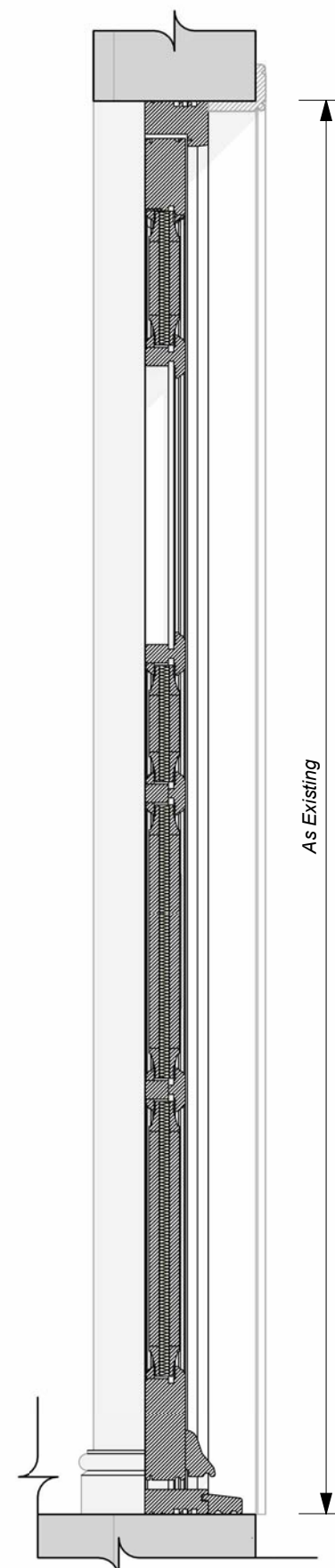
Door to be finished externally in RAL 170 40 15 Palace Green. Refer to Appendix C.

Double glazed vision panel with putty finish.

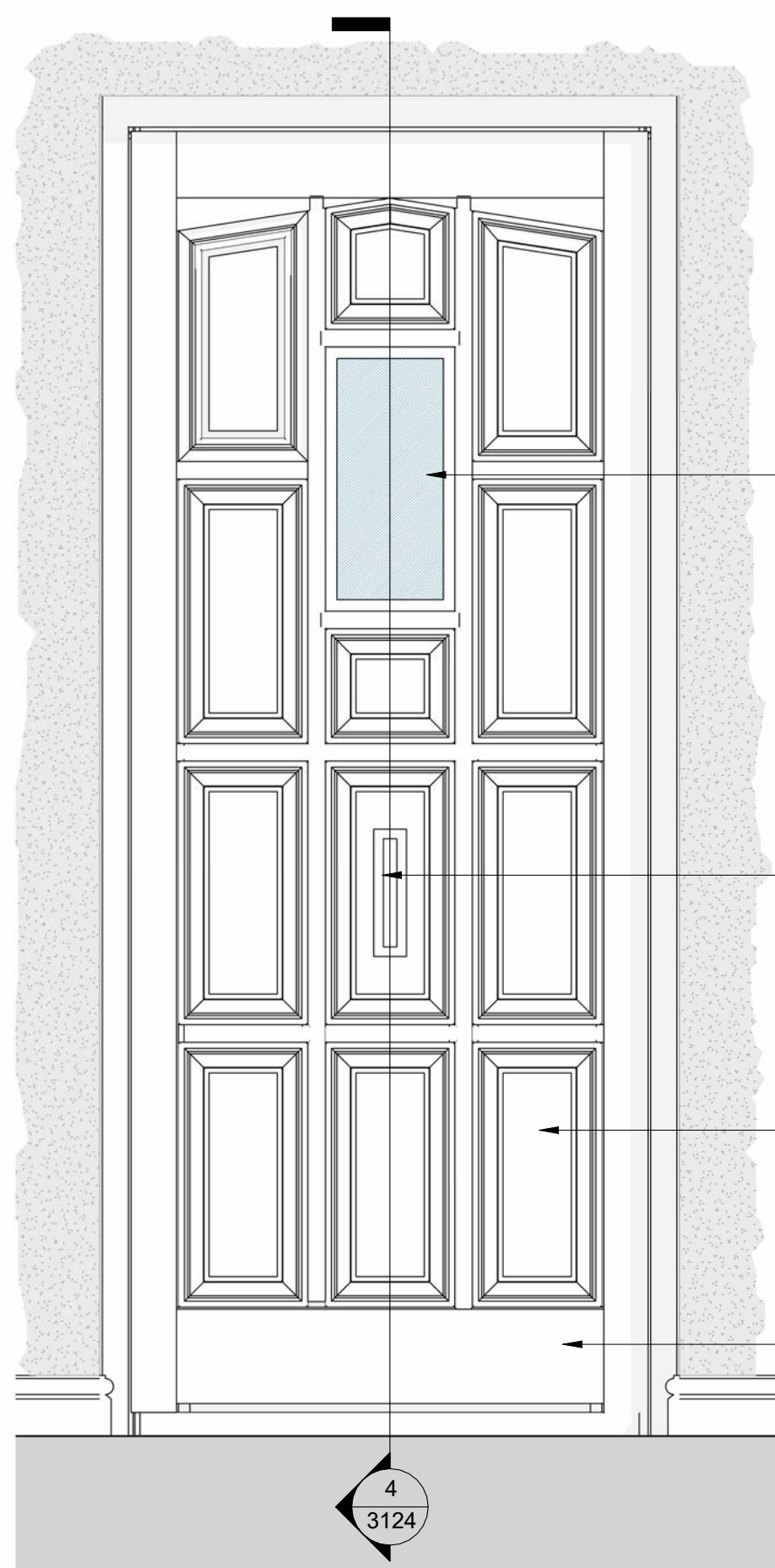
14mm Slim double glazed unit with warm edge spacers and argon filled cavity. Overall U-Value to achieve between 1.2 and 1.4 W/m²K.

Letter box to match existing

Existing external Architrave profile to be retained and redecorated.



2 External Door Type A as Proposed - Section  
1 : 10



3 External Door Type A as Proposed - Internal Elevation  
1 : 10

Existing external Architrave profile to be retained and redecorated.

Allow for making good of reveals following installation of new door.

Door to be finished externally in RAL 170 40 15 Palace Green. Refer to Appendix C.

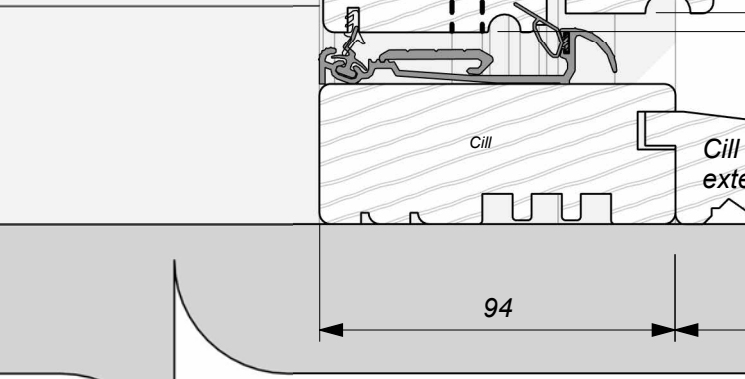
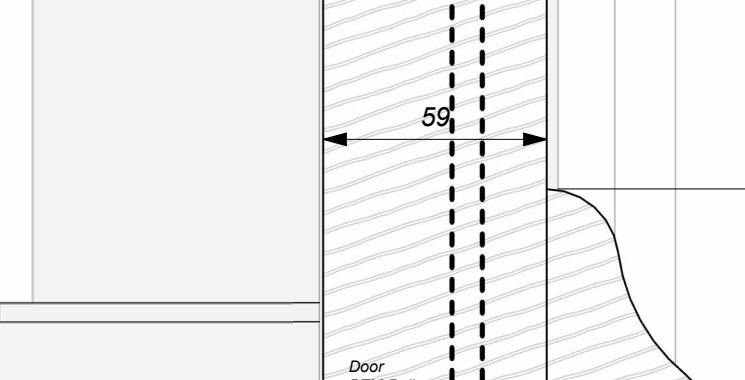
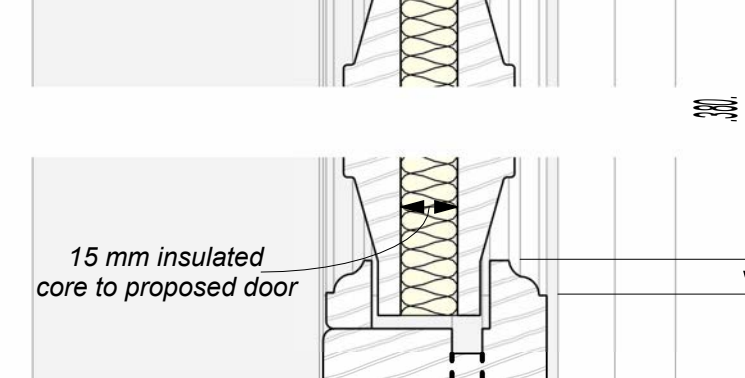
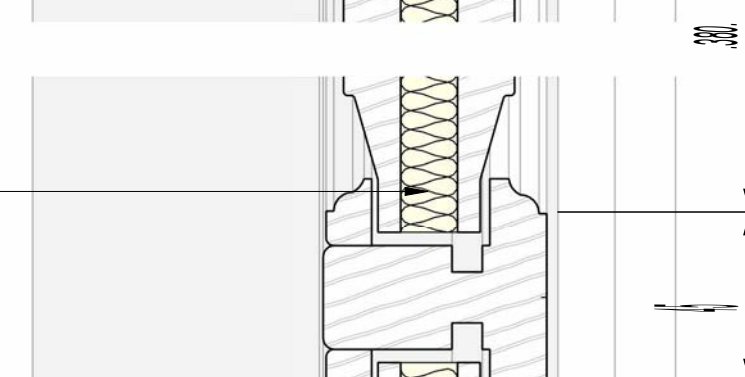
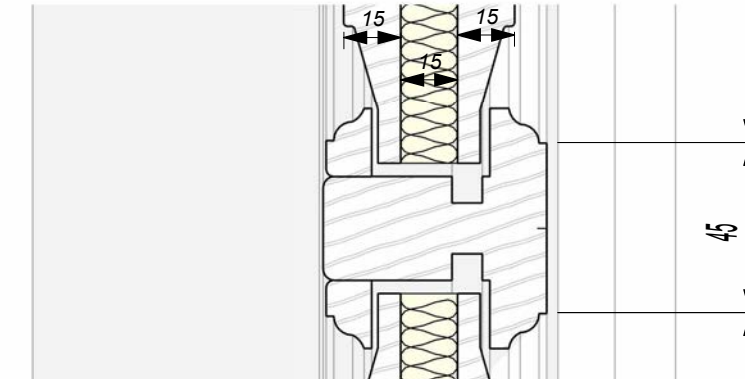
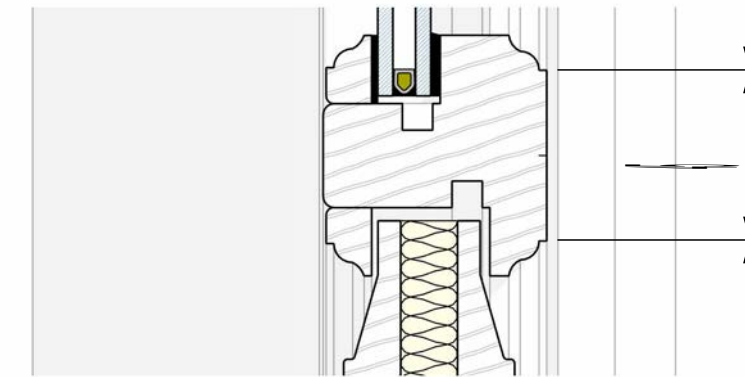
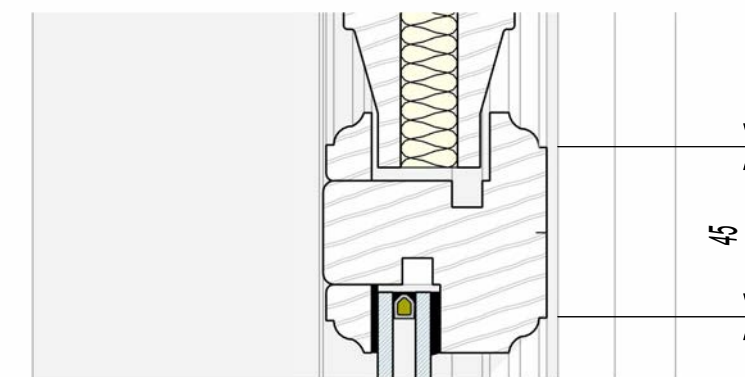
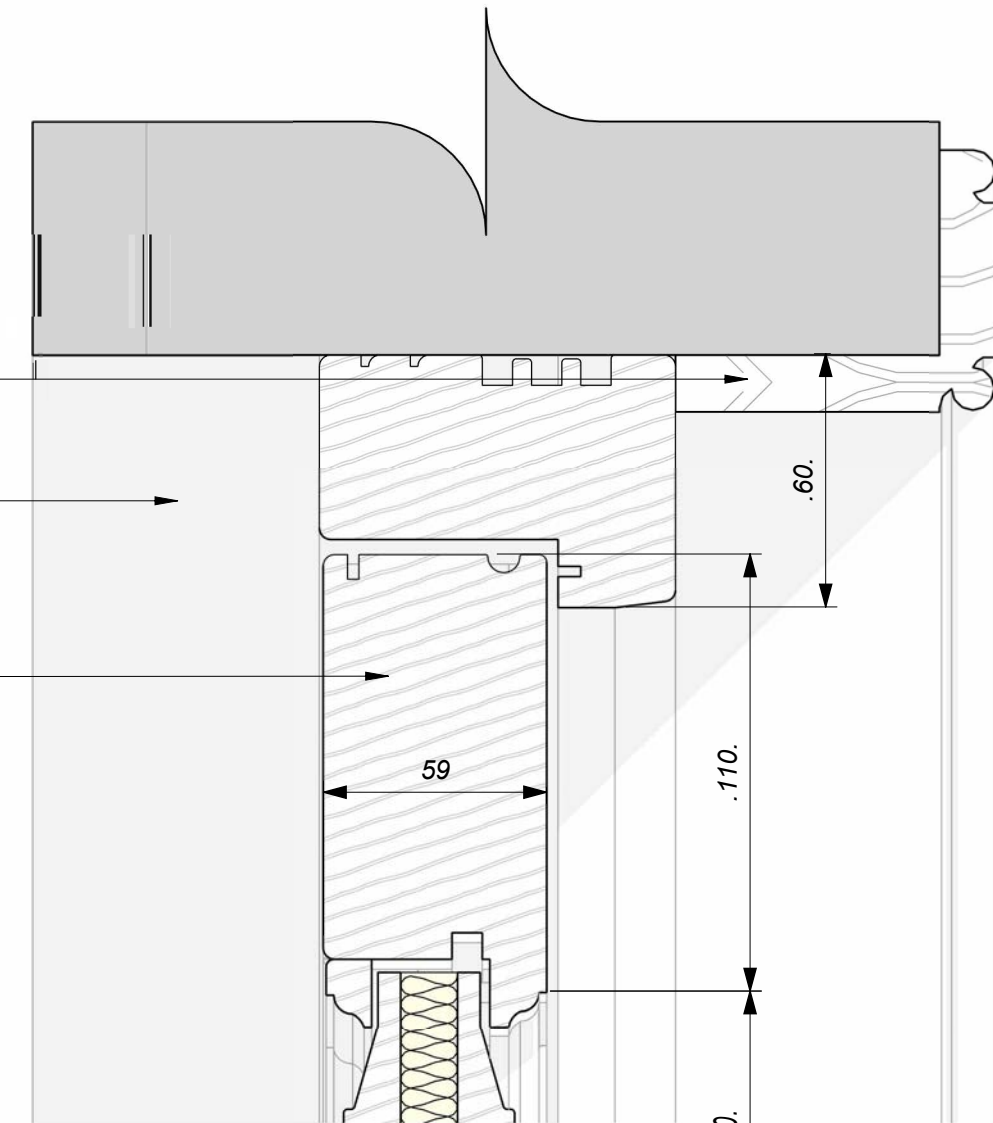
Slim Double glazed vision panel.

Letter box

General setting out of door arrangement to match existing.

Overall U-Value of door to achieve between 1.4 and 1.2 W/m²K

Door panels to have 15mm insulated core (Optional).



#### Notes:

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Historic External Putty
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green

P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231

#### TITLE

Dorford / Betley / Tollitt Street - External Door Type A as Proposed

#### SIZE

A1L As indicated

#### REV

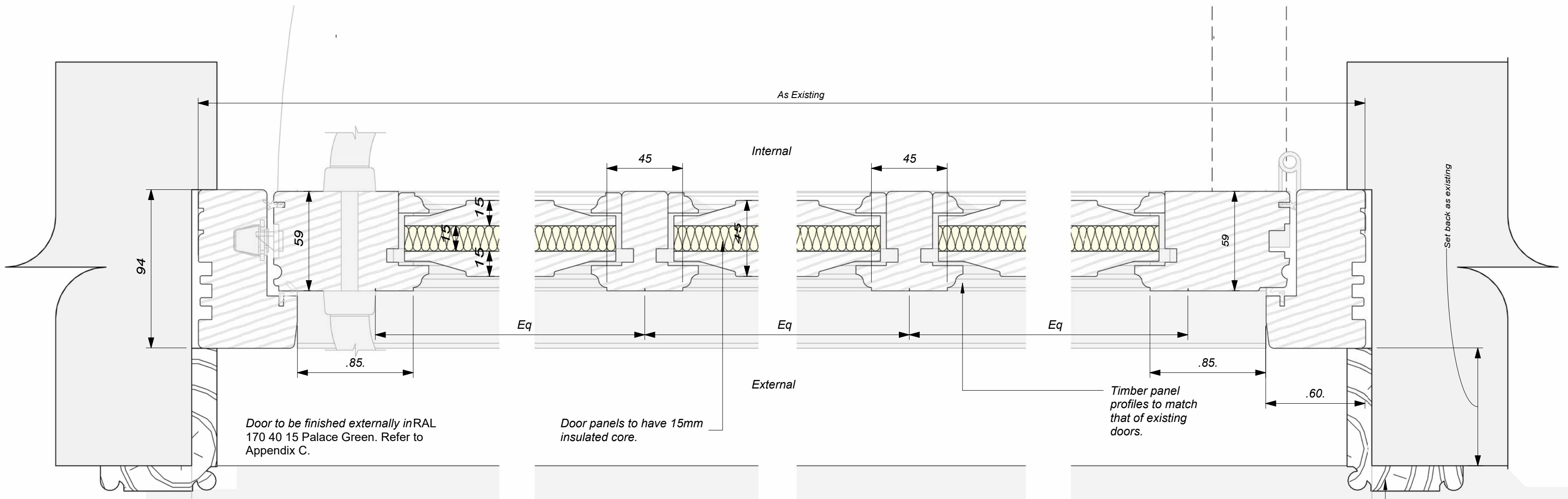
SUITABILITY/REASON FOR ISSUE

P05 S4 - For Approval

#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3124

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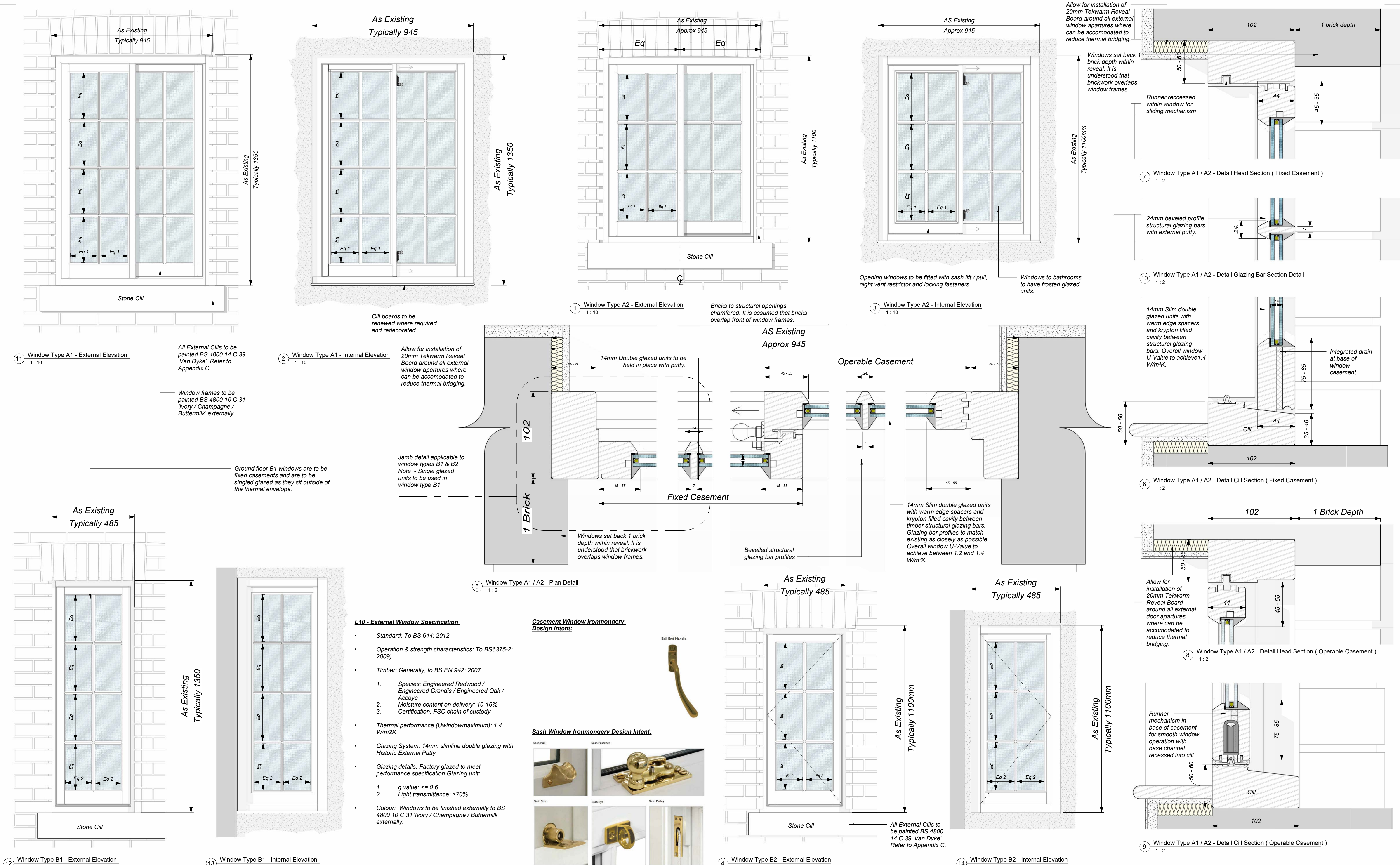


6 External Door Type A as Proposed - Plan Detail  
1 : 2

4 External Door Type A as Proposed - Section Detail  
1 : 2

As Existing





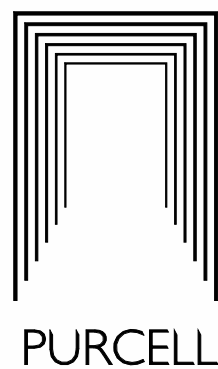
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P06	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P05	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P04	24/03/2025	MP	JPH	Issued for LBC
P03	19/03/2025	MP	JPH	Issued for Review
P02	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

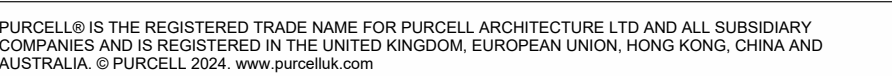
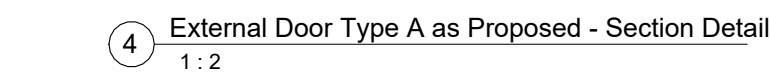
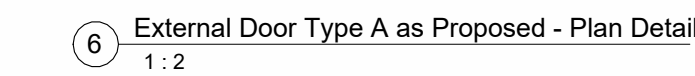
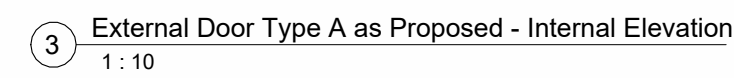
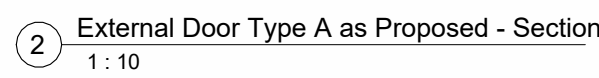
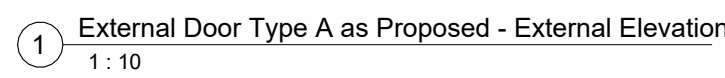
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**243231**  
TITLE  
**Dorfold / Betley / Tollitt Street - Window Details as Proposed**

SIZE SCALE  
A1L As indicated  
REV SUITABILITY/REASON FOR ISSUE  
**P07 S3 - For Review & Comment/**  
DRAWING NUMBER  
**243231-PUR-02-ZZ-DR-A-3120**

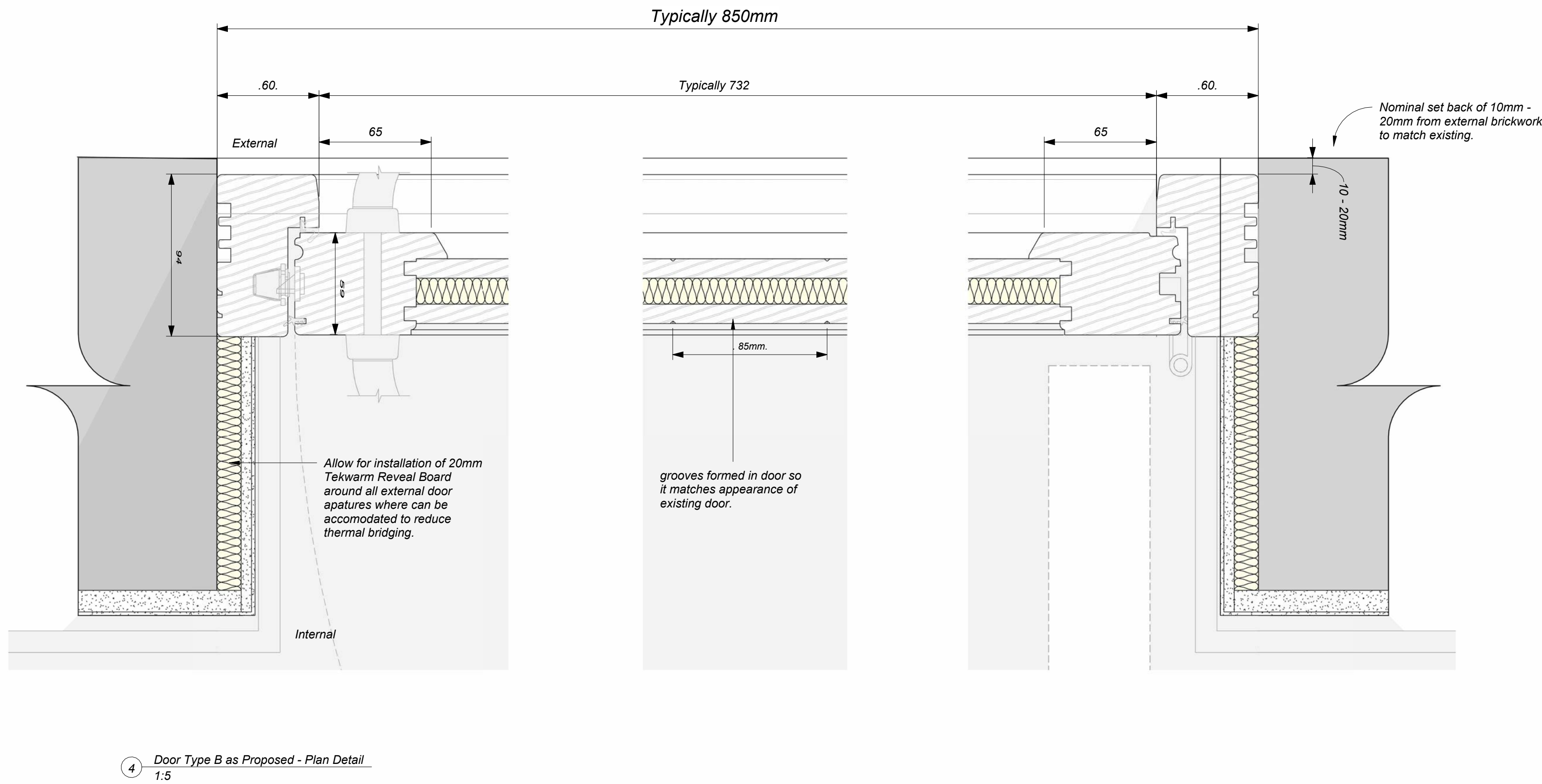
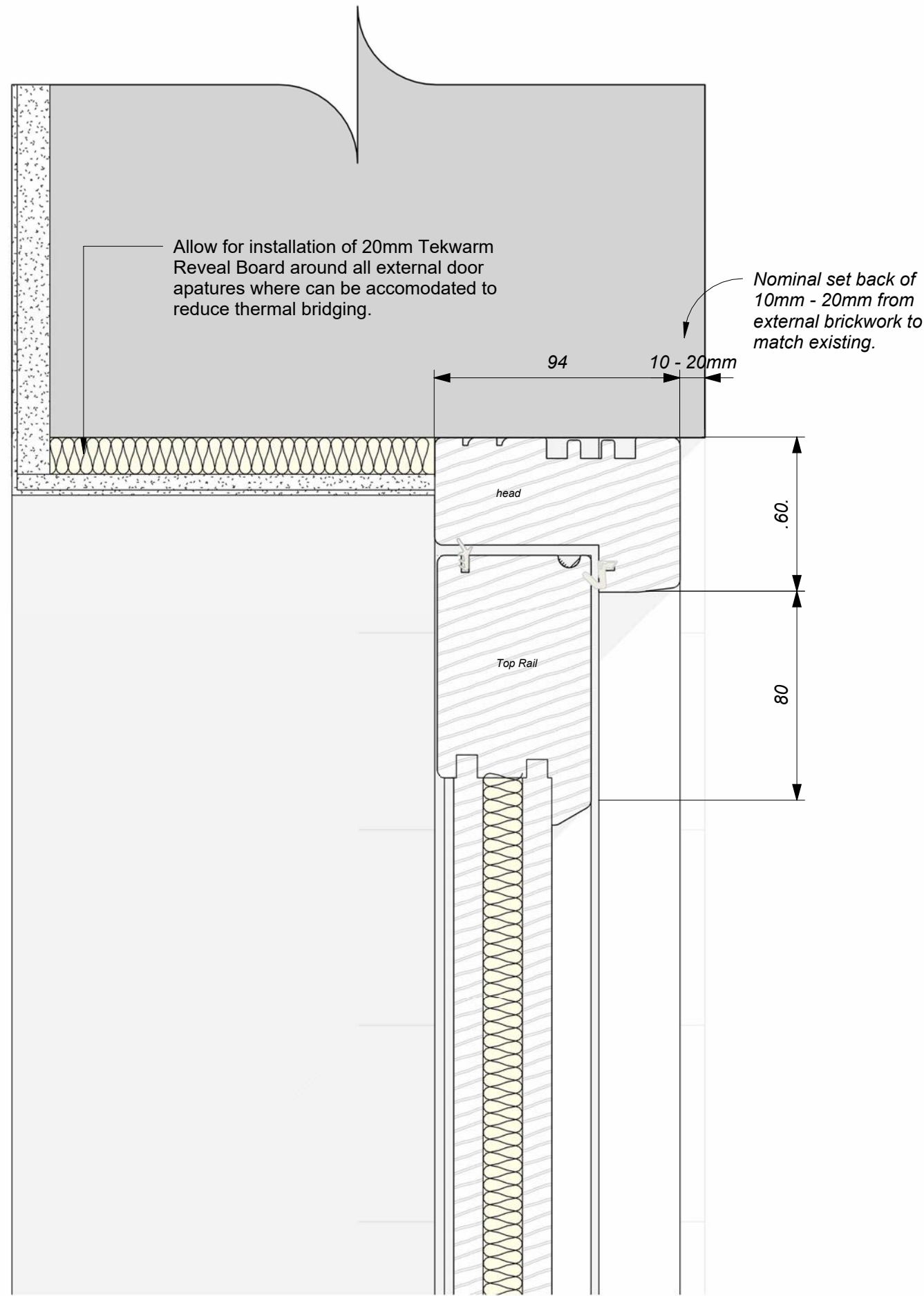
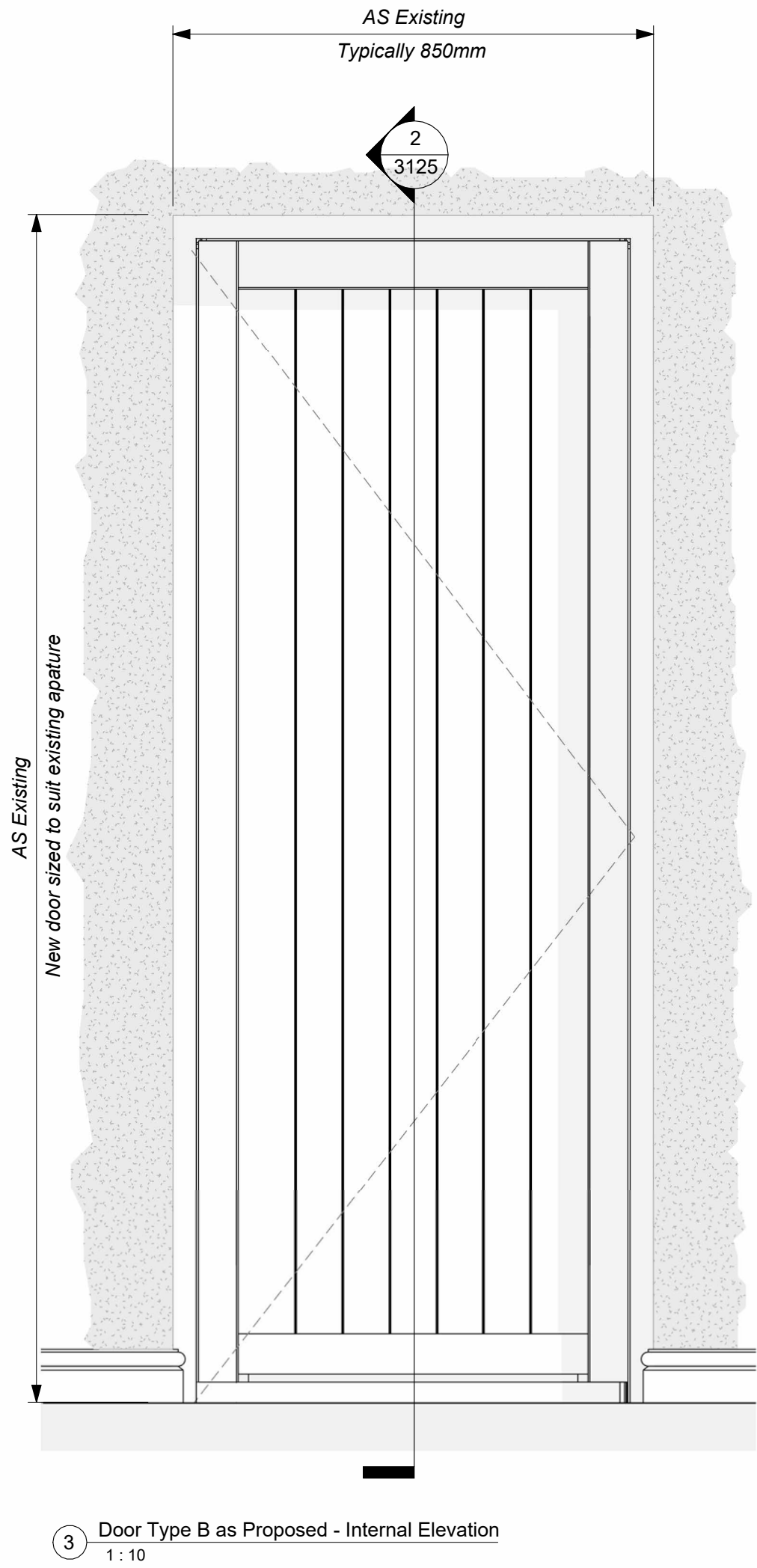
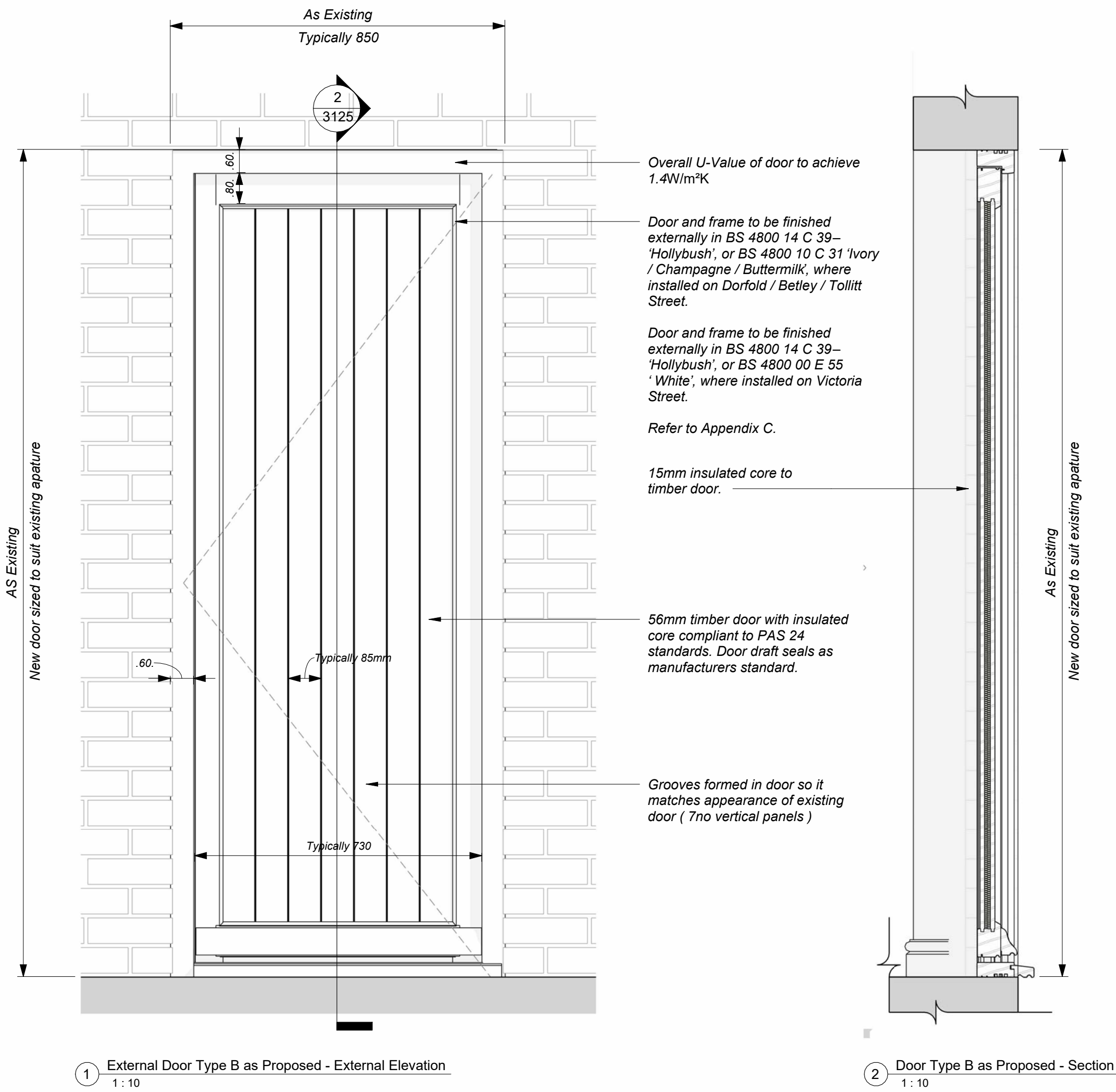
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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Udoormaximum): 1.4 W/m²K
  - 15mm insulated core to door
- Acoustic performance: 38 dB
- Security: Certified to PAS 24 and Secured by Design
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.

#### Ironmongery Design Intent:



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

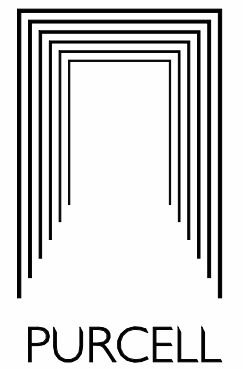
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT

#### SIZE

A1L

#### SCALE

As indicated

#### REV

SUITABILITY/REASON FOR ISSUE  
P06 S3 - For Review & Comment

#### DRAWING NUMBER

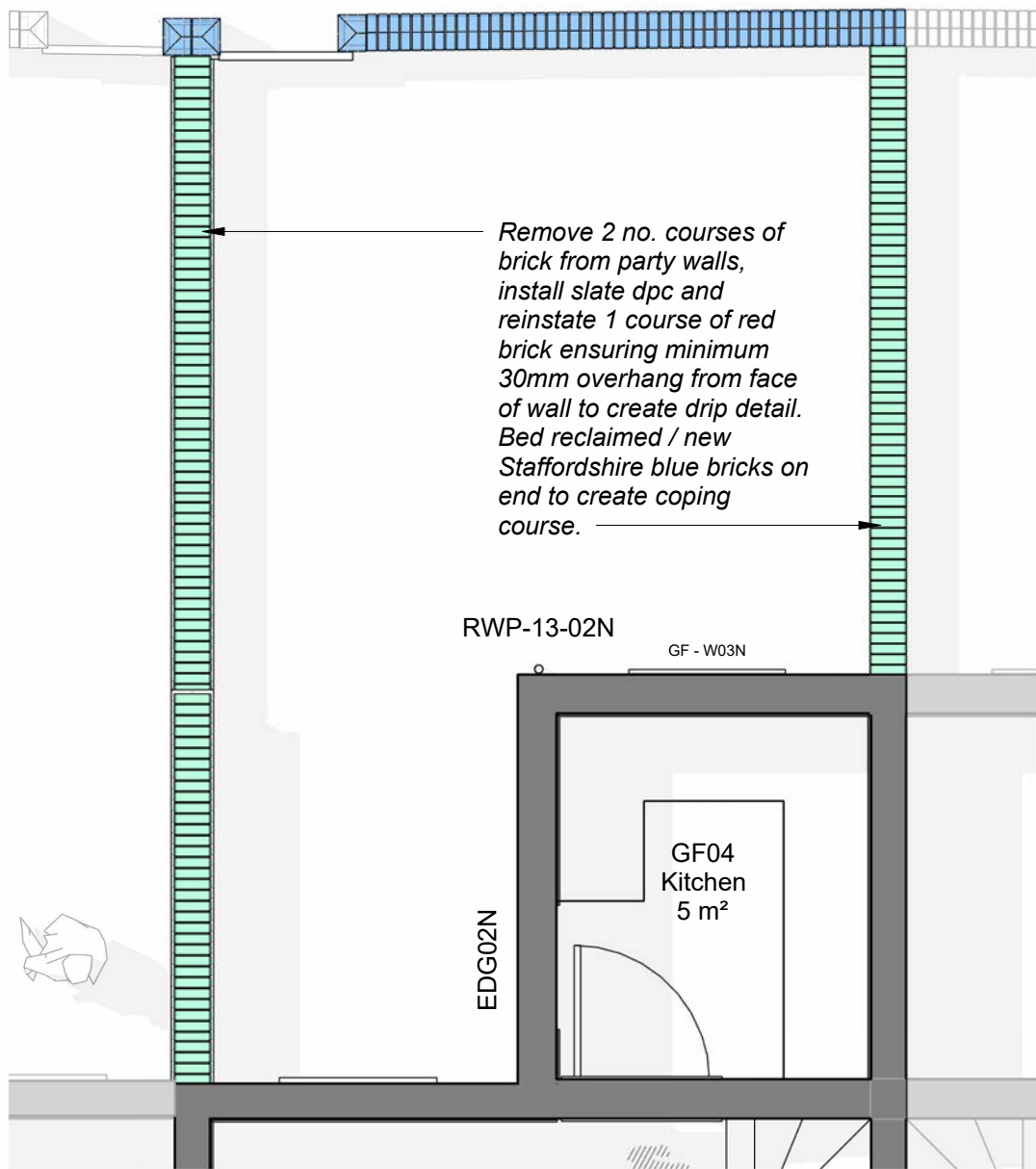
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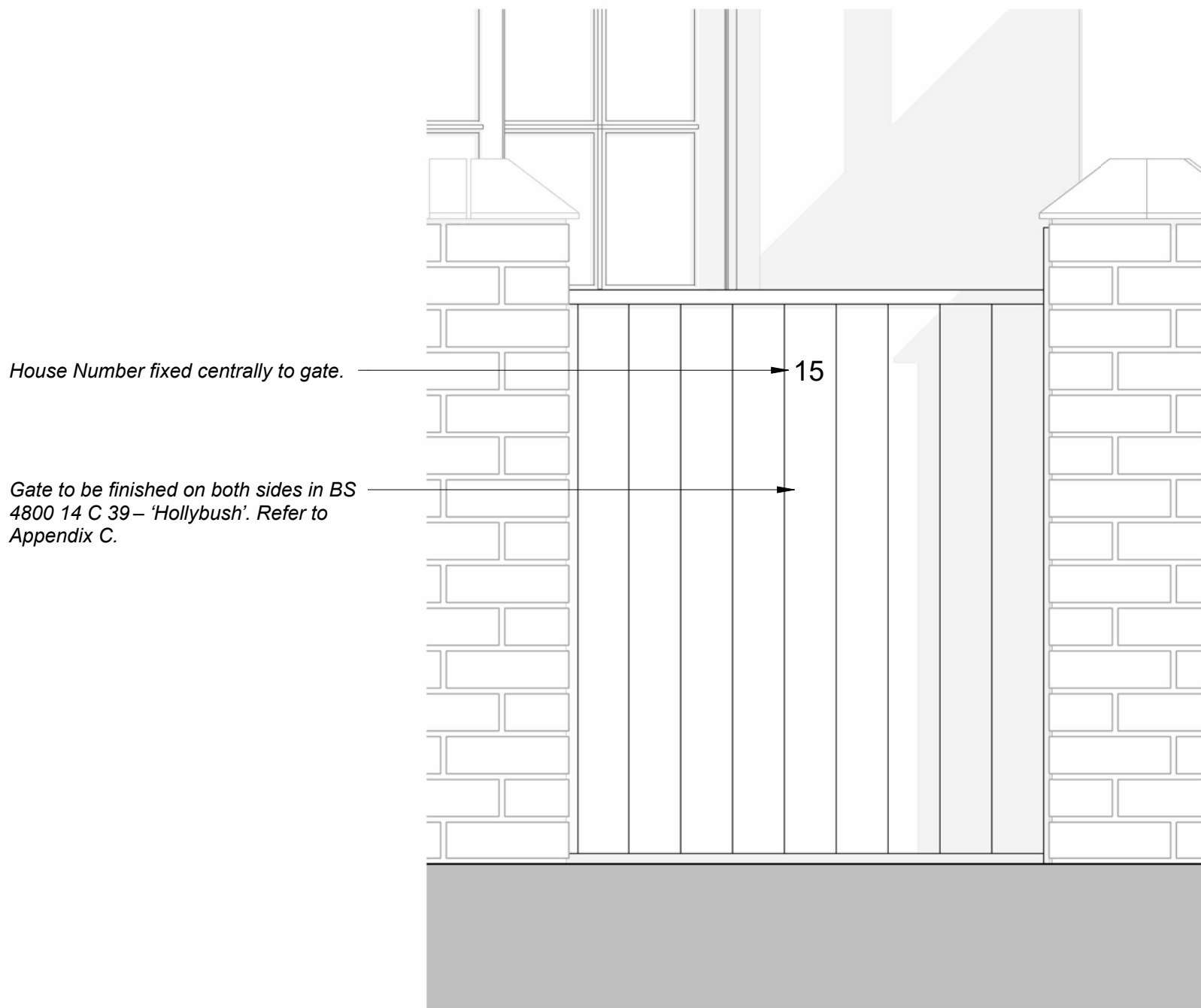




1 Typical Rear Elevation as Proposed  
1 : 50



2 Typical Back Yard Plan as Proposed  
1 : 50



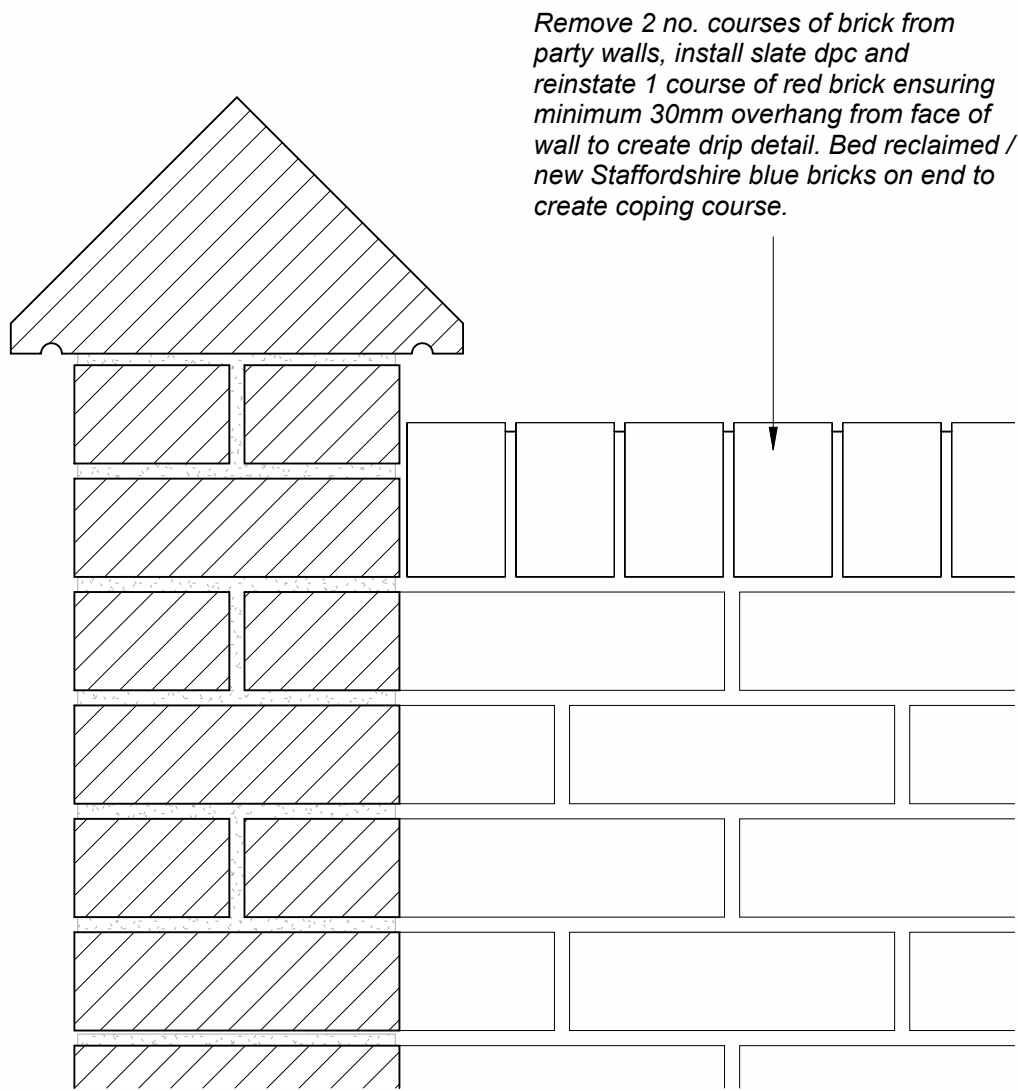
6 Rear Gate - Front Elevation  
1 : 10



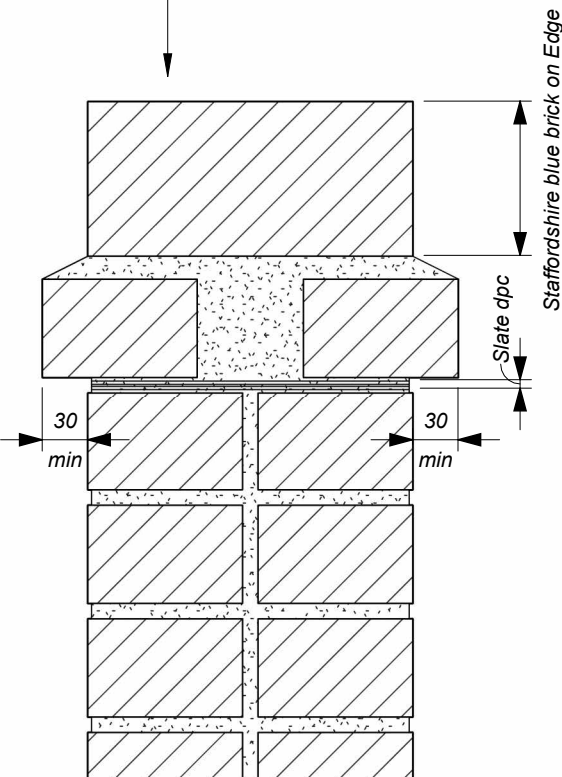
4 Typical Coping Detail to party walls  
NTS



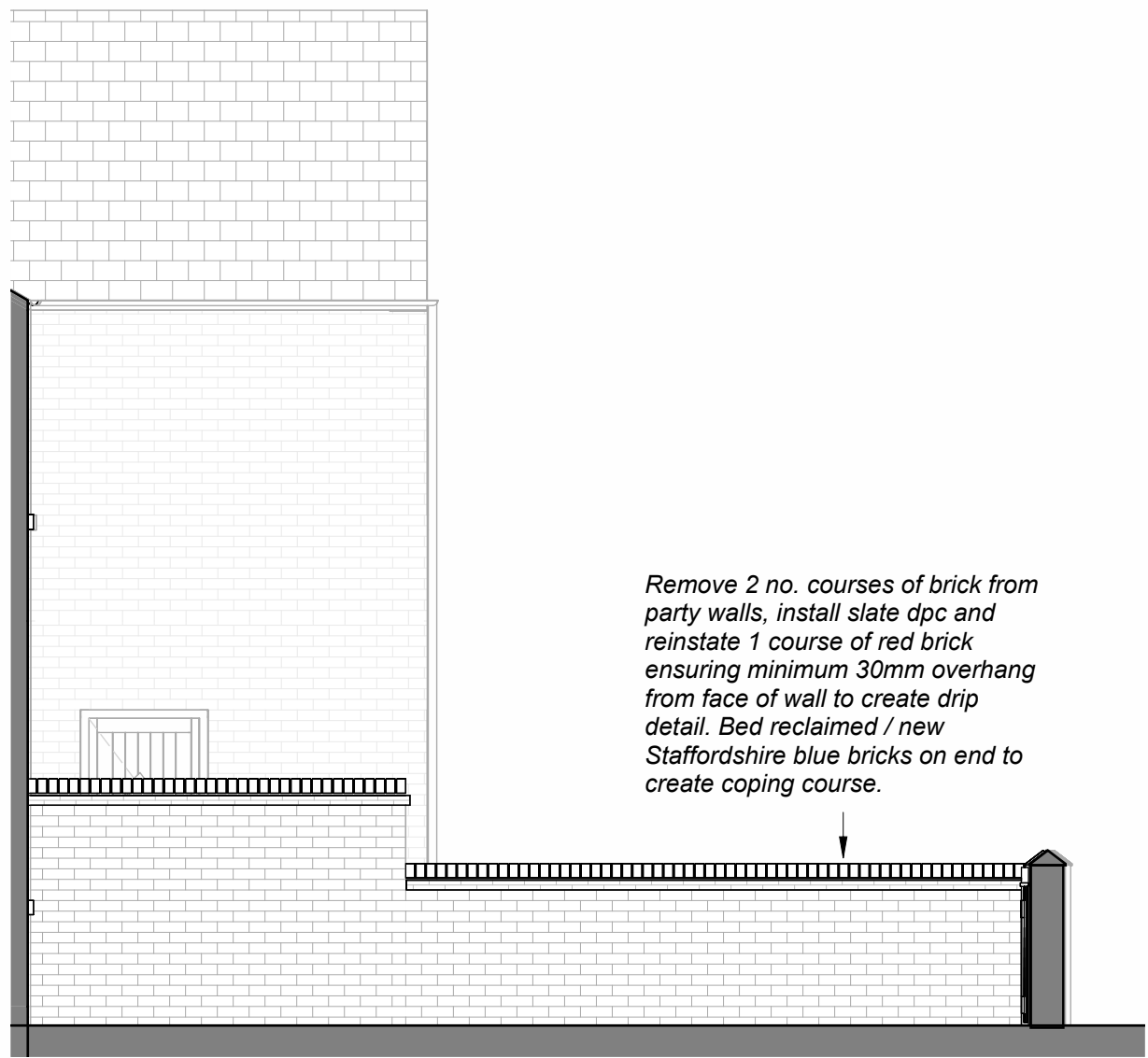
4 Typical Coping Detail to Rear / Side Boundary walls  
NTS



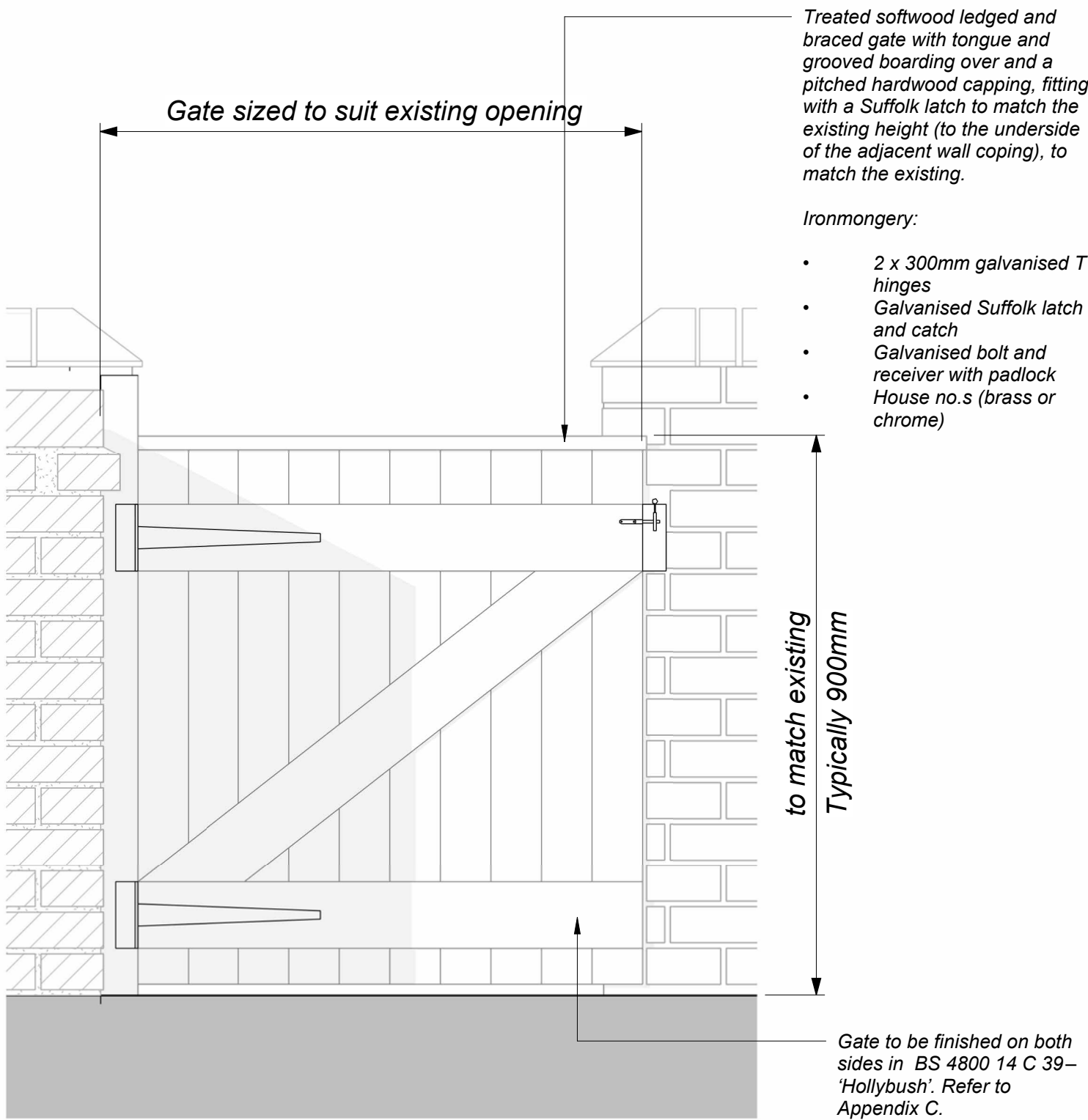
5 Boundary to Party Wall Connection Detail  
1 : 5



8 Section Through Party Wall as Proposed  
1 : 5



4 Party Wall Elevation as Proposed  
1 : 50



7 Rear Gate - Rear Elevation  
1 : 10

Notes:

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P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	04/03/2025	MP	JPH	Issued for Review
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm & Healthy Homes**

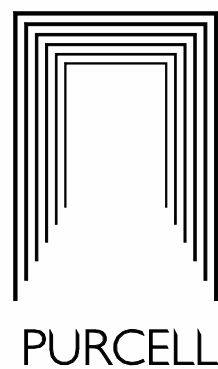
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TITLE  
**Dorfold / Betley / Tollitt - Brick Copings Details to Boundary & Part Walls**

SIZE SCALE  
A1L As indicated

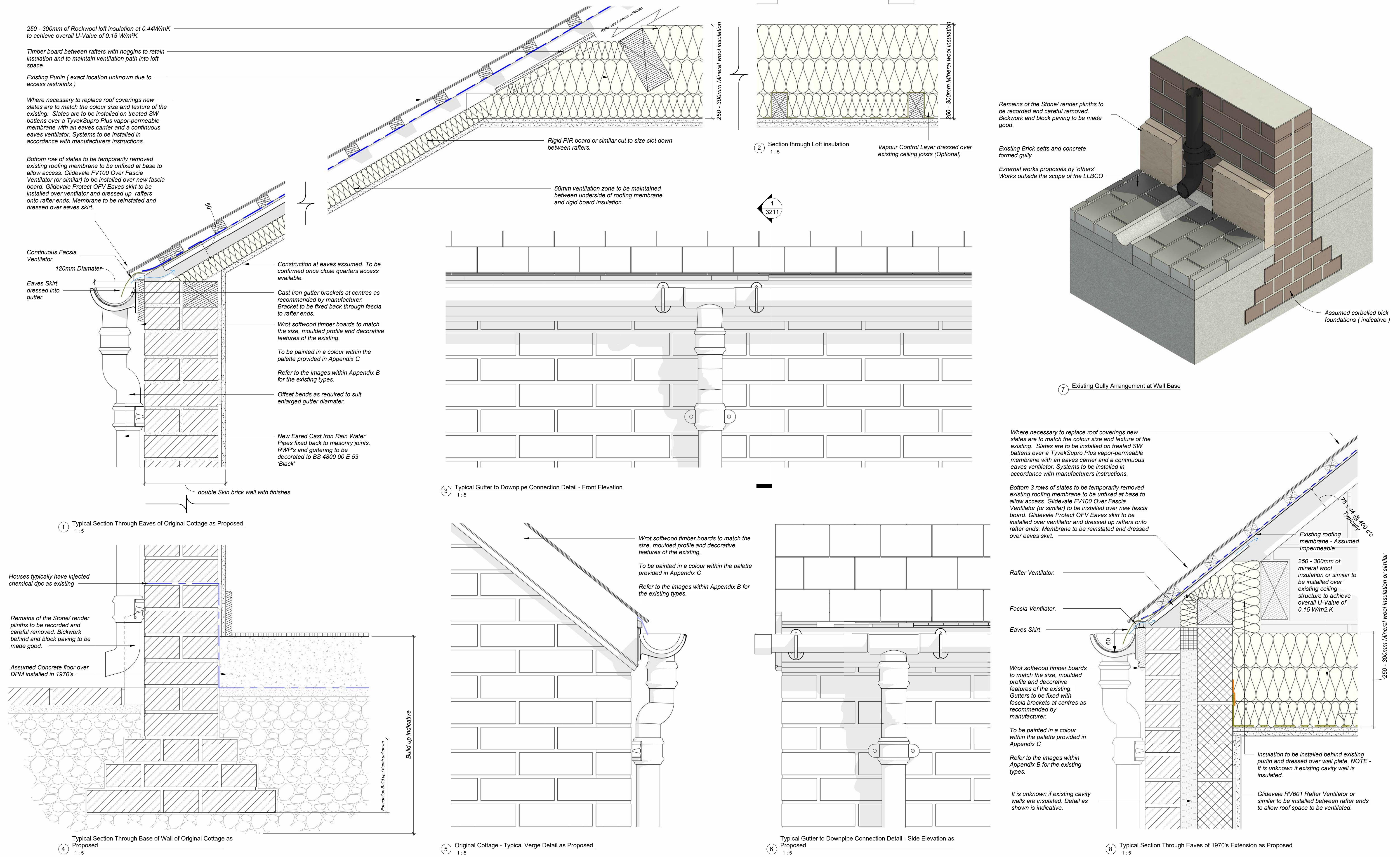
REV SUITABILITY/REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**

DRAWING NUMBER  
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APPENDIX B – 04 TOLLITT STREET

Tollitt Street – Photo Reference

04/04/2025

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## Mark Popely

St James's Building

79 Oxford St

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M1 6FQ

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## APPENDIX B - 04 TOLLITT STREET

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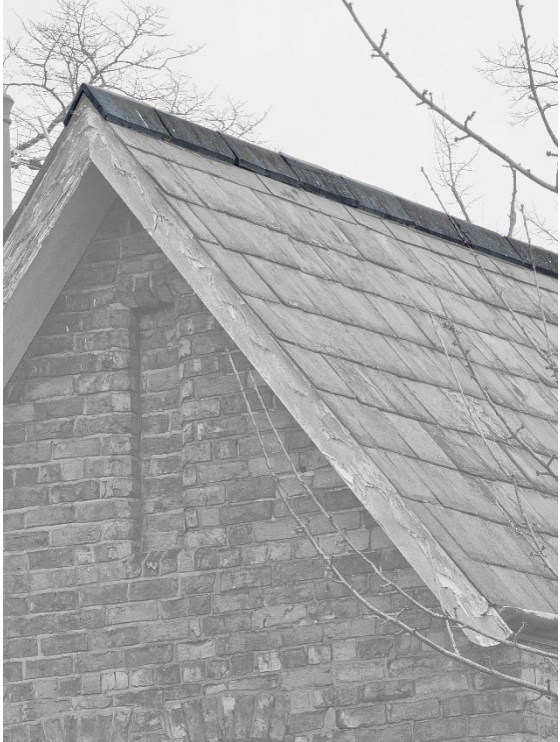





## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Replacement chimney pots are to be cream clay and match the existing in size.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Replacement buff stone copings are to match existing in size, profile and geology.</p> <p>Where original stone coping has been previously been replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	

## APPENDIX B - 04 TOLLITT STREET


<p>Blue Clay Ridge Tiles</p>	<p>These may be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing.</p>	 <p>'Uncapped' Ridge Tile Variant</p>  <p>'Flaunched' Ridge Tile Variant</p>
<p>Replacement Joinery for Barge boards to projecting rear gable</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to Gable end</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Barge boards to</p>	<p>Wrot softwood timber boards to match the size, moulded profile</p>	



## APPENDIX B - 04 TOLLITT STREET

<p>front projecting front Gable</p>	<p>and decorative features of the existing.</p>	
<p>Replacement blue clay pitched wall coping on the rear boundary.</p>	<p>New or salvaged blue clay triangular coping bricks to match the colour, size and finish of the existing.</p>	
<p>Replacement of blue engineering brick copings to side/ party yard walls</p>	<p>New or salvaged blue clay engineering brick to form a coping on side walls and act as a DPC. To match the colour size and texture of the existing. Refer to drawing 3201 for coping detail.</p>	

APPENDIX B - 04 TOLLITT STREET

Replacement yard gates	<p>Treated softwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing. Refer to drawing 3201 for typical gate detail.</p>	
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## APPENDIX C – COLOUR SWATCHES

Dorfold, Betley and Tollitt Street

16/05/2025

PURCELL 

## Revisions

P01 – 04/04/2025

P02 – 16/05/2025

## Mark Popely

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## COLOUR SWATCHES FOR DECORATION SCHEME

Colour references in the schedule below act as a reference where the proposal is required to redecorate to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials, and commencement of works.






Items	Photo Reference	Description	Colour Reference
External Front Door		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rear Gate		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rainwater Goods		<b>BS 4800 00 E 53</b> 'Black'	



APPENDIX C - COLOUR SWATCHES



<p>Front Porch Gates</p>		<p><b>BS 4800 00 E 53</b> 'Black'</p>	
<p>Window frames</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
<p>Window / threshold Stone Sills</p>		<p><b>BS 4800 14 C 39</b> 'Van Dyke'</p>	

APPENDIX C - COLOUR SWATCHES

<p>External Rear Door</p>		<p><b>Allow for either:</b></p> <p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p> <p><b>OR</b></p> <p><b>BS 4800 14 C 39</b> 'Hollybush'</p>	 
<p>Front Porch timber work.</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	



APPENDIX C - COLOUR SWATCHES

<p>Barge Boards and Facias</p>		<p><b>BS 4800 10 C 31</b> 'Ivory / Champagne / Buttermilk'</p>	
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**DRAFT LOCAL LISTED BUILDING CONSENT ORDER FOR THE ON GRADE II LISTED BUILDINGS IN THE  
BOROUGH OF CHESHIRE EAST**

This Local Listed Building Consent Order is made under the provisions as set out in the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014 and Sections 26D - G and 28A and Schedule 2A of the Planning (Listed Buildings and Conservation Areas) Act 1990

**1. Introductory**

THE LOCAL LISTED BUILDING CONSENT ORDER is made on the 28<sup>th</sup> day of May 2025

**2. The listed buildings covered by the order: -**

Victoria Street numbers:

76, 76a, 78, 78a, 80, 80a, 82, 82a, 84, 84a, 86, 86a, 88, 88a, 90 & 90a

**3. Description of the consented works**

**3.2 Replacement of non-original timber windows with **timber windows****

**3.2.1 to qualify for consent under this order the works must:**

- A – be as per the drawing and specification noted in dwgs 3100 and 3101 in appendix A
- B – any double glazing must be 14mm slim profile glazing with integral glazing bars
- C -windows to be painted to one of the colours within the palette provided in Appendix C, reveals to be as per drawings in Appendix A.
- D – Timber must be natural softwood or hardwood and not engineered or chemically modified timber.

**3.3 Replacement of **timber external doors****

**3.3.1 to qualify for consent under this order the works must:**

- A – be as per the drawing and specification noted in drawing 3104 & 3125 in appendix A
- B - painted in the colour provided in Appendix C
- C - Timber must be natural softwood or hardwood and not engineered or chemically modified timber.



3.4 Works to the **roof**, specifically reroofing, replacing bargeboards, replacing flashing, but excluding works to the timber structure.

3.4.1 to qualify for consent under this order the works must:

A – Blue clay ridge tiles to be new or salvaged, plain or flaunching but must match the existing in colour, size/profile and finish of the existing, as per the images in Appendix B.

B - Renewal of roof covering, to include a permeable roofing membrane with eaves carrier, new slates to match existing and re-bedding ridge tiles. As per drawings in Appendix A.

C - Replacement insulation quilt may be installed in roof spaces, between and above rafters, providing an eaves ventilator system is installed to ensure the roof space remains ventilated at the eaves.

D - be as per to drawings in Appendix A.

E - Welsh slates: Wholesale replacement of a roof or roof slope – new Welsh slates to match the colour size and texture of the existing. Slates are to be installed on treated SW battens over a permeable roofing membrane with an eaves carrier and a continuous eaves ventilator. Refer to drawing 3210 in Appendix A. A sample slate must be submitted for approval by the Local Planning Authority via formal discharge of condition prior to works being carried out.

F - Mortar for Flaunching for chimney pots, to be as per the specification in 3.7.1C.

G - Lead flashings to:

Valley gutter and soakers– Code 6, Soakers Code 4 (minimum)

Roof abutment drip flashings and soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

### 3.5 Chimney works

3.5.1 To qualify for consent under this order the works must:

A – Re-bed existing sound clay chimney post in a mortar flaunching. - Flaunching for chimney pots to be a Natural Hydraulic Lime mix as per 3.7.1C.

B - Replacement chimney pots are to be cream clay and match the existing in size.

C - Cream clay pepper pot ventilators are advised to keep the weather out of redundant flues.

D - Refer to the images on drawings in Appendix B for the existing types.

E - Other clay pots and ventilators are not included in this order and require an application for Listed Building Consent.

F - Lead flashings to:

Coping DPC to chimney stack – Code 5 (minimum)

Chimney stepped flashings and drip flashings/ soakers – Code 5, Soakers Code 4 (minimum)

In accordance with The Lead Sheet Association details and recommendations.

## 3.6 Relocation of **Loft Hatch**

3.6.1 To qualify for consent under this order the works must:

A - Loft hatches and access ladders may be installed within the zones identified on the drawings only.

B - Adjacent finishes should be made good following installation on a like-for-like basis.

C - be as per the drawings and specification noted in drawing 3010 in appendix A

## 3.7 Repointing and replacement bricks

3.7.1 To qualify for consent under this order the works must:

A - New or salvaged red/orange clay facing bricks to match the colour size and texture of the existing, sample to be submitted for approval to the Local Planning Authority by the via formal discharge of condition prior to works being carried out.

B - Cut out defective bricks by hand and indent new bricks as single bricks, fully bedded and shimmed with mortar as below

C - Rake out (no mechanical tools to be used) and repoint with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

D – to be as per the repointing specification in drawing 2100 in appendix A including raking out details

E – mortar finish to be a flush joint/ tampered to expose aggregate following initial set.

## 3.8 Replacement **rainwater goods**

3.8.1 To qualify for consent under this order the works must:

A - The rainwater drainage system serves multiple properties and to function correctly must remain as installed. Replacement sections of cast iron gutters, downpipes and associated fittings must match the drawings in Appendix A exactly.



- 100mm H x 150mm W Ogee gutter on rafter brackets to front elevation, 120mm diameter half round gutter on fascia brackets to rear elevation
  - 75mm diameter downpipes/ fixing brackets
- B - To be as per drawings 3210 in Appendix A.
- C - To be painted the colour in the palette provided in Appendix C

## 3.9 Works to **Stone**

3.9.1 To qualify for consent under this order the works must:

A - stone window cills to be painted the colour in the palette provided in Appendix C

## 3.10 external joinery Replacement Joinery for **Barge Boards** and **Fascia Boards**

3.10.1 To qualify for consent under this order the works must:

A - Planed softwood timber boards to match the size, moulded profile and decorative features of the existing.

B - To be painted the colour in the palette provided in Appendix C

C - To be as per the images within Appendix B.

### 3.11.1 decoration of **External joinery, External metalwork, & Painted stonework**

3.11.1 To qualify for consent under this order the works must:

A - Be painted the colour in the palette provided in Appendix C

## 3.12 Works to **garden/yard walls** and **gates**

3.12.1 To qualify for consent under this order the works must:

A – be treated softwood or hardwood ledged and braced gate with tongue and grooved boarding over and a pitched hardwood capping, fitting with a Suffolk latch to match the existing height (to the underside of the adjacent wall coping), to match the existing.

B - Gates to be as per drawings in Appendix A and images contained with Appendix B for the existing types.

C - Blue clay pitched wall coping on the rear boundary to match the colour, size and finish of the existing.

D - Refer to drawing 3201 and Appendix B for the existing types of blue clay pitched wall coping on the rear boundary.

E - New or salvaged blue clay engineering brick to form a coping on side walls and act as a Damp Proof Course. To match the colour size and texture of the existing.

F - Replacement of blue engineering brick copings to side/ party yard walls to be as per drawing 3201 and Appendix B.

G - Rake out and repoint / rebuild with:

- 1-part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved) Refer to drawing 2120 for specification & raking out methodology
- Flush joint/ tamp to expose aggregate finish following initial set.

INFO NOTED IN APENDIX 1

## 4. Statement of Reasons

4.1 The Council recognises its role in the climate emergency and this Order is an opportunity for residents to extend the service life and improve energy efficiency of the properties covered within this Order, whilst recognising the importance they play in the town's history. One of the most efficient ways to eliminate unnecessary energy use is to improve a building's condition. Defects such as damp walls and poorly fitting doors or windows can substantially reduce thermal performance; and repairs are an important energy-saving measure in their own right, and an essential prerequisite for some thermal improvements, such as the addition of loft insulation.

4.2 Constructed in the 1840s, the properties, the cottages are directly associated with the development of the Grand Junction Railway in Crewe and specifically the relocation of the railway locomotive and engineering works from Edge Hill to Crewe in 1843. The cottages are some of the few rows of cottages remaining from this large-scale development and have high historical value as reminders of this significant development. There is also associative value in their connection with architect John Cunningham, known for his railway architecture and for his design of Liverpool's Lime Street Station. The houses are also associated with John Betjeman, who campaigned against the cottages' demolition in the 1970s whilst he was Poet Laureate. As houses constructed for the railway community of Crewe the cottages have high communal value, many of local people will have ancestors who worked in the railways and the cottages form part of the local heritage. The importance to the local community was both demonstrated and strengthen during campaigns in the 1970s for their retention and restoration following plans to demolish them.

## 5. Justification for Making the Order

5.1 The initial group of works will relate to the 'Warm and Healthy Homes' Grant Scheme works. However it is anticipated that many of the works proposed under the order would come up general works to improve the condition of the buildings and it is therefore proposed that the order be in place for 10 years to allow any properties not taking up the grant offer to carry out the same works under the same conditions.

## 6. Purpose of the order



6.1 The buildings contained within the order are all Grade II listed and as such would require individual consents for the works. This would create repetitive almost identical applications for each individual property as each property within its row is to a matching design. The symmetry of the rows is an important part of the significance of the buildings and this order allows for a uniform approach to each row to preserve and enhance that uniformity.

## **7. Term of order**

7.1 Dates from 28<sup>th</sup> May 2025 and to 27<sup>th</sup> May 2035 (a period of no more than 10 years from the starting date of the Order).

## **8. Other particulars:**

### **8.1 Operation of the Order**

- i) The Order has been made in accordance with the requirements of the Planning (Local Listed Building Consent Orders) (Procedure) Regulations 2014, including a public consultation of at least 28 days, and consultation with Historic England of at least 28 days. Representations received in response to these consultations have been considered in drawing up the final version of the Order.
- ii) The Council will review the operation of the Order on an annual basis. If at any time during the life of the Order it is considered that it is either ineffective or is giving rise to unexpected and unacceptable harm to listed buildings to which it applies, it will be varied or revoked.
- iii) If the Council revokes this Order at any point prior to the end date given above, any works authorised by the Order which have been started but not completed may be completed within six months of the date of revocation. Works which have been started but not completed at the end date given above may also be completed within six months of that date. However, once the Order expires or is revoked, any works previously covered by the Order which have not been started, will no longer benefit from the consent granted through the Order.
- iv) If at the end of the term of the Order it is considered that it is operating effectively and does not give rise to undue harm, it will be renewed, and a longer term considered.
- v) As an Order confers listed building consent for specified works, a breach of the Order by carrying out works not authorised by the Order may lead to enforcement action.

## **9. Appendices Supplementary information**

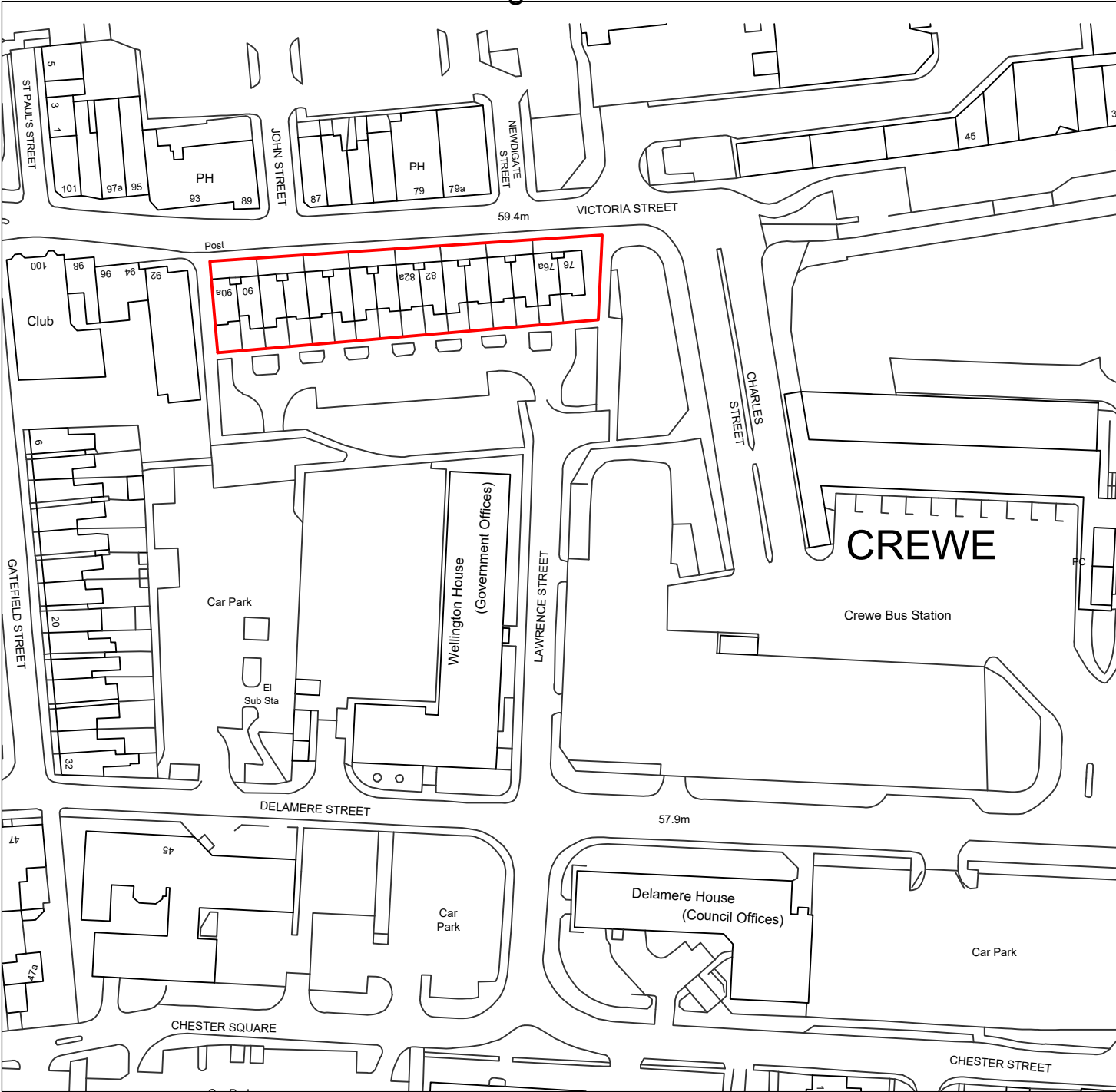
APPENDIX A – DRAWING PACKAGE

Victoria Street

24/03/2025

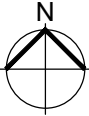
PURCELL 



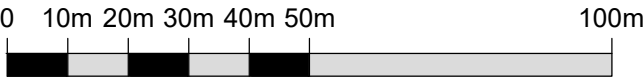


1  
0051

VICTORIA STREET - SITE LOCATION PLAN  
SCALE 1:1250



1:1250 Scale



KEY

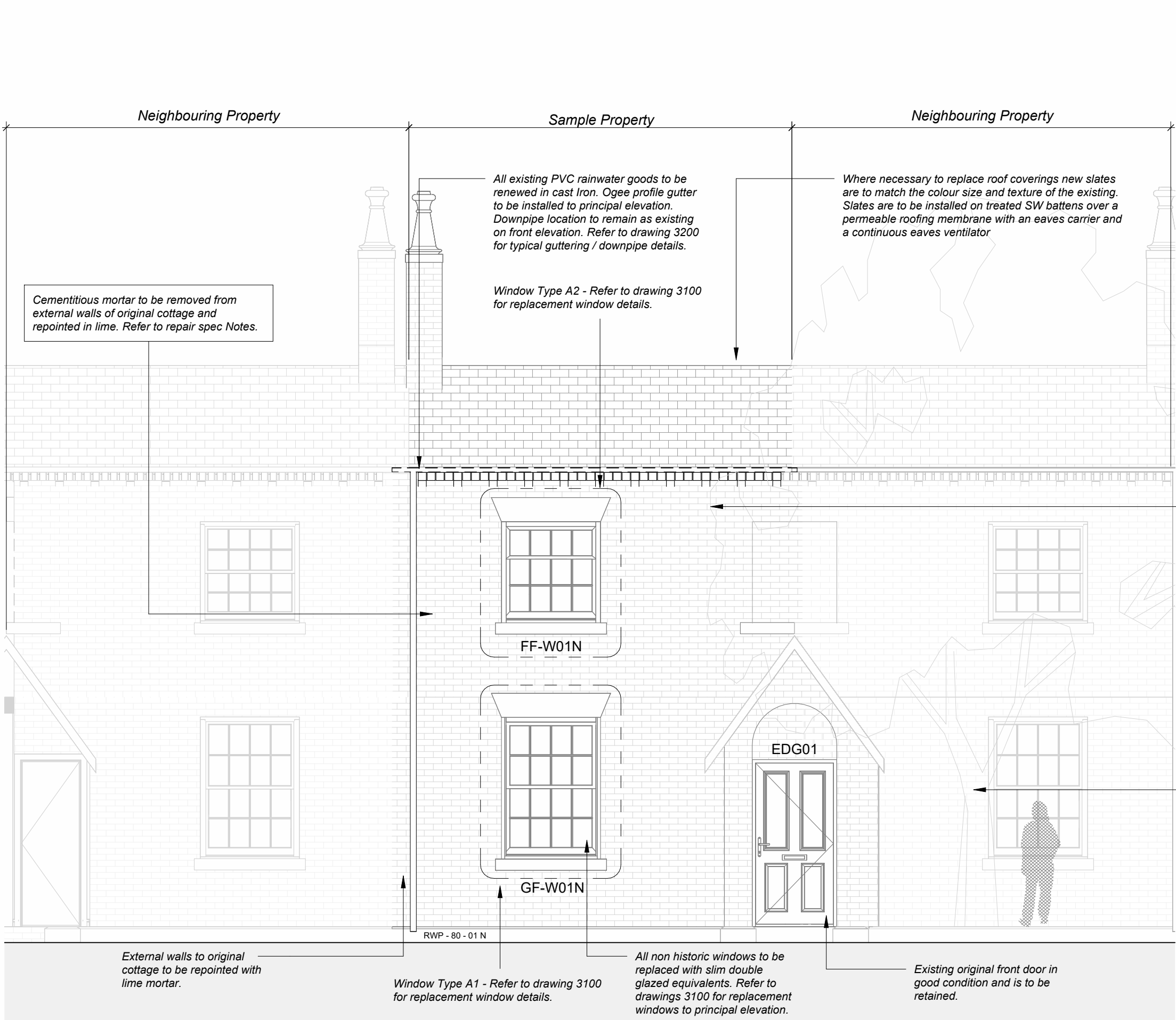
 Site Boundary Line

P01	18/03/2025	AM	MP	First Issue
REV	DATE	BY	CHK	DESCRIPTION

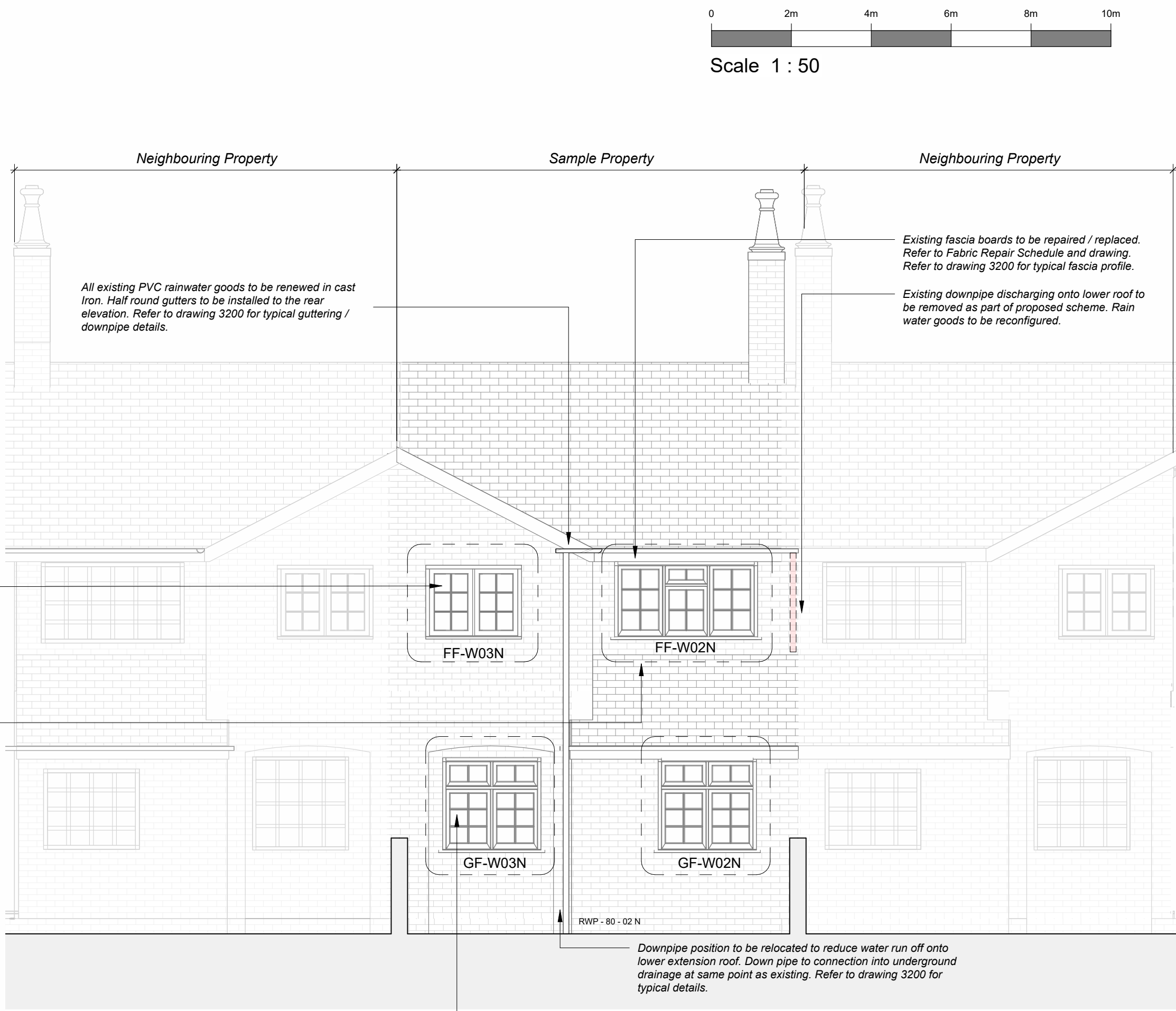
CLIENT	Cheshire East Council
JOB NUMBER	243231
PROJECT	CEF Crewe, Warm and Healthy Homes
TITLE	Victoria Street - Site Location Plan

SIZE	SCALE
As Indicated	As Indicated
REV	SUITABILITY/REASON FOR ISSUE
P01	S3 - For Review & Comment
DRAWING NUMBER	243231-PUR-01-00-DR-A-0051

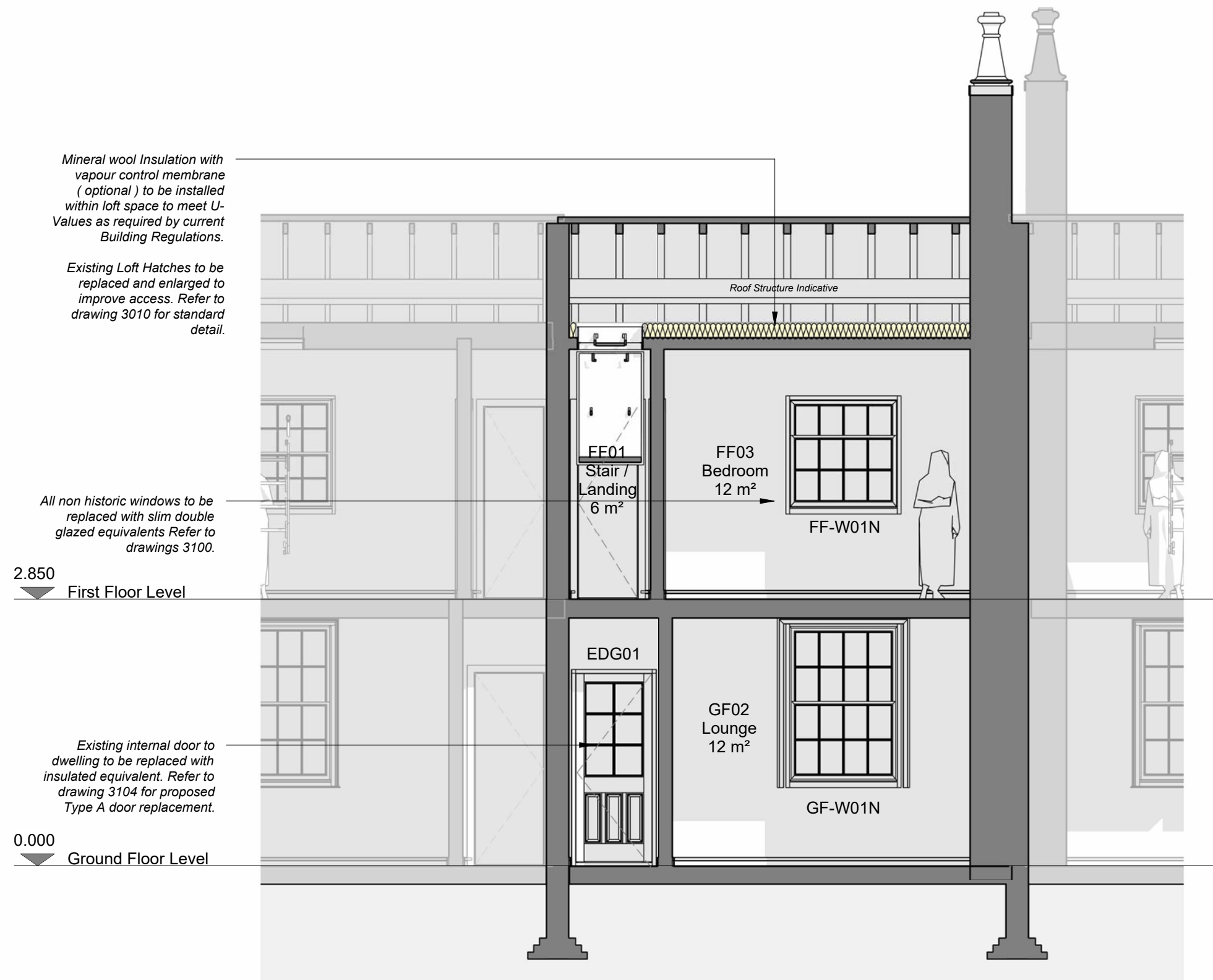




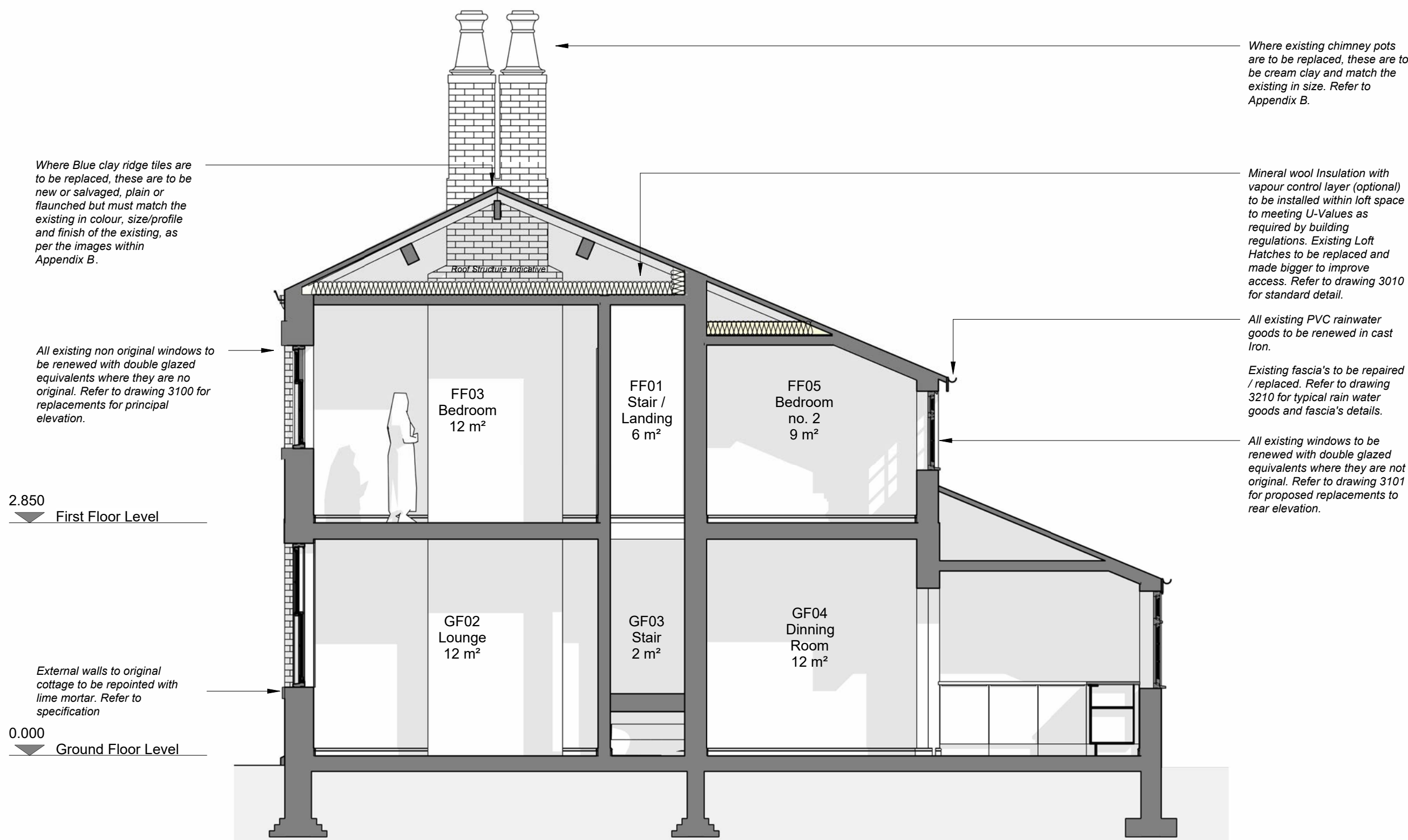
1 Principal Elevation as Proposed  
1 : 50



2 Rear Elevation as Proposed  
1 : 50



3 GA Section as Proposed A-A  
1 : 50



4 GA Section as Proposed B-B  
1 : 50

0 2m 4m 6m 8m 10m  
Scale 1 : 50

#### Notes:

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#### Key Plan

not to scale

#### NOTES

Removal of cementitious pointing of brickwork with Repointing with Lime Mortar

##### 1. Removal of existing cementitious mortar and cement patch repairs

- Where facades are to be repointed, rake out mortar joints well to a depth of 25mm minimum using chisels or hacksaw blades of appropriate width so as not to damage existing arrises and flush out with water. Remove cement pointing by using hand tools such as quirks or narrow chisels. Remove loose particles to make a good key for the new mortar. Clean out joints using dry air sprays and non ferrous or stiff bristle brushes.
- Remove cement patch repairs using hand tools only. This is best achieved by continual gentle tapping with a hammer at the centre of the repair until the different mechanical properties between the brick and the cementitious mix causes the two to part without damage. The process is lengthy and time should be allowed for it.
- Care is to be taken to avoid damage to the substrate, particularly where the repairs are deep and well-adhered. Avoid damage to edges of sound material.

##### 2. Repointing in Lime mortar

- Careful and sympathetic repointing is of the utmost importance in preserving the colour, texture and general character of old brickwork. Strong cement mortars are dark and harsh in colour, also they shrink and pull away the edges of the bricks. Flush pointing is unsuited to the irregularly shaped edges and faces of early brickwork and any form of struck pointing gives a hard and mechanical appearance to the wall. The following instructions are to be brought to the notice of every bricklayer and mason employed on the work and are to be carefully and fully carried out.
- Press the new mortar well into the joints to assist adhesion and to ensure that no voids are left. When the joints are filled the mortar is to finish slightly recessed from the general face of the brickwork so that the mortar does not encroach upon the irregular arrises or spread over any worn or rounded edges of the bricks or stone.
- As soon as the mortar has taken the initial set it is to be stippled with a stiff bristle brush to produce a slightly rough surface.

##### 3. Lime Mortar Spec mix spec

###### 1. Mix:

- 1 part Hydraulic Lime, 3.5 NHL
- 1 part pit sand sieved to <2.36 mm. (Nosterfield or similar approved)
- ½ part fine red sand sieved to <600 microns
- 1 parts silica quartz sand sieved to <1000 microns (Leighton Buzzard or similar approved)

###### 2. Additives:

Add to the mix crushed chalk reference: "CKC", obtained from Lime Green Products Ltd

##### 4. Lime Mortar Spec mix Photo



P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued For LBC
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

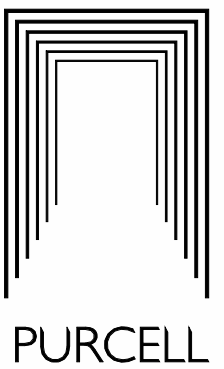
#### CLIENT

Cheshire East Council

#### PROJECT

CEF Crewe, Warm and Healthy Homes  
JOB NUMBER

243231



#### TITLE

Typical Victoria Street Dwelling - Proposed Elevations & Sections

#### SIZE SCALE

A1L 1 : 50

#### REV SUITABILITY/REASON FOR ISSUE

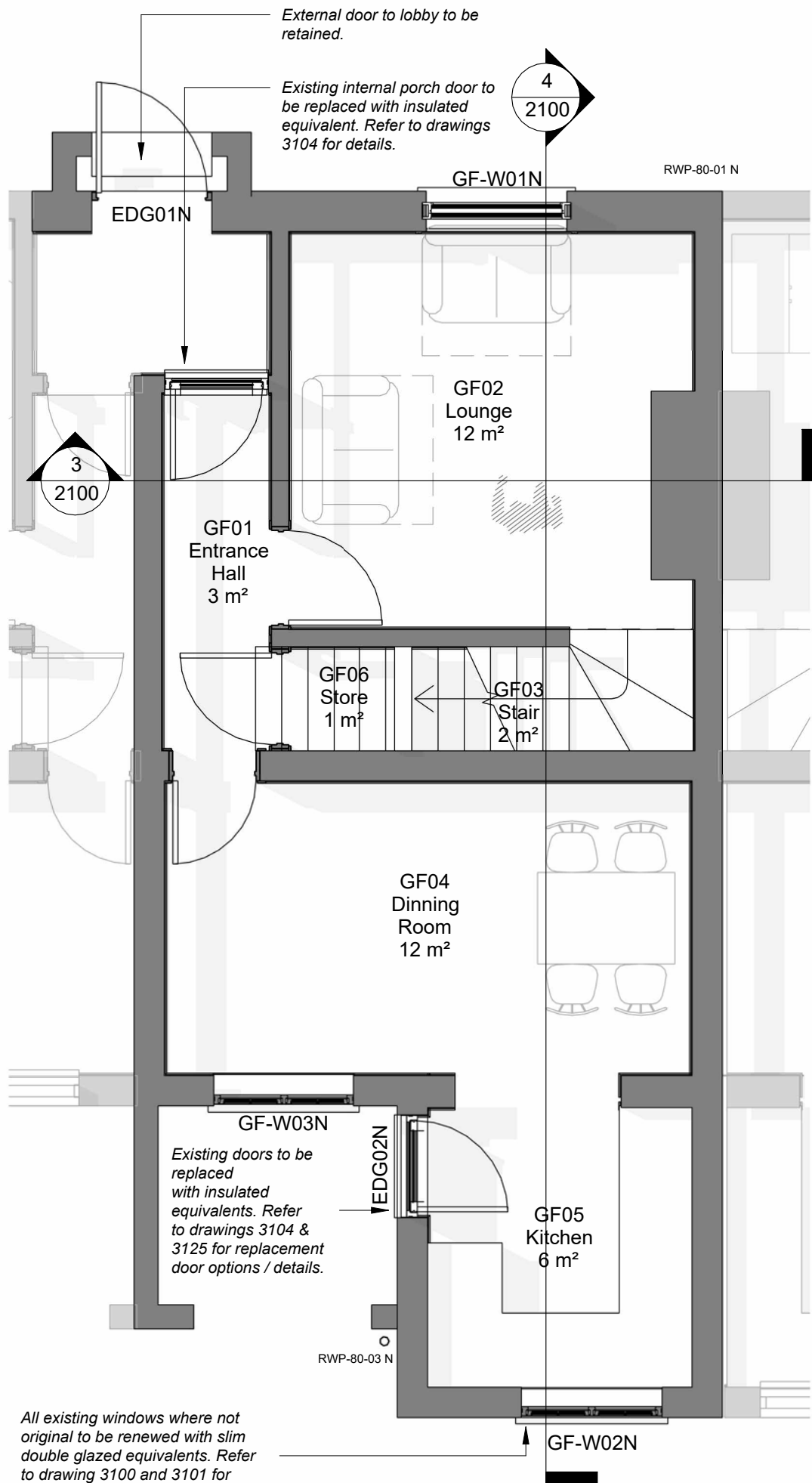
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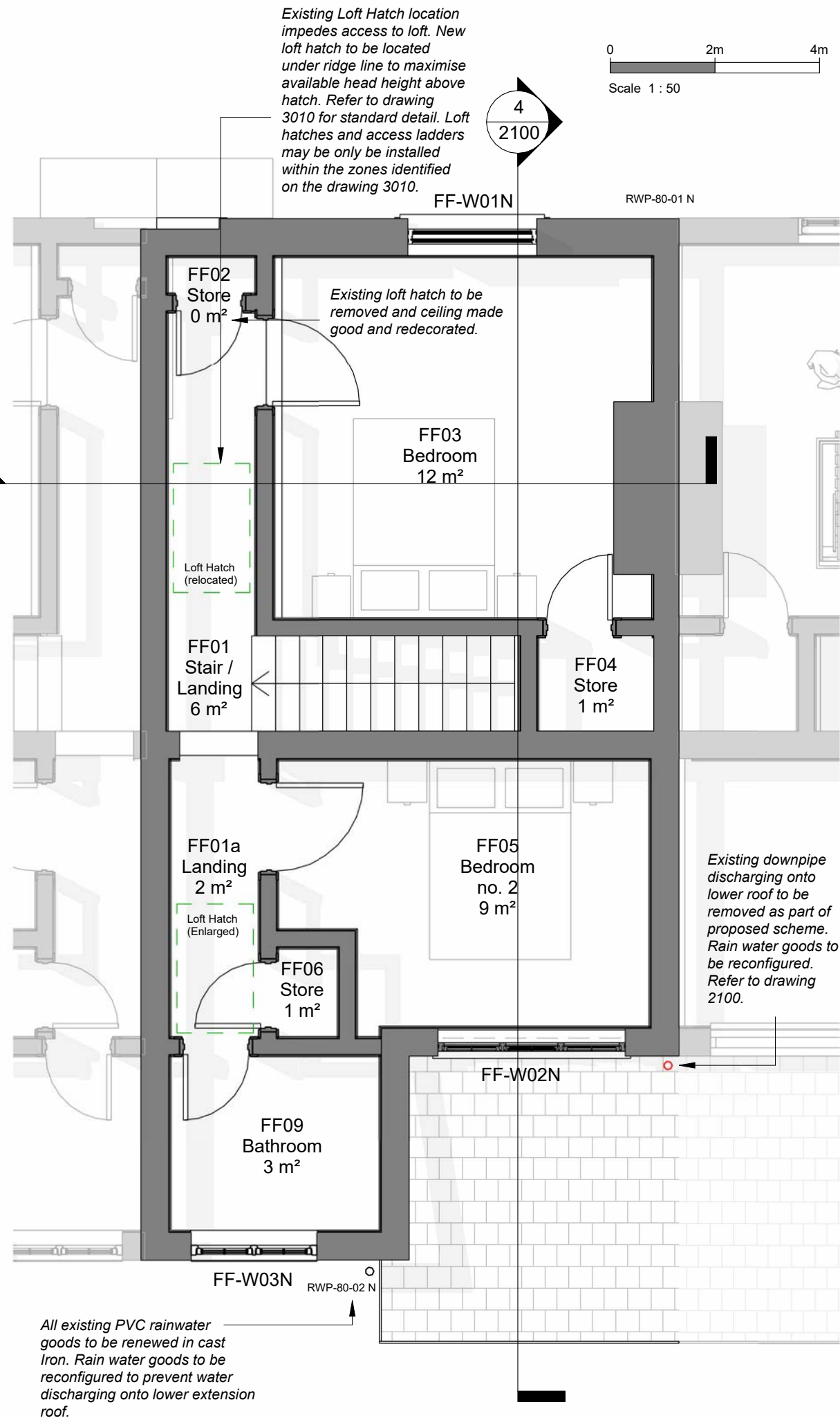
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1 Ground Floor Plan as Proposed  
1 : 50



2 First Floor Plan as Proposed  
1 : 50

#### Notes:

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**Key Plan**  
not to scale

P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

Cheshire East Council

#### PROJECT

CEF Crewe, Warm and Healthy Homes

#### JOB NUMBER

243231

#### TITLE

Typical Victoria Street Dwelling - Proposed Ground and First Floor Plan

#### SIZE SCALE

A3L 1 : 50

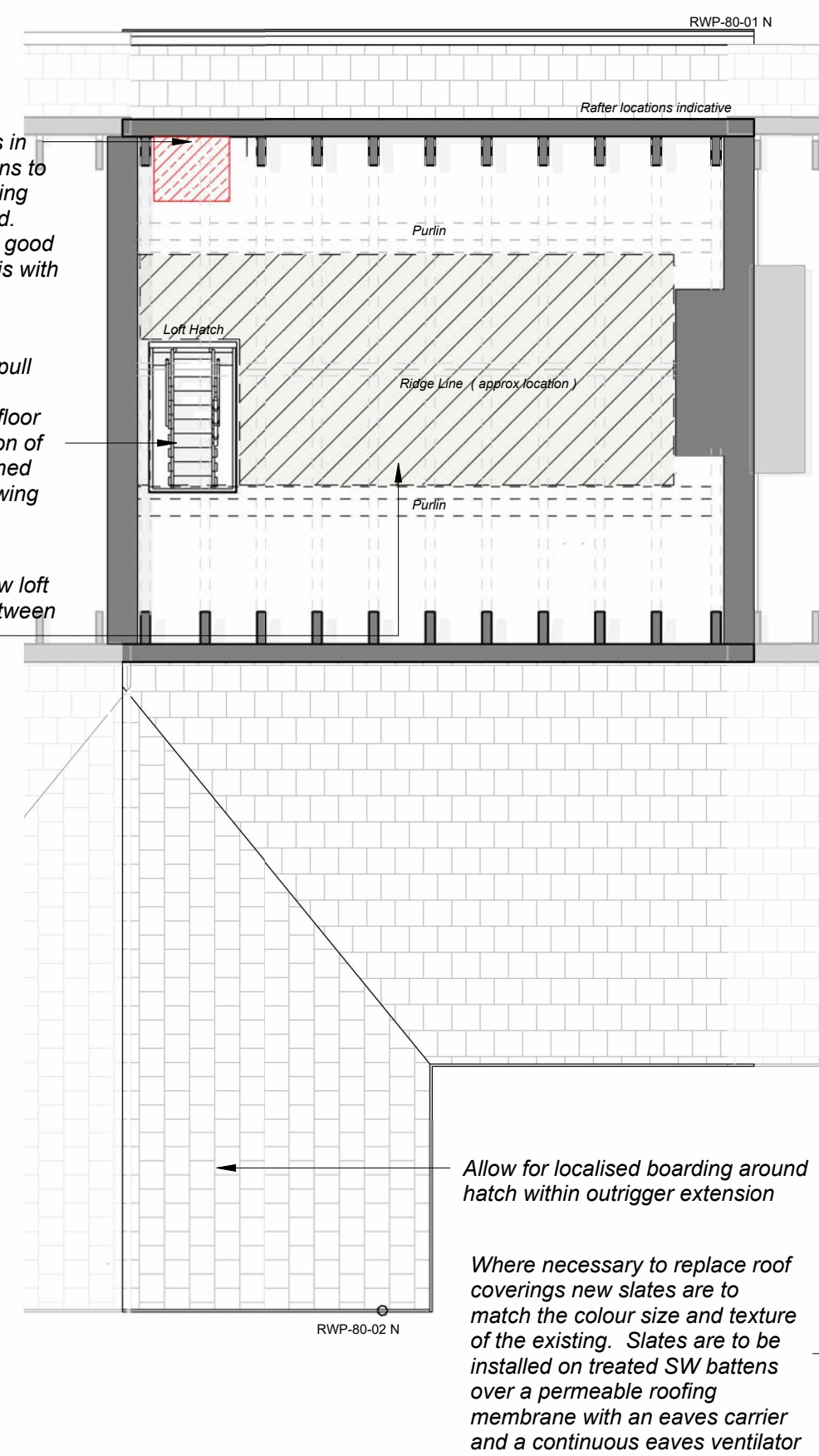
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P04 S4 - For Approval/

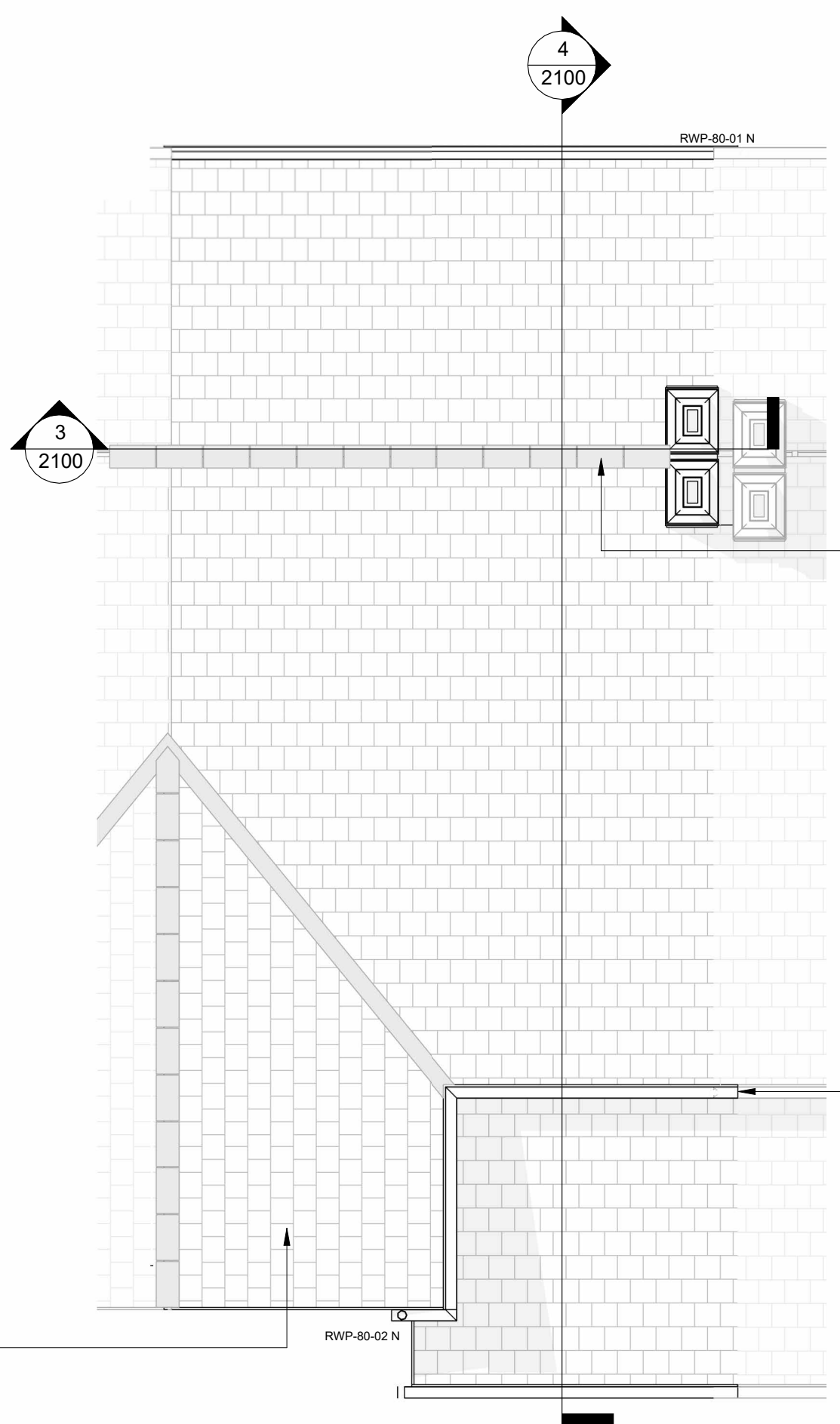
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1 Loft Plan as Proposed  
1 : 50



2 Roof Plan as Proposed  
1 : 50

0 2m 4m  
Scale 1 : 50

**Notes:**  
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**Key Plan**  
not to scale

Where Blue clay ridge tiles are to be replaced, these are to be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing, as per the images within Appendix B.

All existing PVC rainwater goods to be renewed in Cast Iron.

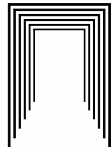
Refer to drawing 3210 for typical details

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P03	24/03/2025	MP	JPH	Issued For LBC
P02	04/03/2025	MP	JPH	Issued For Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm and Healthy Homes**

JOB NUMBER  
**243231**



PURCELL

TITLE  
**Typical Victoria Street Dwelling - Proposed Loft and Roof Plan**

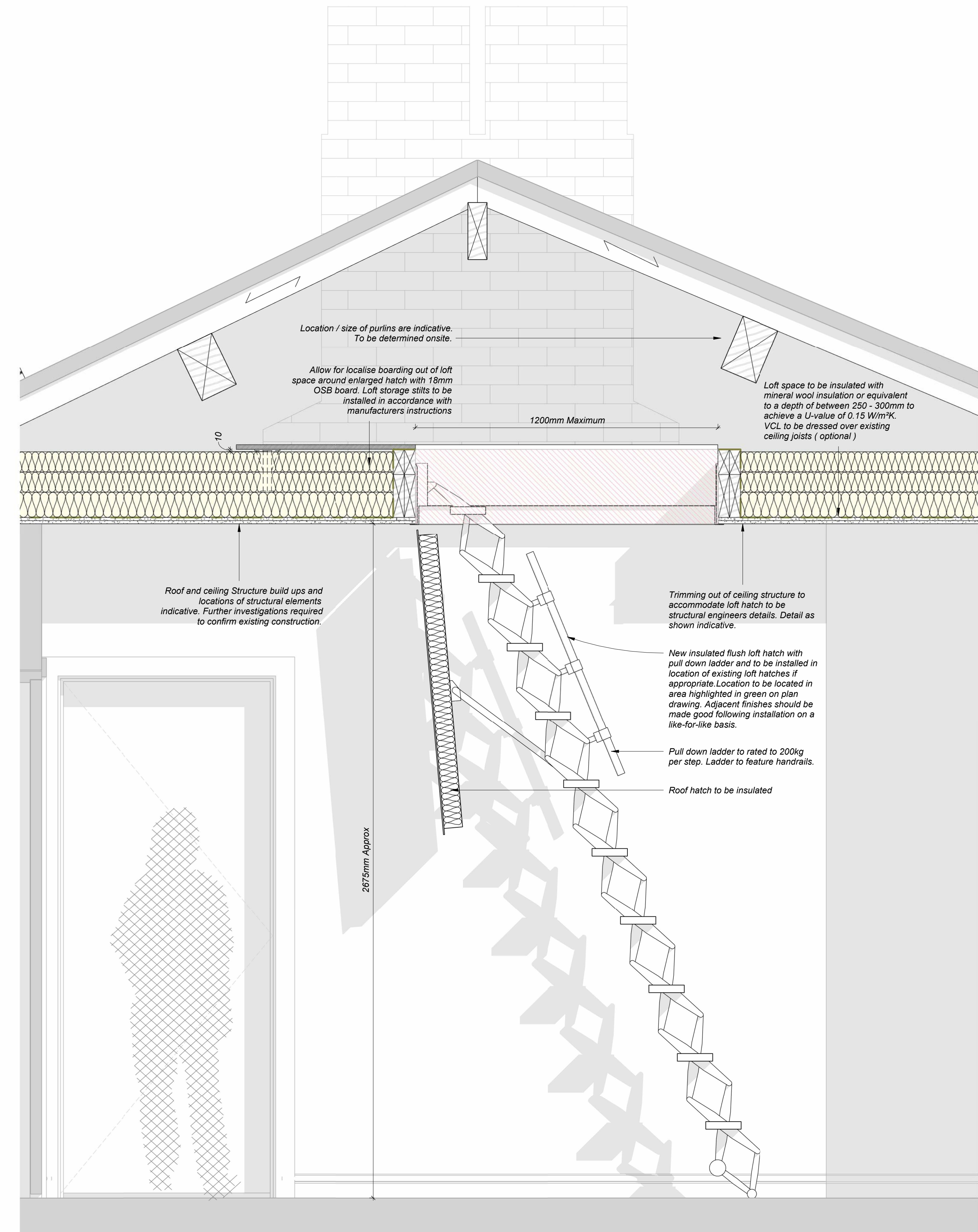
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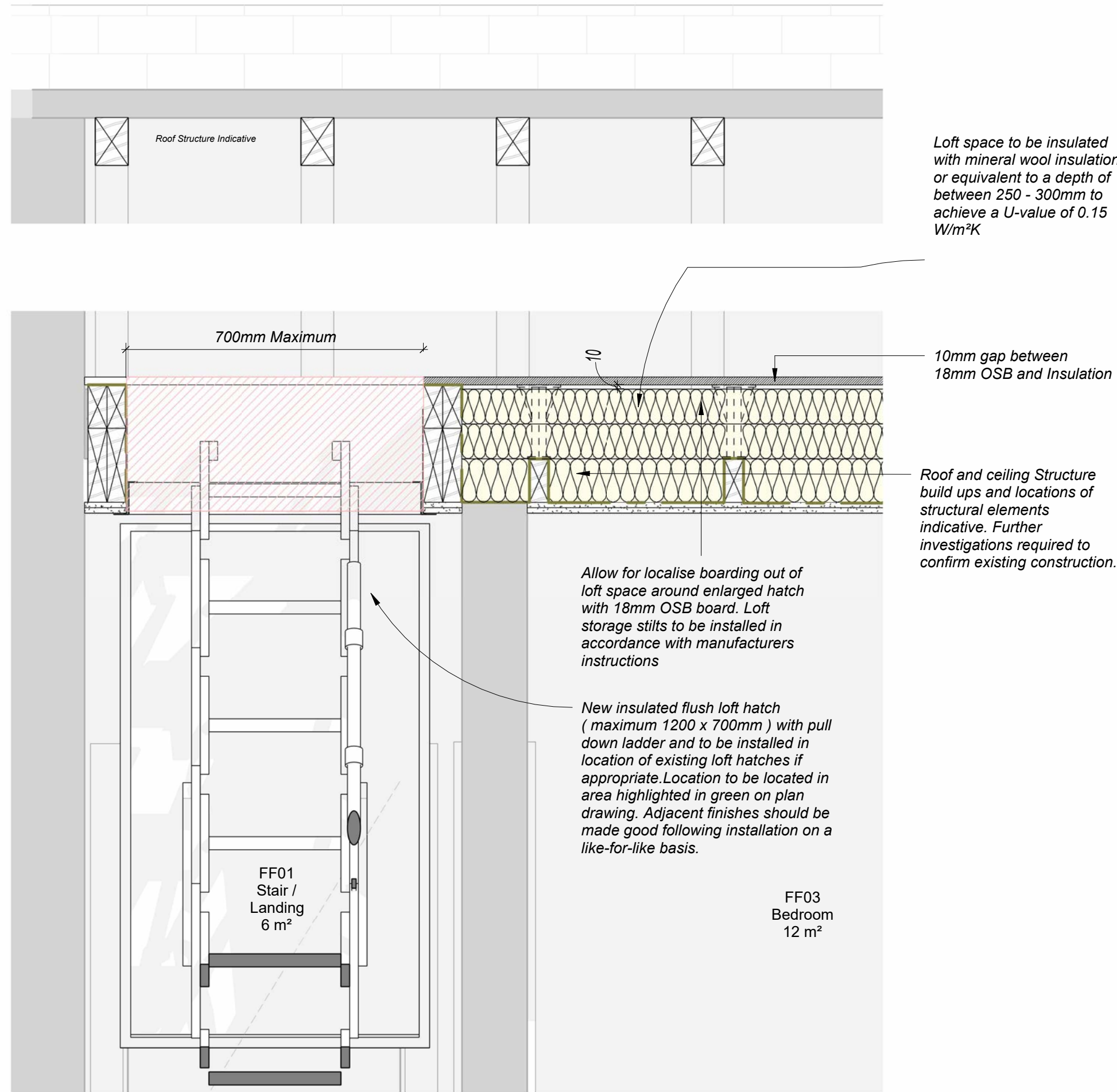
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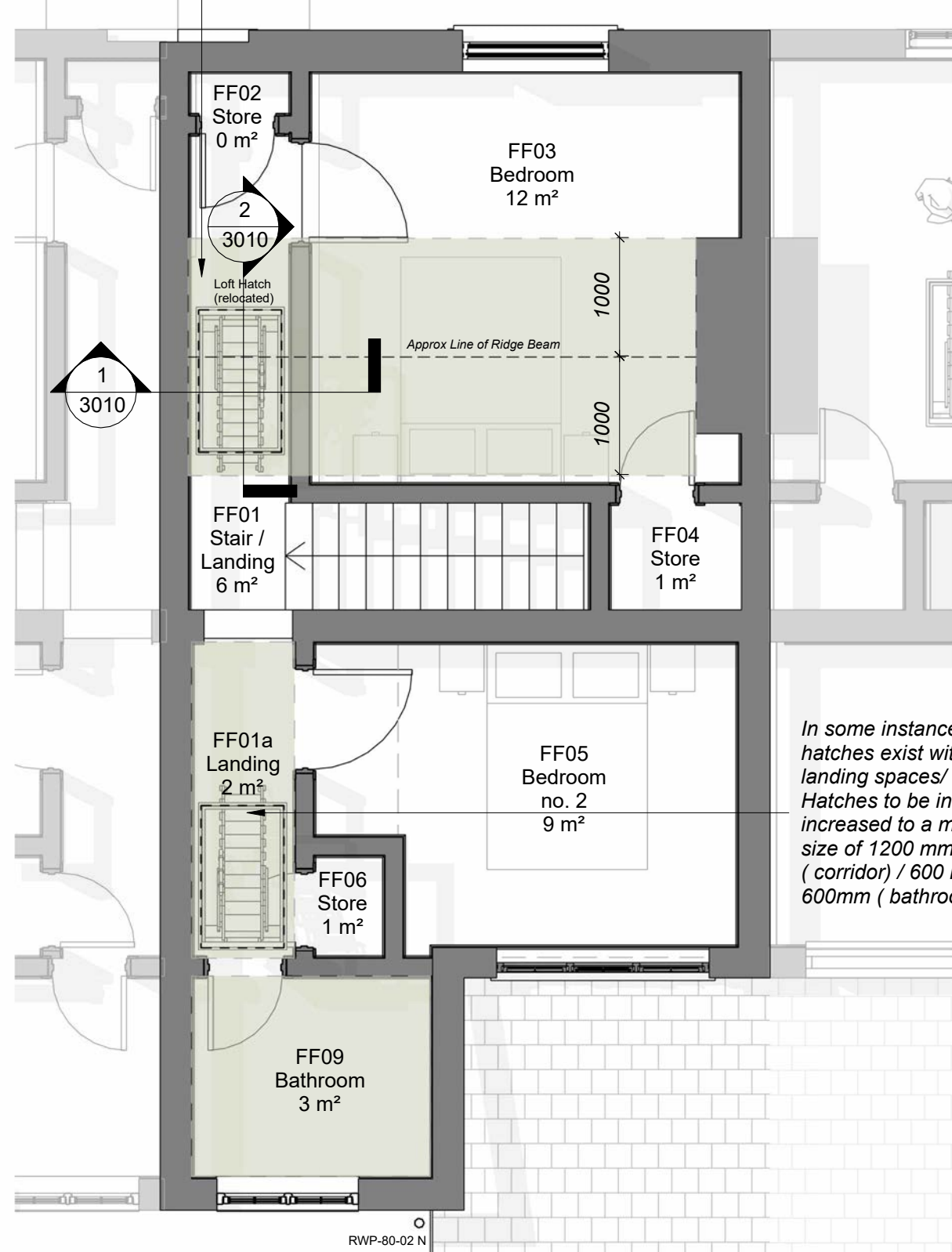


2 Typical Section A-A Through Loft Hatch  
1 : 10

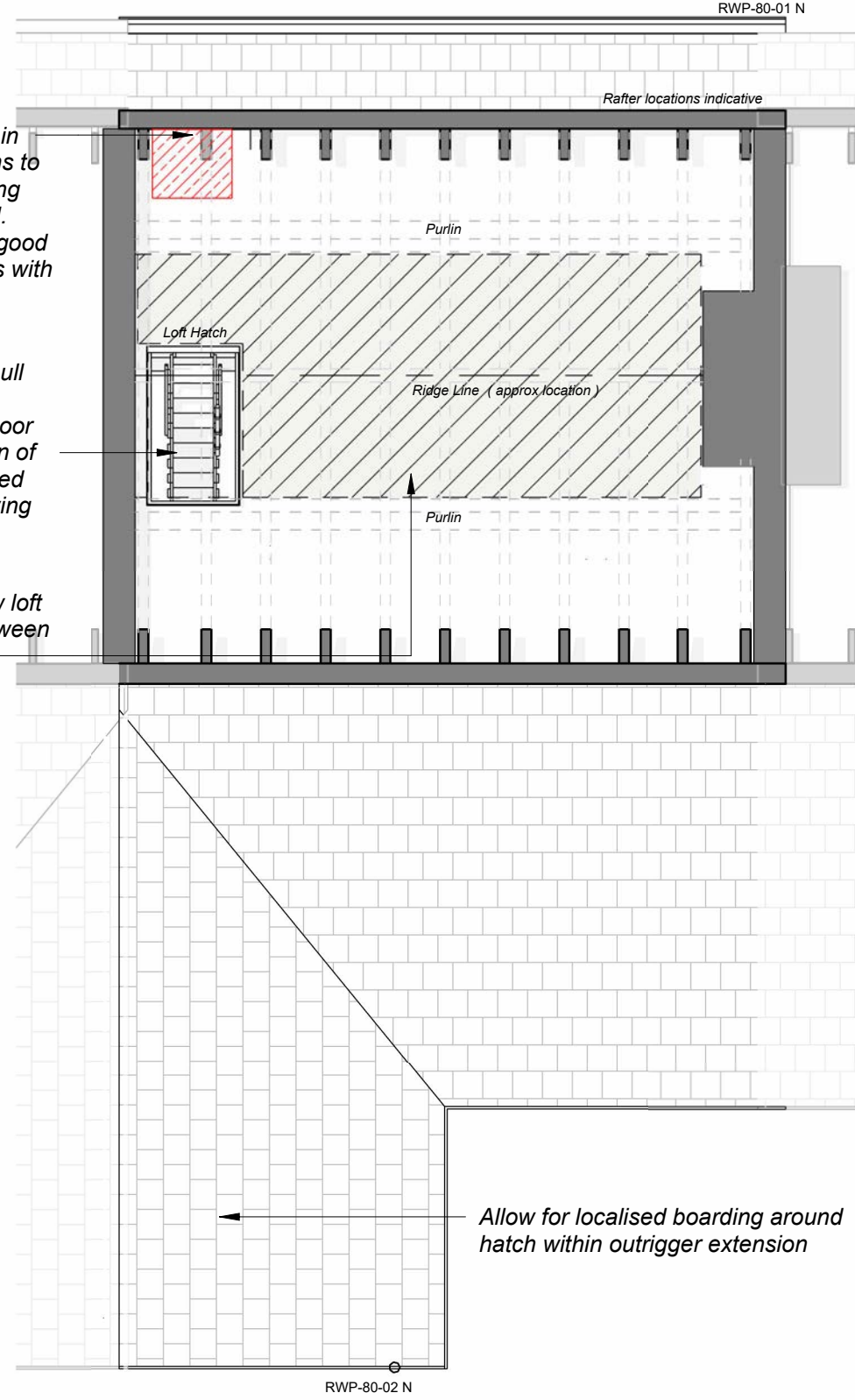


Existing Loft Hatch location impedes access to loft. New loft hatch with pull down ladder to be installed within first floor ceiling. Location of hatch to be within area of ceiling highlighted in green. (100mm either side of roof ridge line). Adjacent finishes should be made good following installation on a like-for-like basis.

1 Typical Section B-B Through Loft Hatch  
1 : 10



4 Loft Hatch Location Plan ( First Floor )  
1 : 50



3 Loft Hatch Location Plan  
1 : 50

**Notes:**  
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**NOTES**

- Loft hatches and access ladders may be installed within the zone identified on this drawings only.
- Roof / ceiling structure as shown is indicative due to lack of available access.

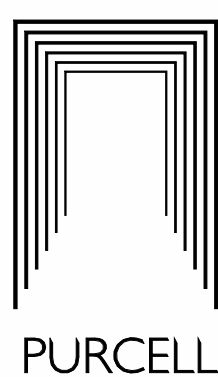
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P02	24/03/2025	MP	JPH	Issued For LBC
P01	17/03/2025	MP	JPH	Issued for Review

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm and Healthy Homes**

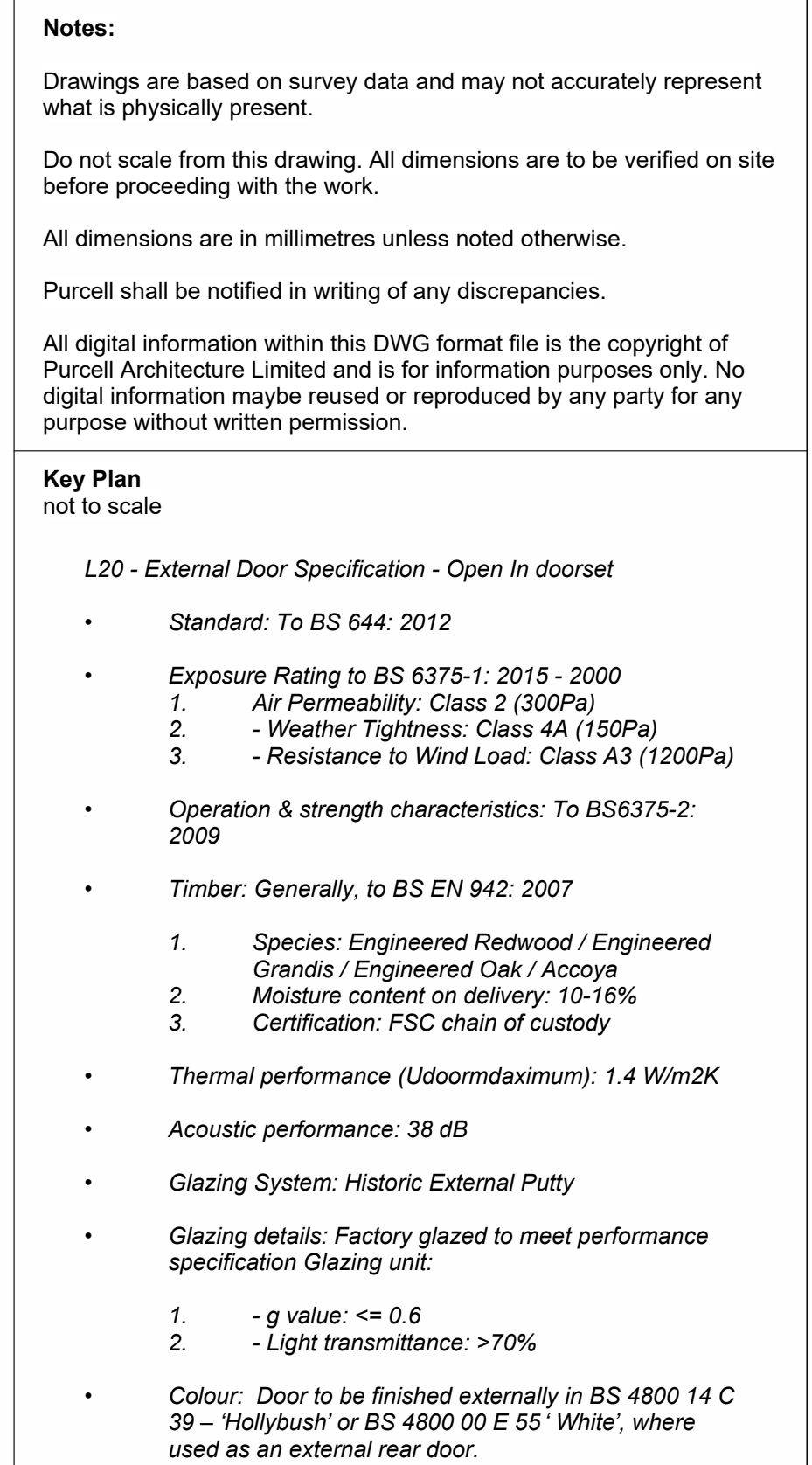
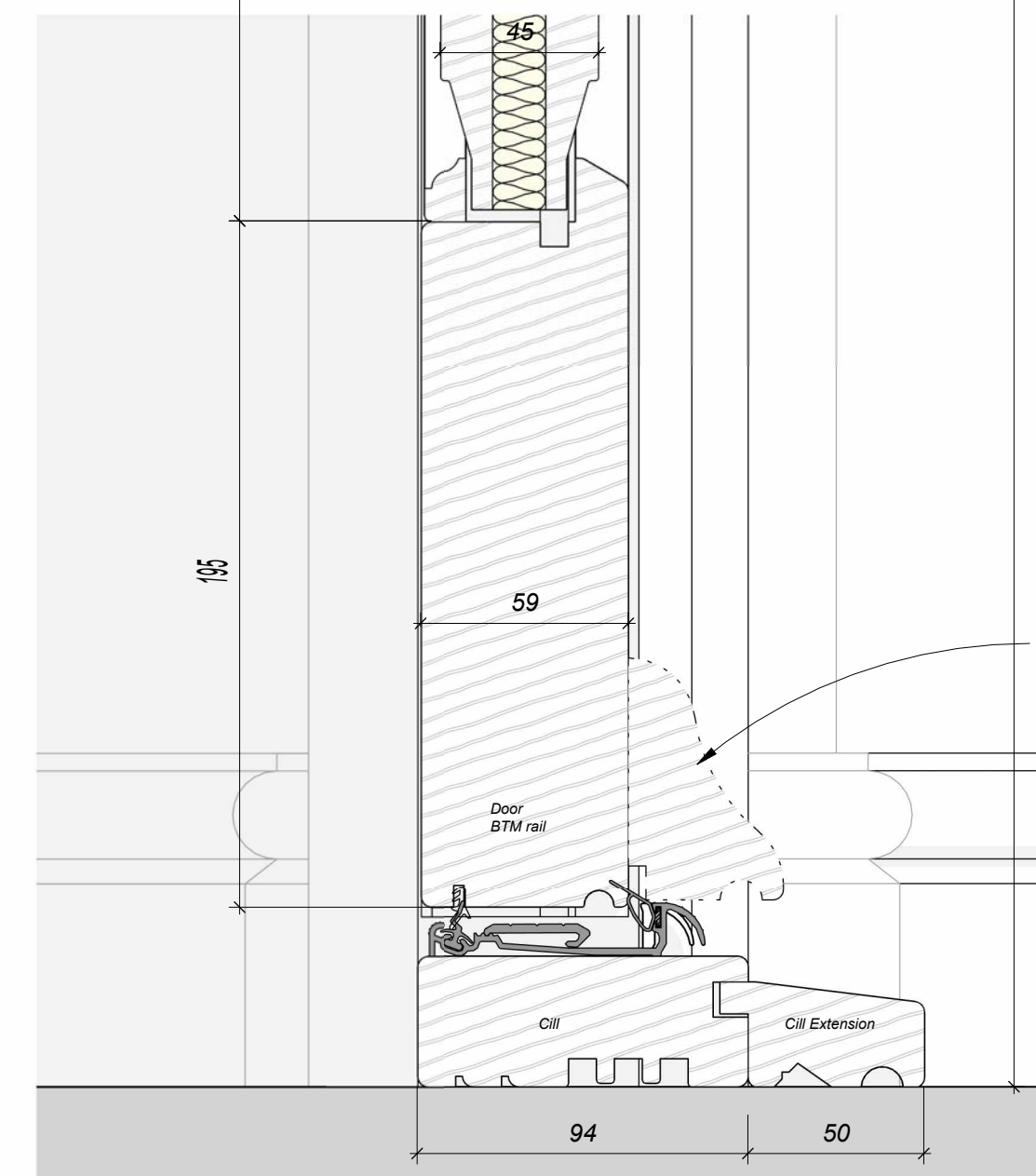
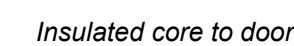
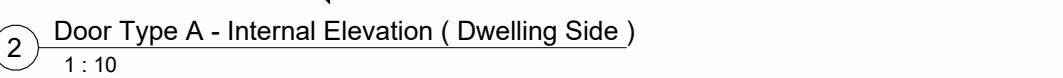
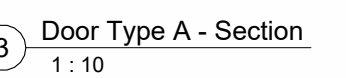
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**243231**  
TITLE  
**Victoria Street - Typical Loft Hatch Detail**

SIZE SCALE  
A1L As Indicated  
REV  
**P03 S4 - For Approval/**  
DRAWING NUMBER  
**243231-PUR-01-ZZ-DR-A-3010**

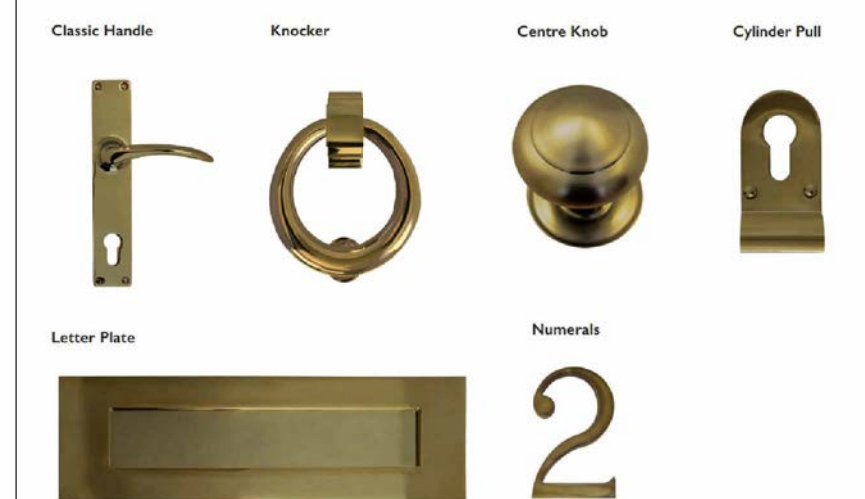
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*Ironmongery Design Intent*



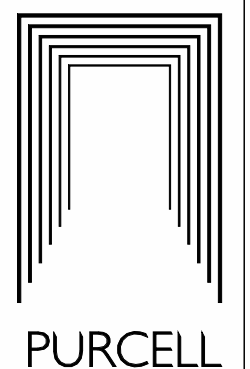
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P02	24/03/2025	MP	JPH	Issued For LBC
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT

**CEF Crewe, Warm and Healthy  
Homes**

JOB NUMBER



TITLE

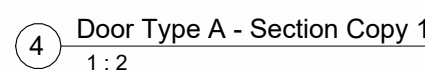
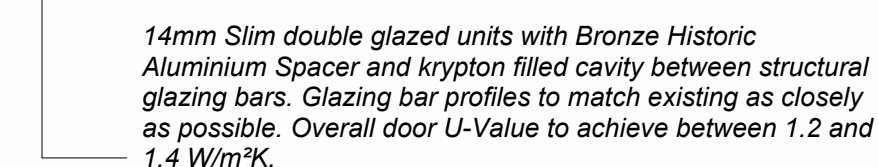
**Typical Victoria Street Dwelling - Door  
Type A as Proposed - DESIGN INTENT**

SIZE	SCALE
A1L	As indicated

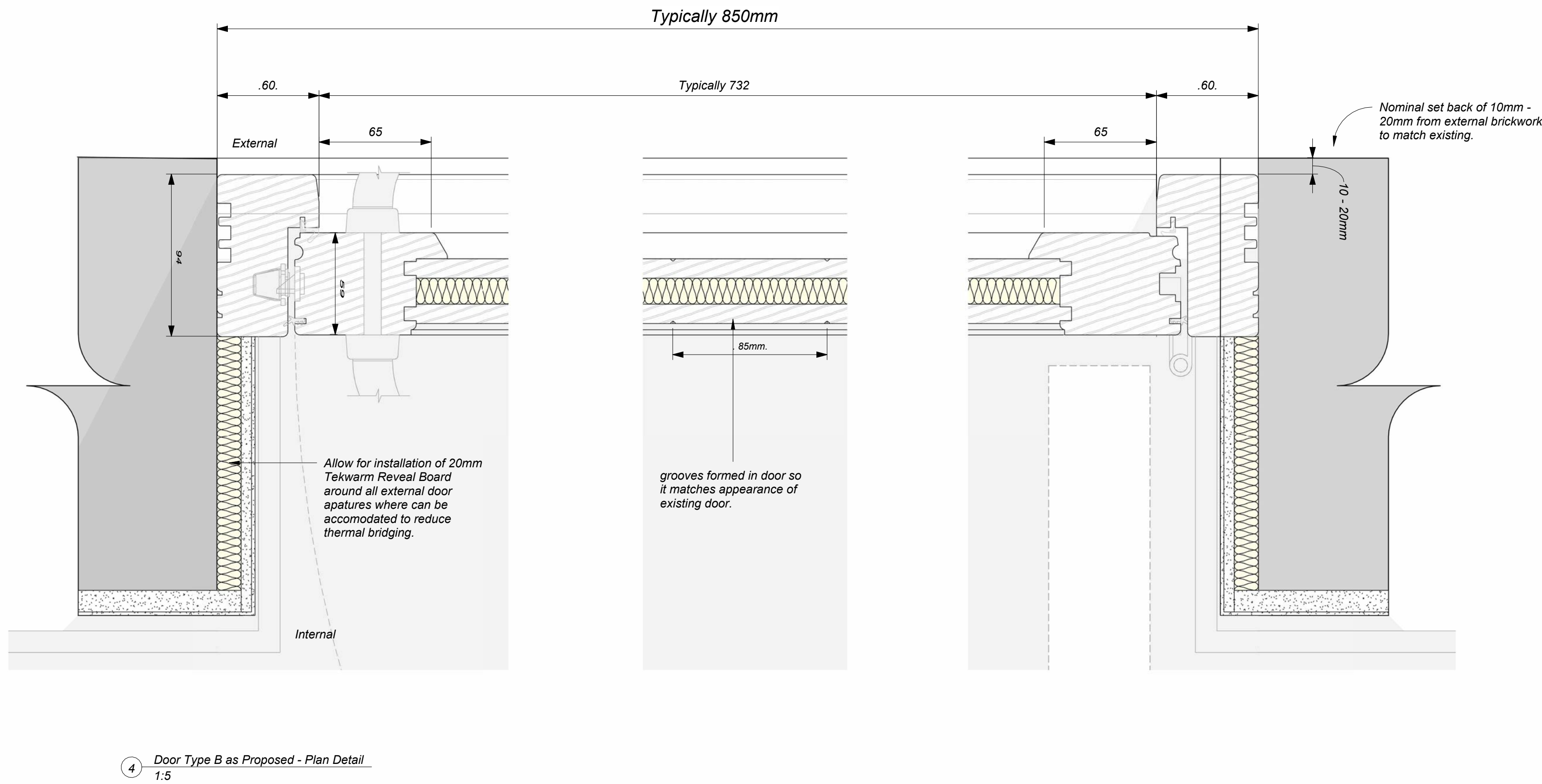
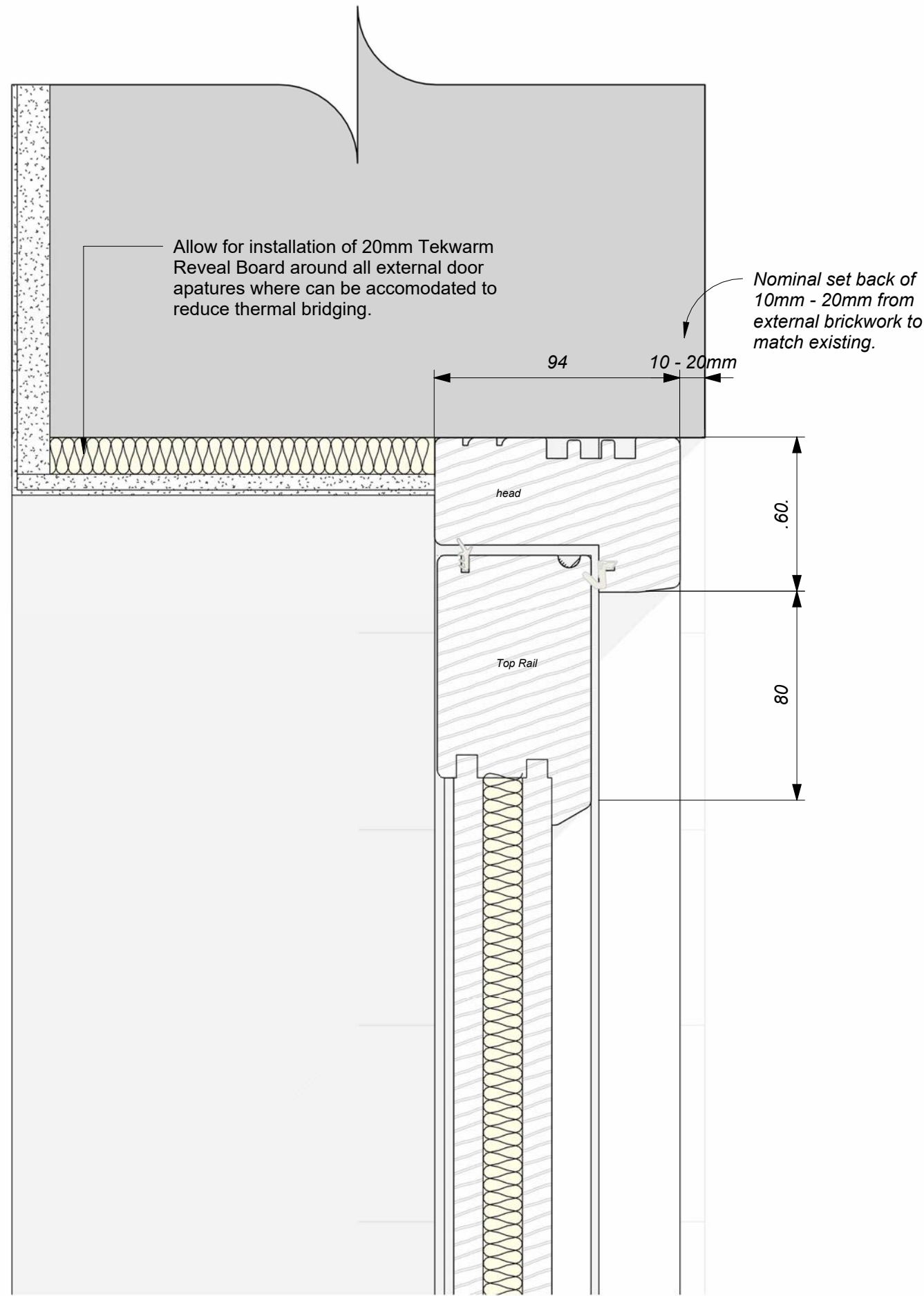
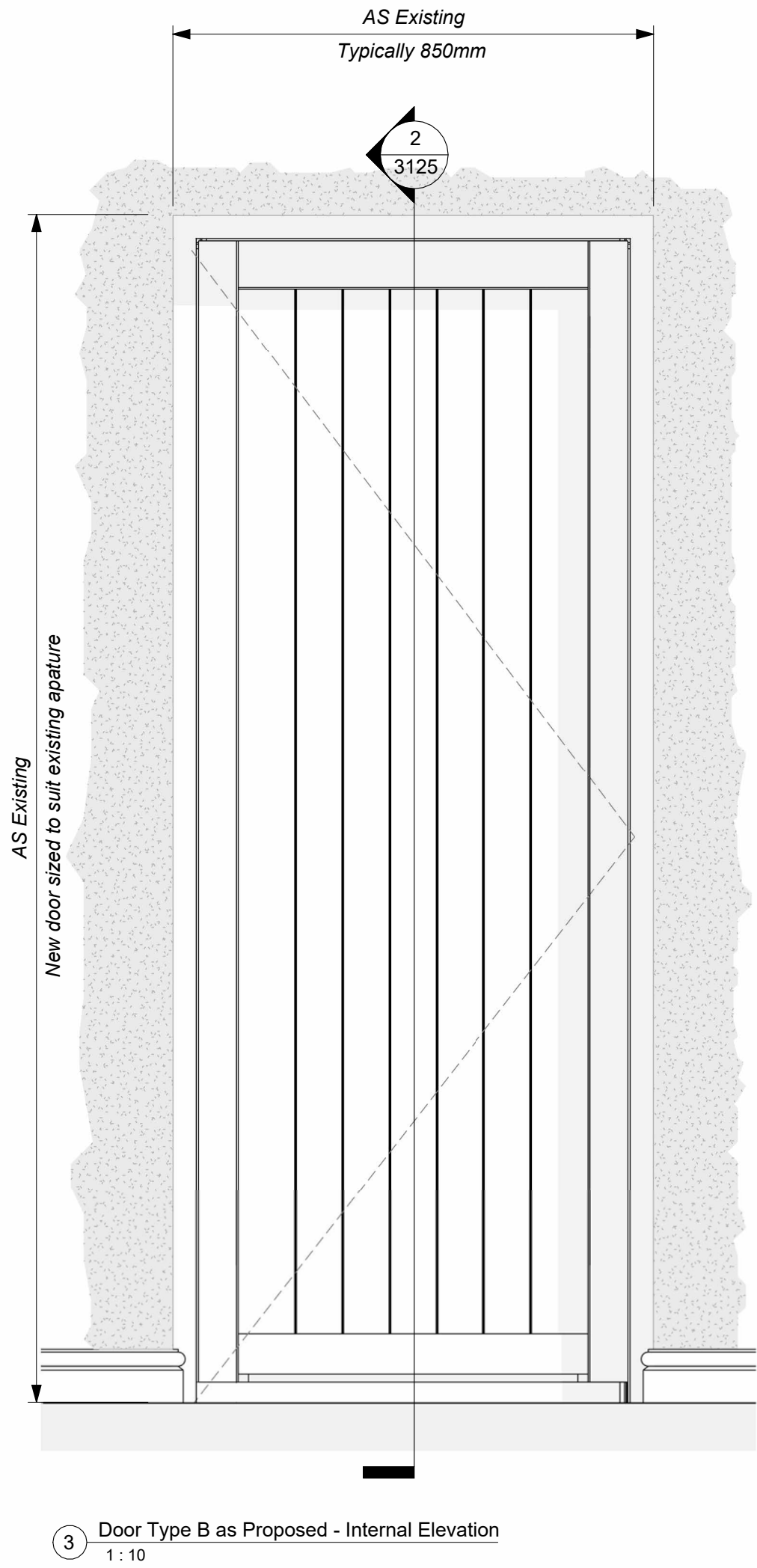
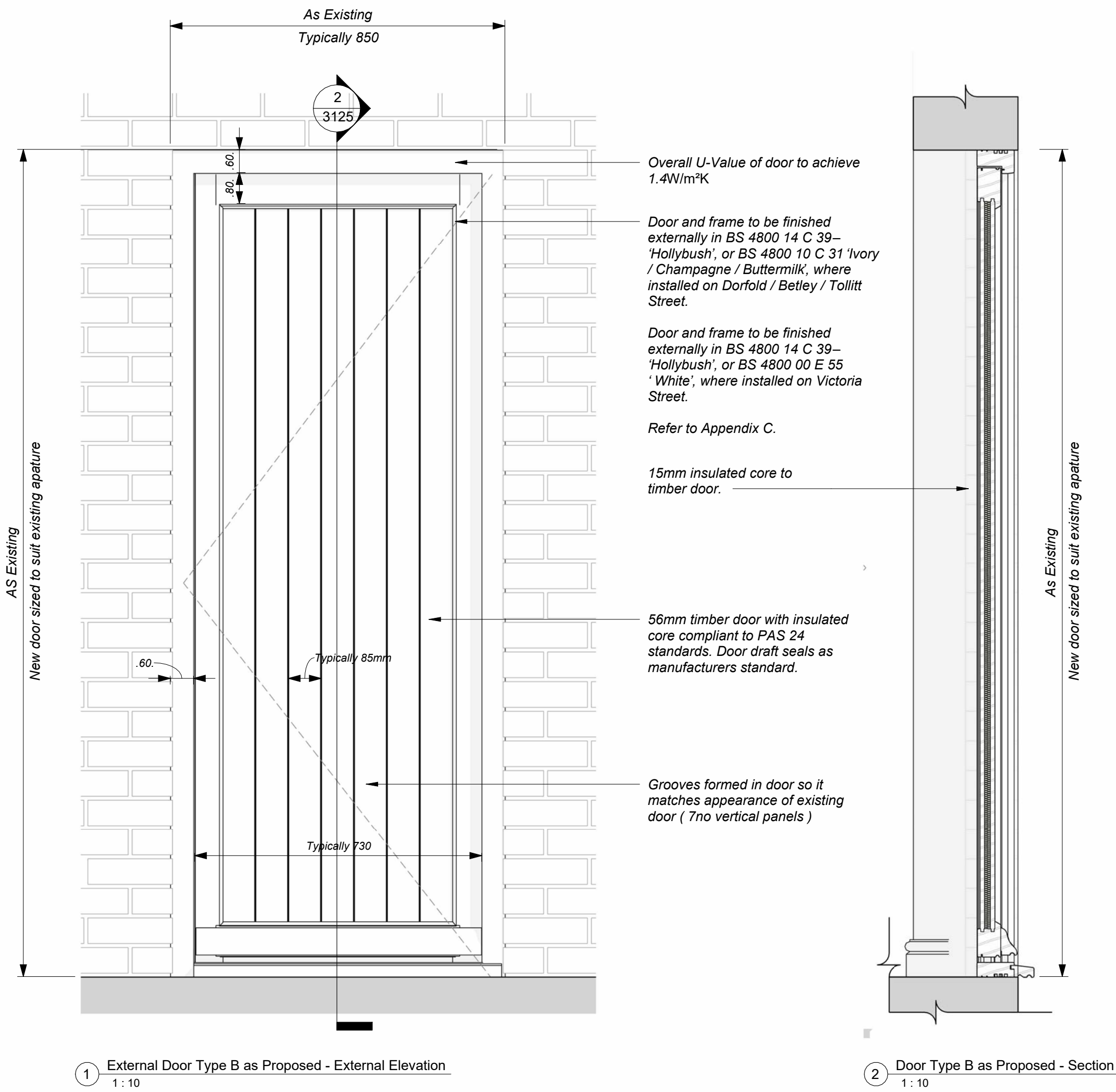
REV	SUITABILITY/REASON FOR ISSUE
P05	S3 - For Review & Comment/

DRAWING NUMBER  
**243231-PUR-01-ZZ-DR-A-3104**

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#### Key Plan

not to scale

#### L20 - External Door Specification - Open In doorset

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 2 (300Pa)
  - Weather Tightness: Class 4A (150Pa)
  - Resistance to Wind Load: Class A3 (1200Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Udoormaximum): 1.4 W/m²K
  - 15mm insulated core to door
- Acoustic performance: 38 dB
- Security: Certified to PAS 24 and Secured by Design
- Colour: Door to be finished externally in RAL 170 40 15 Palace Green or RAL 1014 'Classic Ivory'. Internal finish to be 9003 Signal White.

#### Ironmongery Design Intent:



P06	16/05/2025	MP	JPH	Paint Colours Amended
P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued for LBC
P02	19/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

#### CLIENT

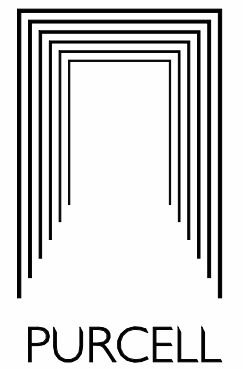
Cheshire East Council

#### PROJECT

CEF Crewe, Warm & Healthy Homes

JOB NUMBER

243231



#### TITLE

Dorfold / Betley / Tollit / Victoria Street - External Door Type B as Proposed - DESIGN INTENT

#### SIZE

A1L

#### SCALE

As indicated

#### REV

SUITABILITY/REASON FOR ISSUE  
P06 S3 - For Review & Comment

#### DRAWING NUMBER

243231-PUR-02-ZZ-DR-A-3125

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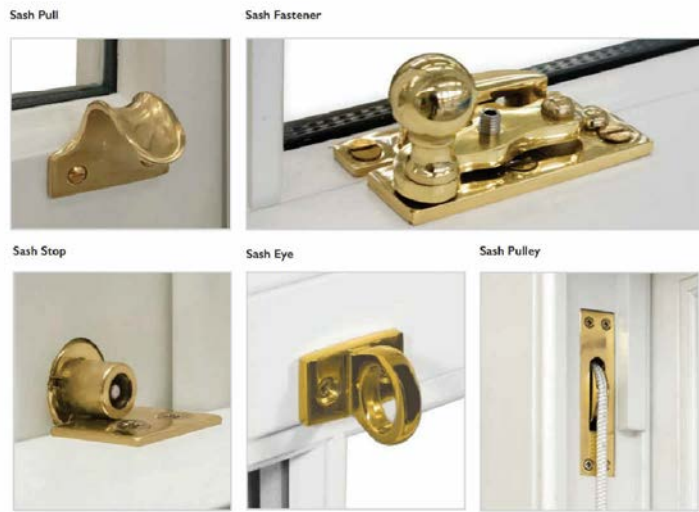
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Key Plan  
not to scale

L10 - External Box Sash Window Specification.

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 4 (600Pa)
  - Weather Tightness: Class 7A (300Pa)
  - Resistance to Wind Load: Class C5 (2000Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m2K
- Acoustic performance: 38 dB
- Glazing System: Traditionally drained and vented 14mm double glazed Low E Sealed unit (4mm/6mm Bronze Historic Aluminium Spacer/4mm) krypton filled cavity. Historic External Putty to be used.
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Ironmongery/Accessories: Opening windows fitted with sash lift / pull, night vent restrictor and locking fasteners.
- Ventilation: None
- Installation: In accordance with manufacturers installation manual.
- Colour: Windows to be finished externally to BS 4800 00 E 55 'White'.

Ironmongery Design Intent:



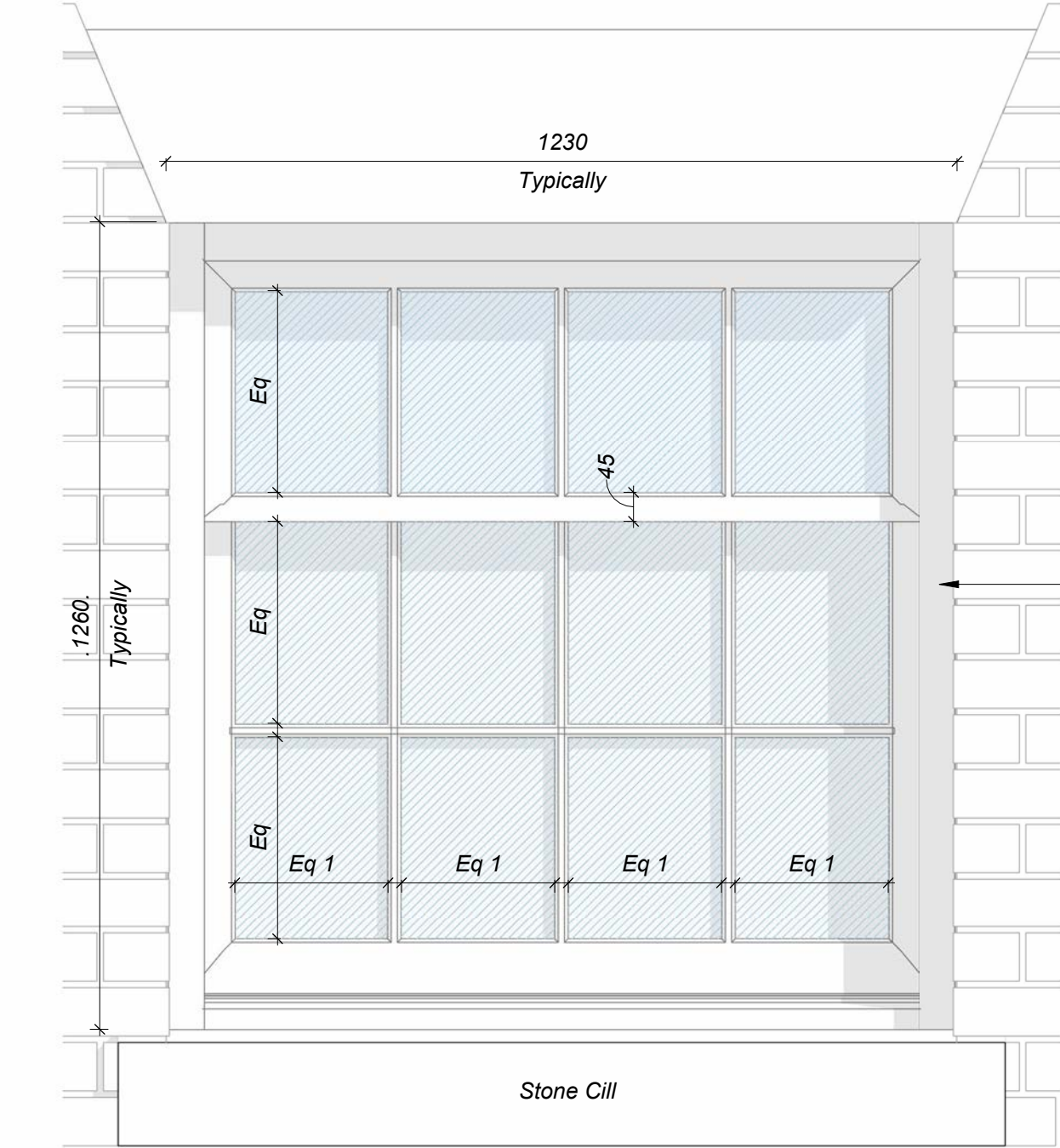
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P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued For LBC
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT	
Cheshire East Council	
PROJECT	
CEf Crewe, Warm and Healthy Homes JOB NUMBER 243231	

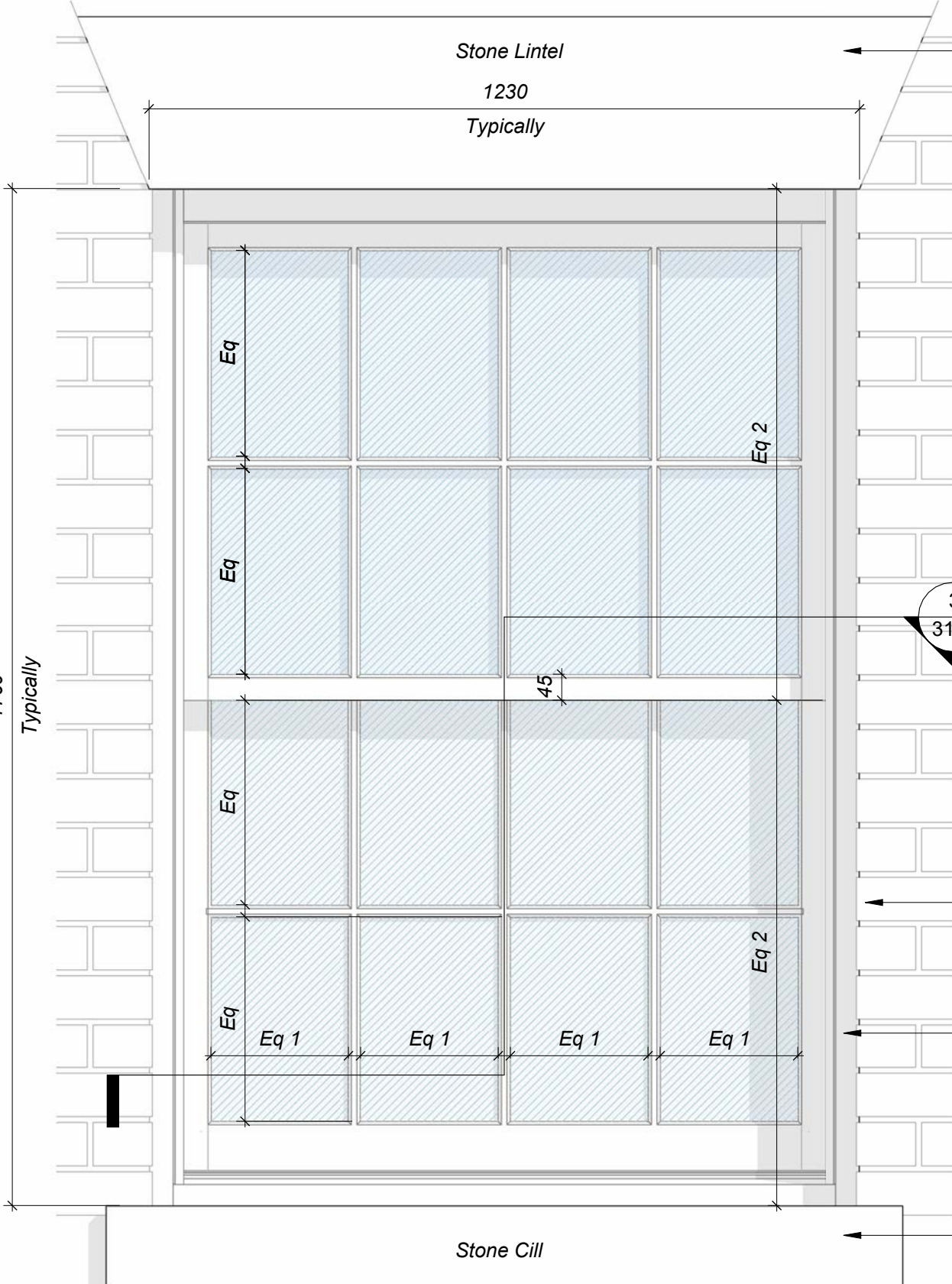
TITLE  
Typical Victoria Street Dwelling - Window Type A as Proposed - DESIGN INTENT

SIZE	SCALE
A1L	As indicated
REV	SUITABILITY/REASON FOR ISSUE
P06	S3 - For Review & Comment/
DRAWING NUMBER	243231-PUR-01-ZZ-DR-A-3100

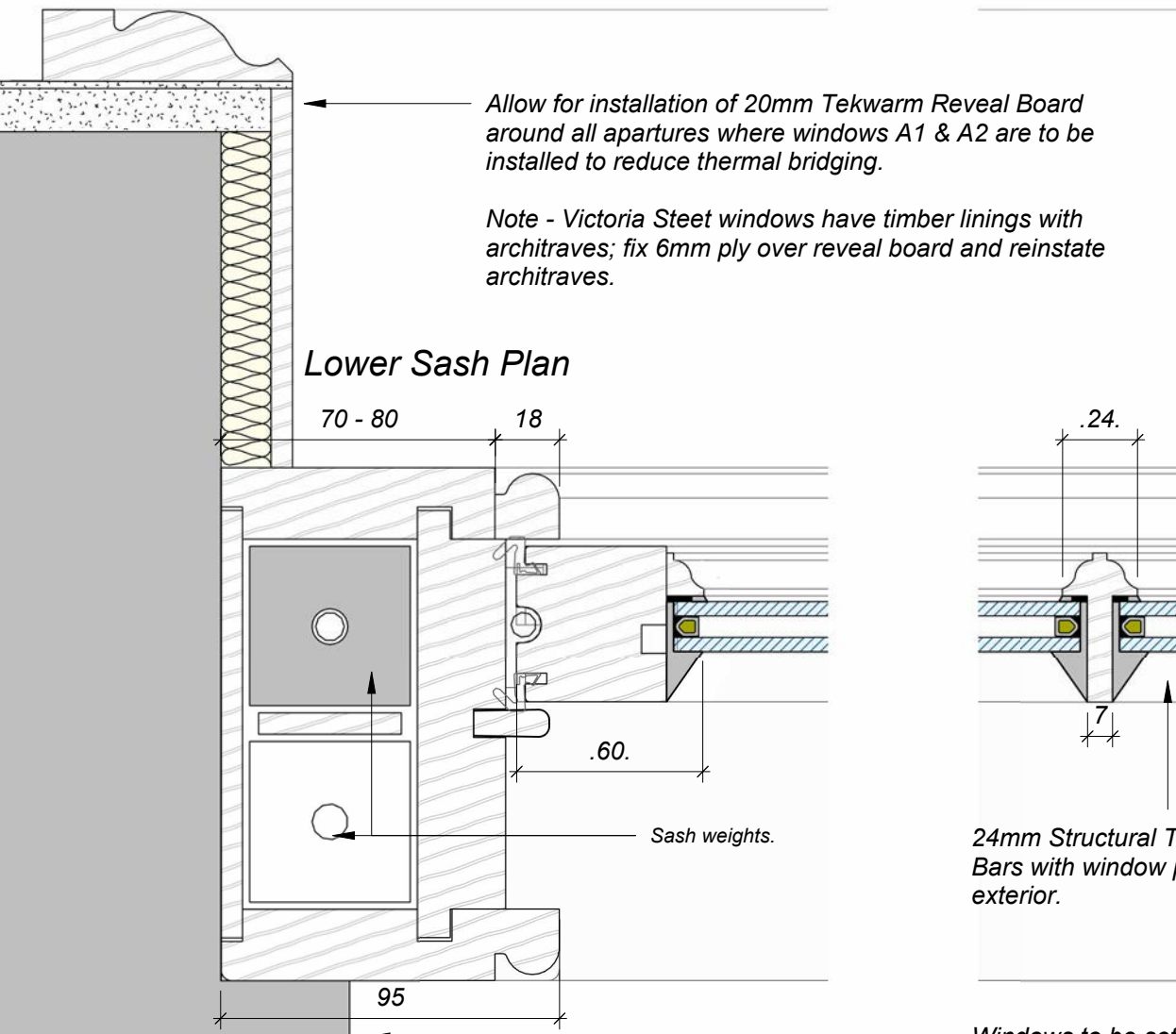
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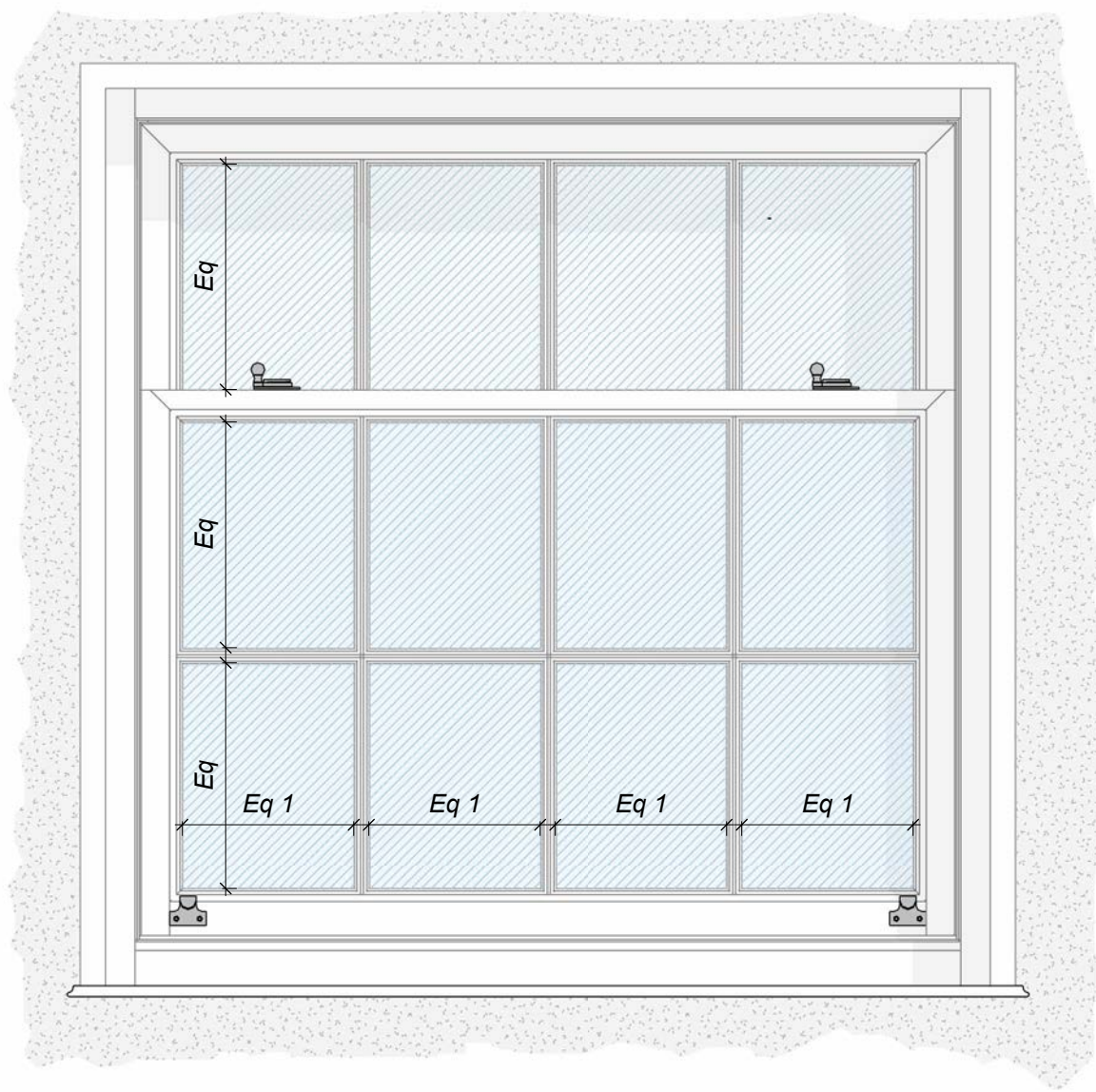
Window Type A2 - External Elevation  
1:10



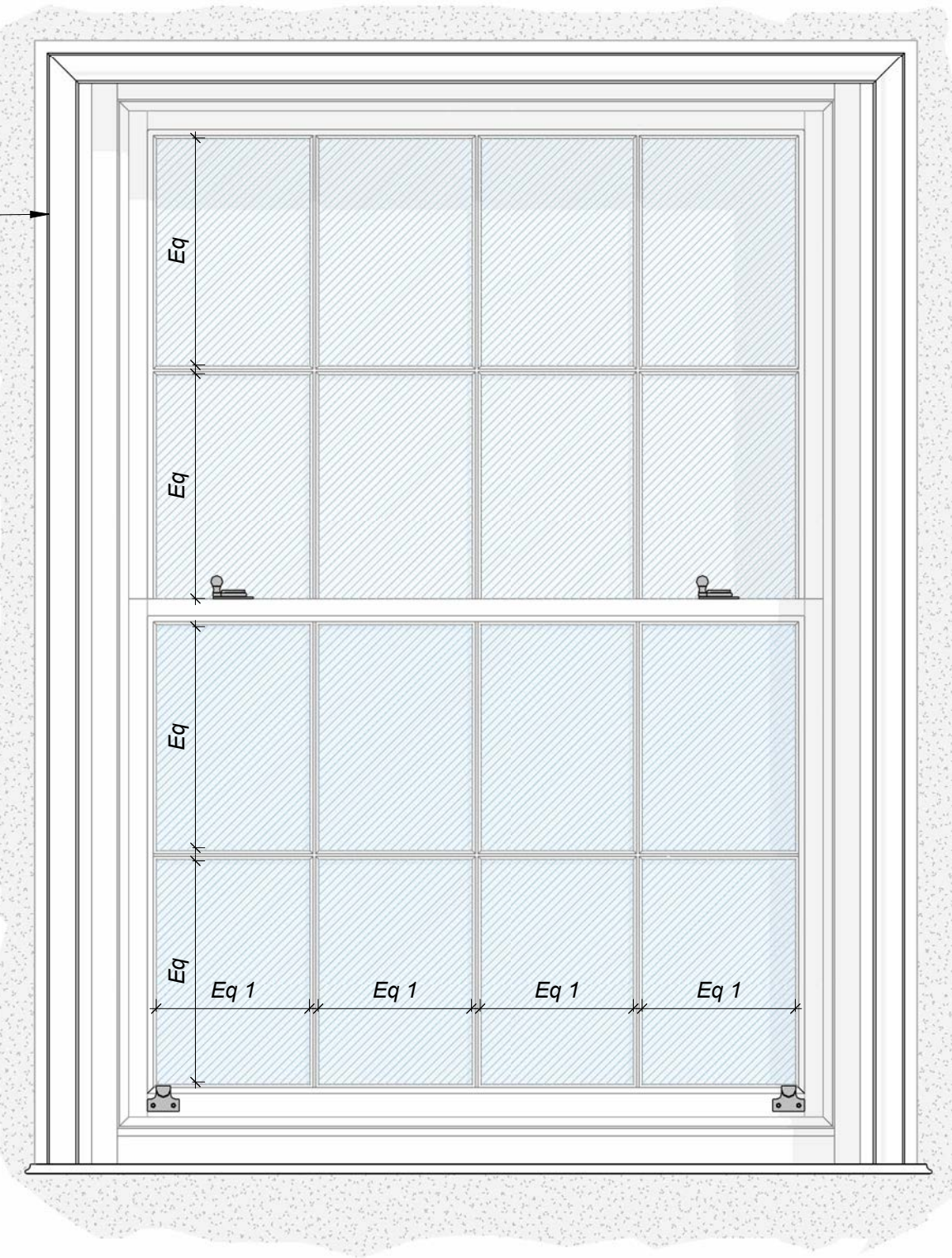
Window Type A1 - External Elevation  
1:10



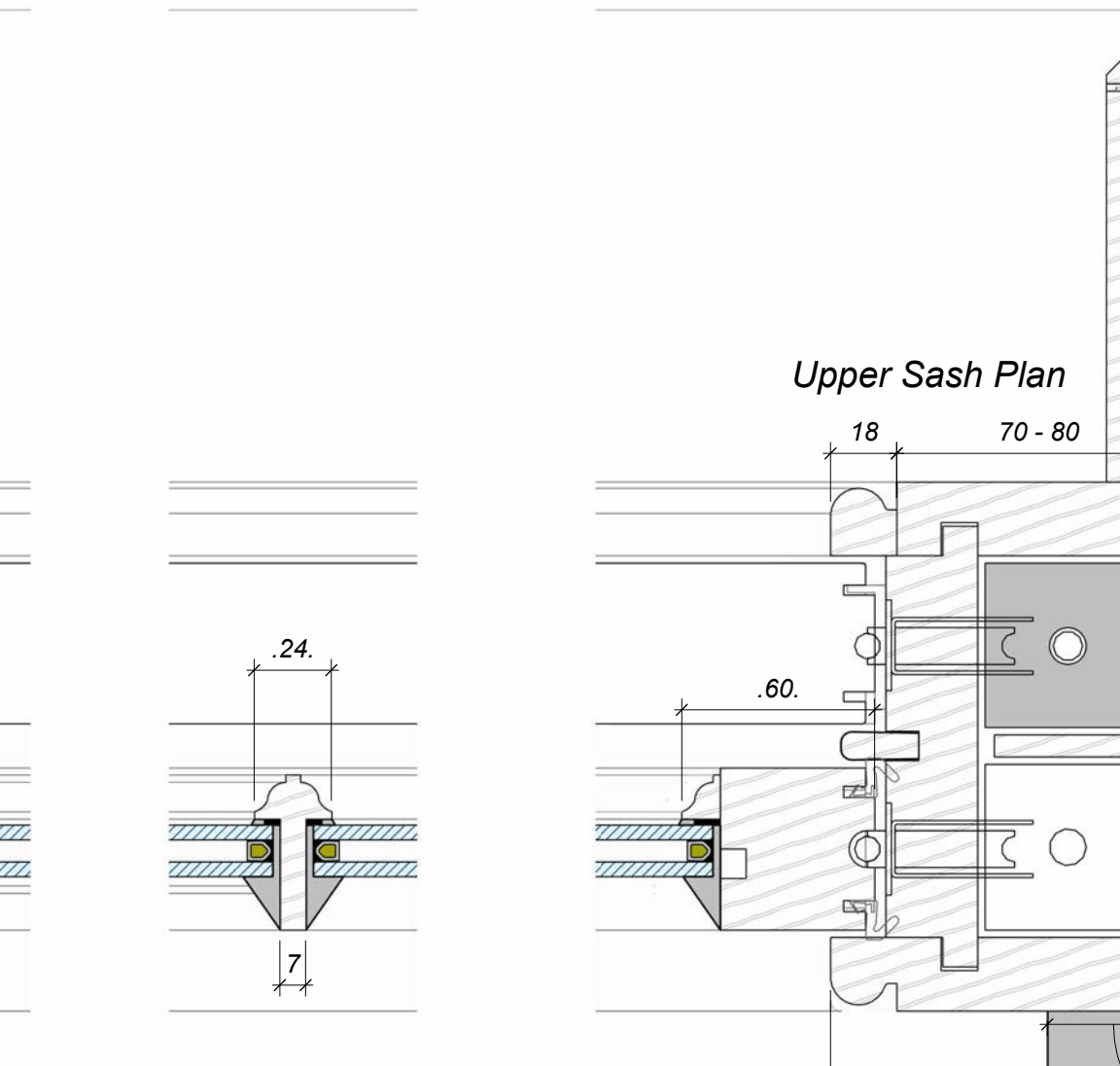
Window Type A - Plan Details  
1:2



Window Type A2 - Internal Elevation  
1:10



Window Type A1 - Internal Elevation  
1:10

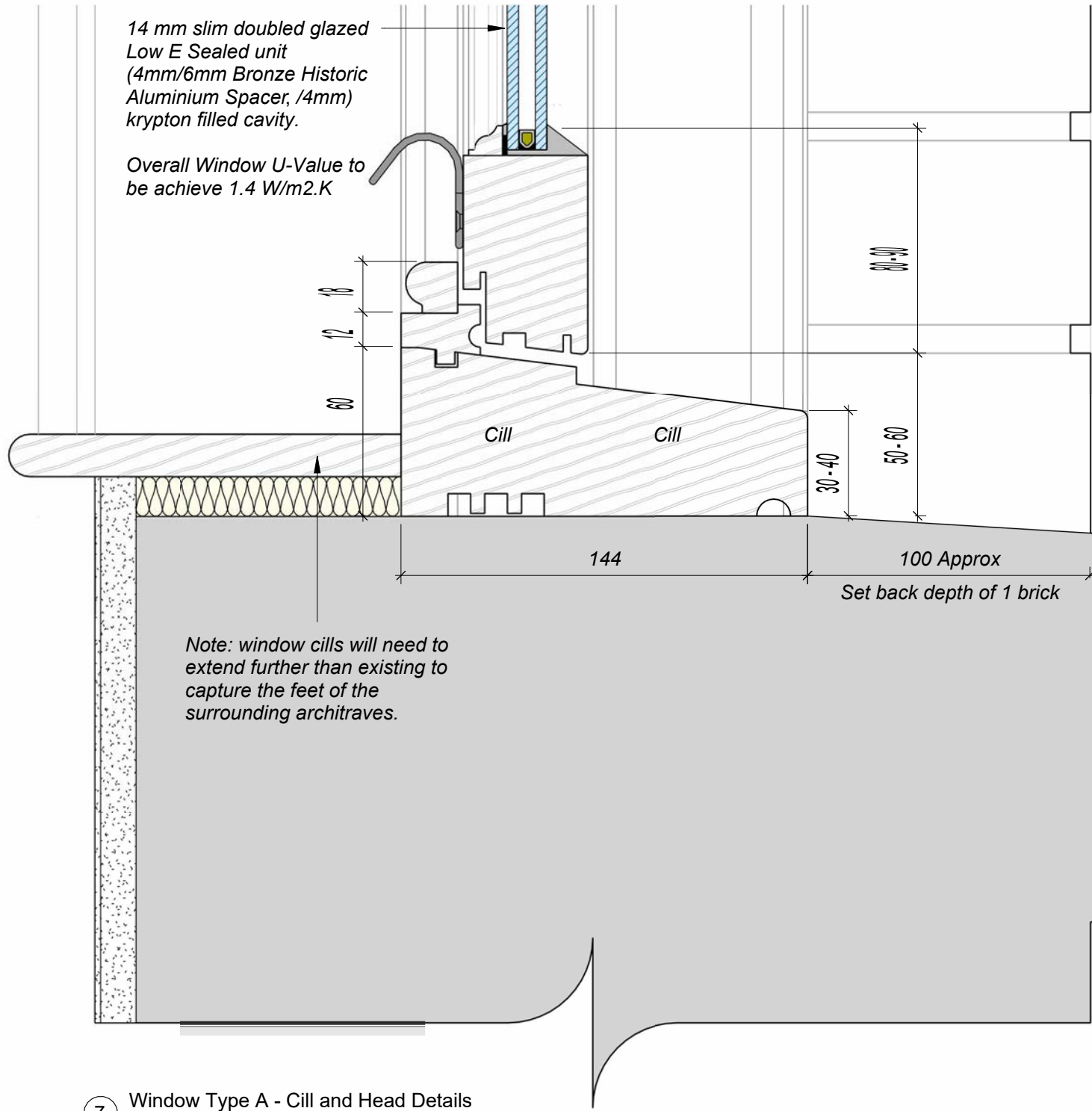
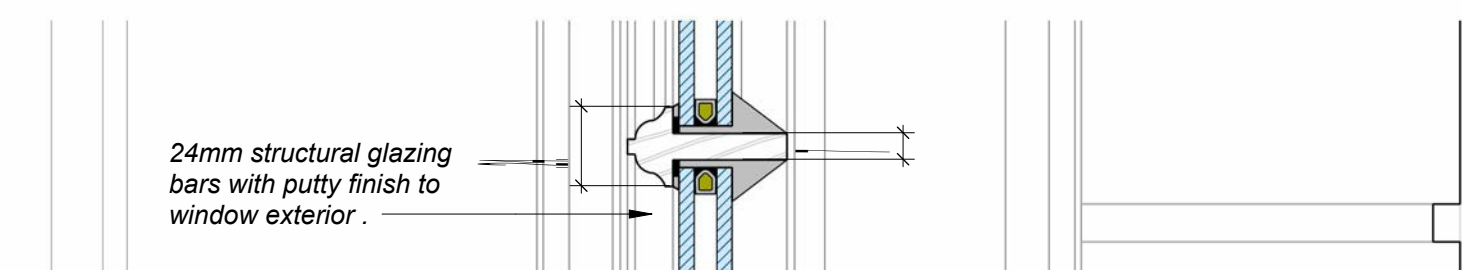
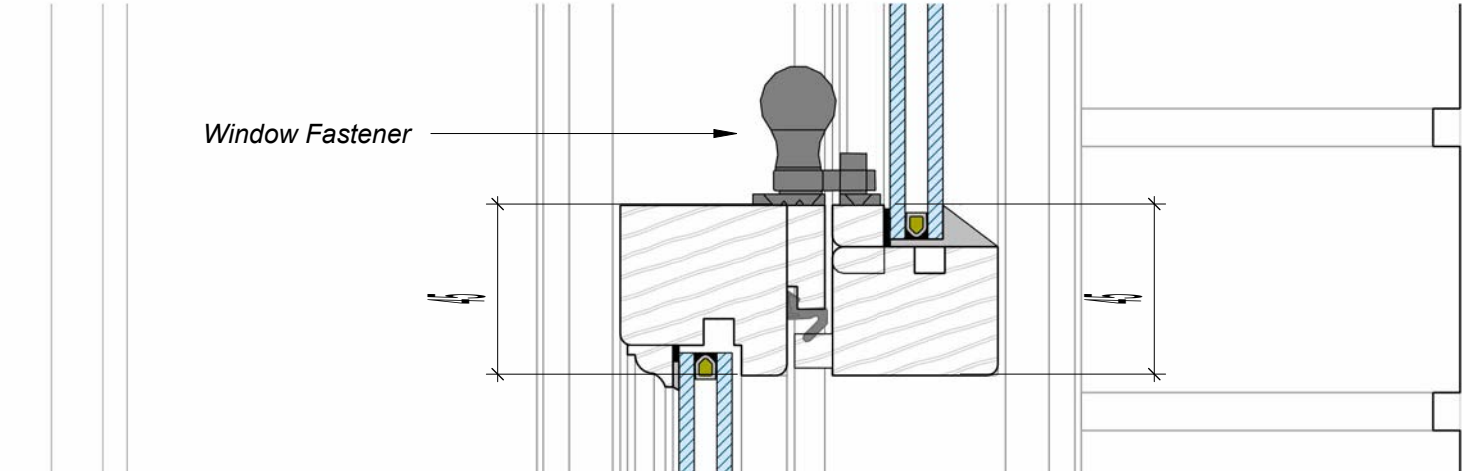
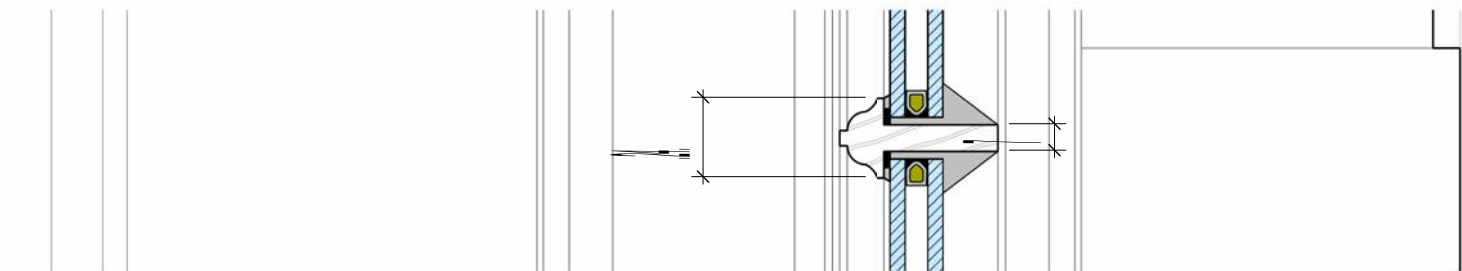
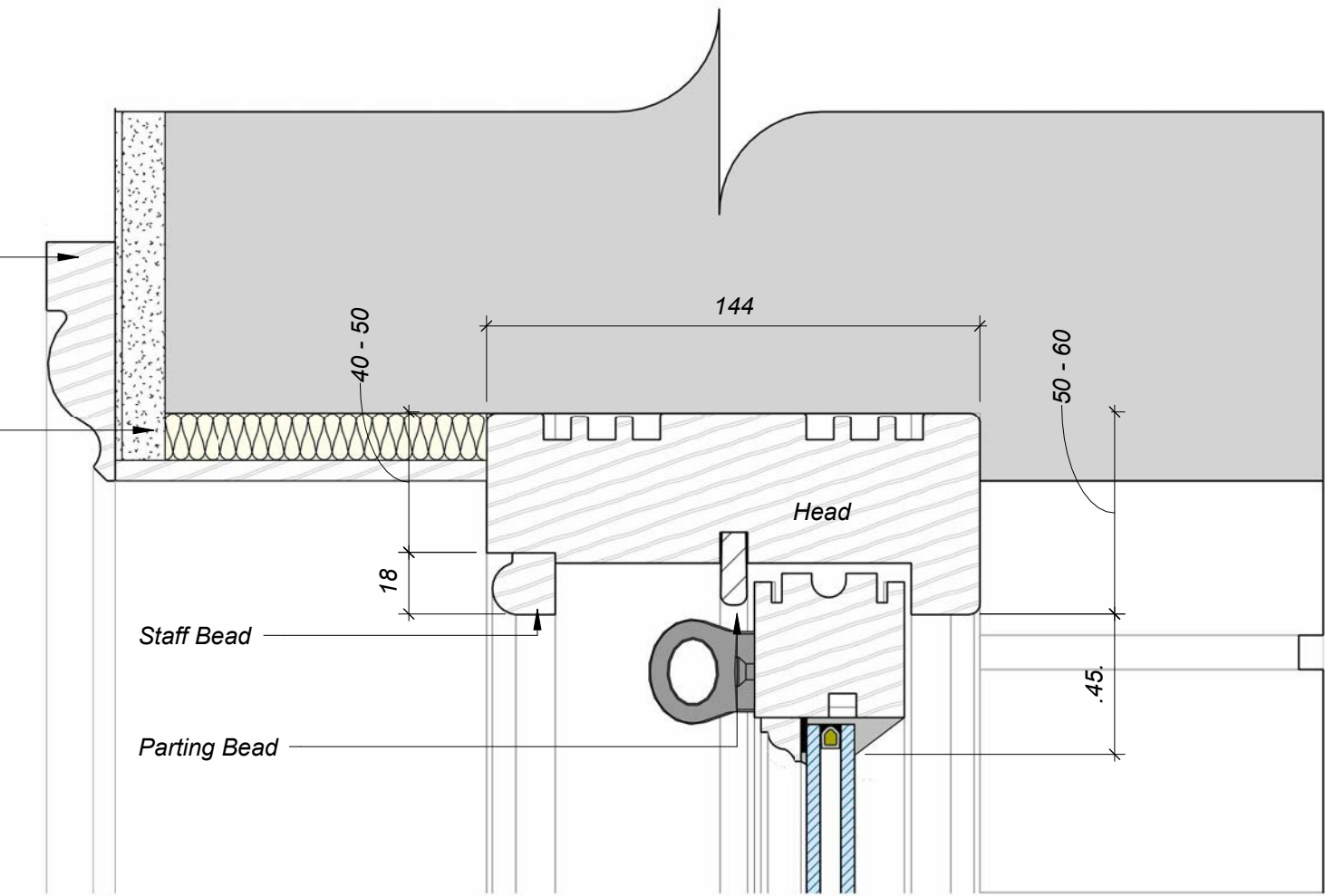


Window Type A - Plan Details  
1:2

Existing Ogee Architrave around window to be retained.

Allow for installation of 20mm Tekwarm Reveal Board around all apertures where windows A1 & A2 are to be installed to reduce thermal bridging.

Note - Victoria Steet windows have timber linings with architraves: fix 6mm ply over reveal board and reinstate architraves.



Window Type A - Cill and Head Details  
1:2

Windows and lintels / cills to be painted externally to BS 4800 00 E 55 'White'.

Window Lintels to be painted to BS 4800 00 E 55 'White'.

Existing Architraves around windows to be retained and redecorated where in sound condition.

It is assumed that bricks overlap front of window frames.

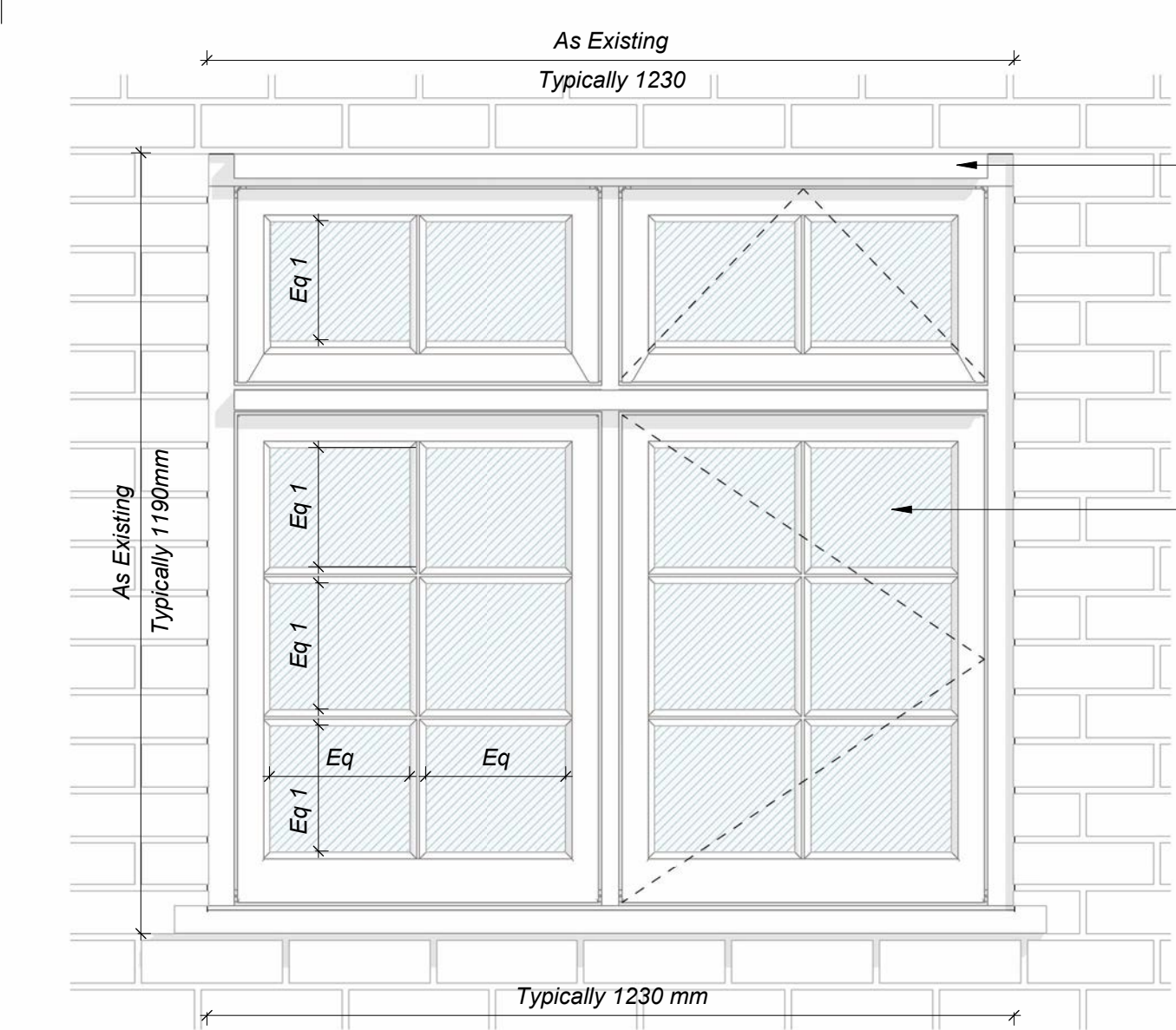
Windows to be painted externally to BS 4800 00 E 55 'White'.

Stone Cill's to be painted to BS 4800 00 E 55 'White'.

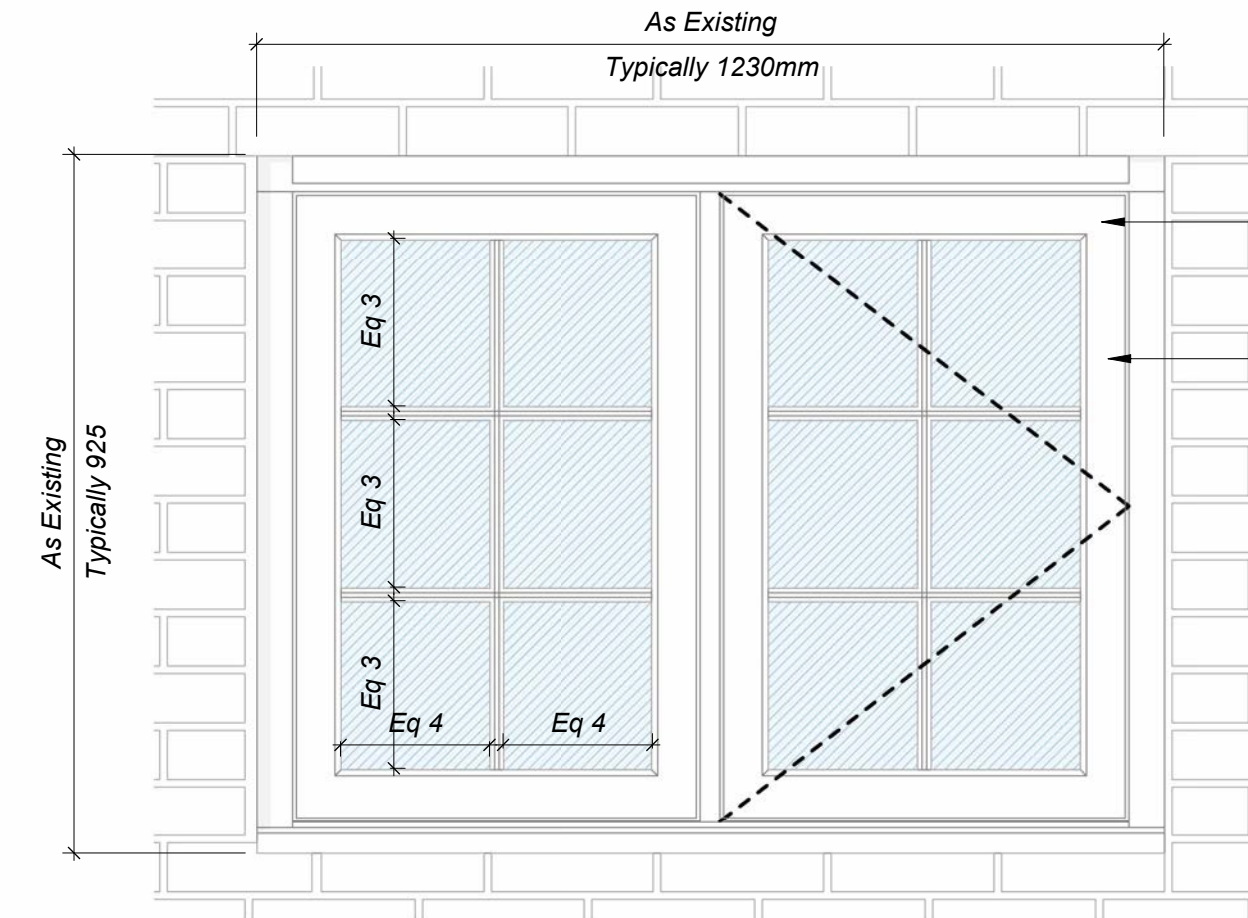
Note: window cills will need to extend further than existing to capture the feet of the surrounding architraves.

brickwork assumed to overlap window frame

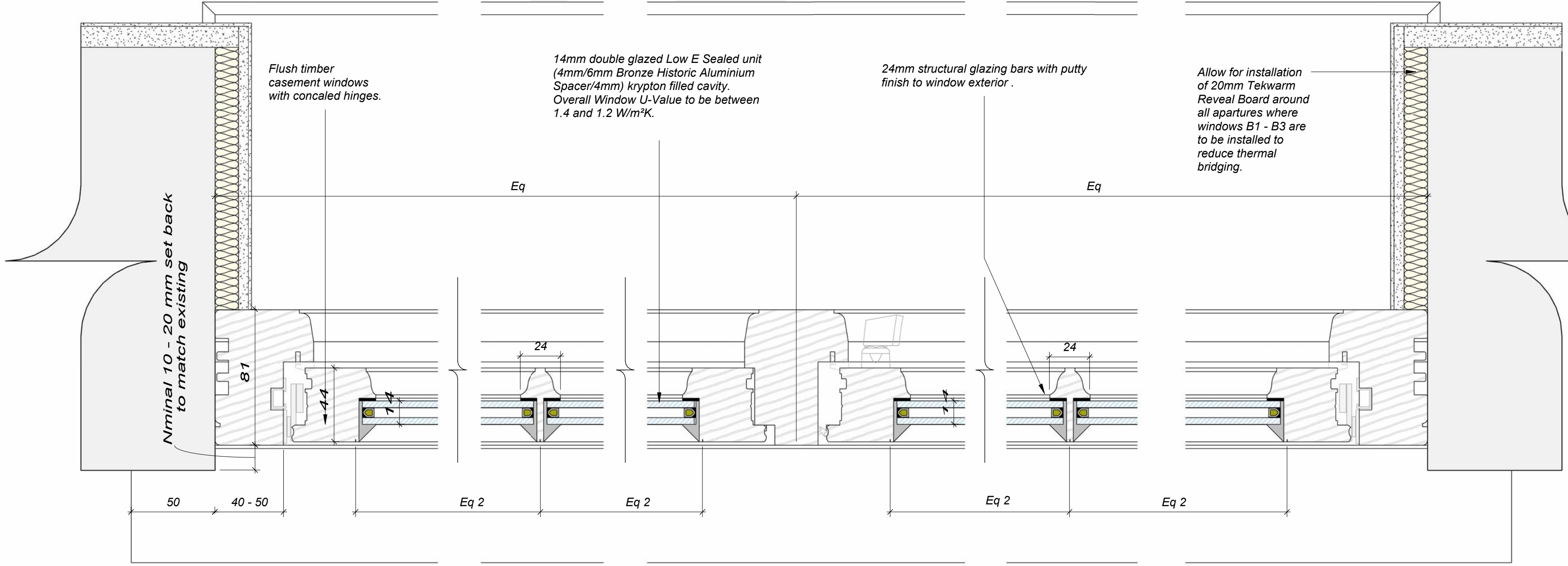




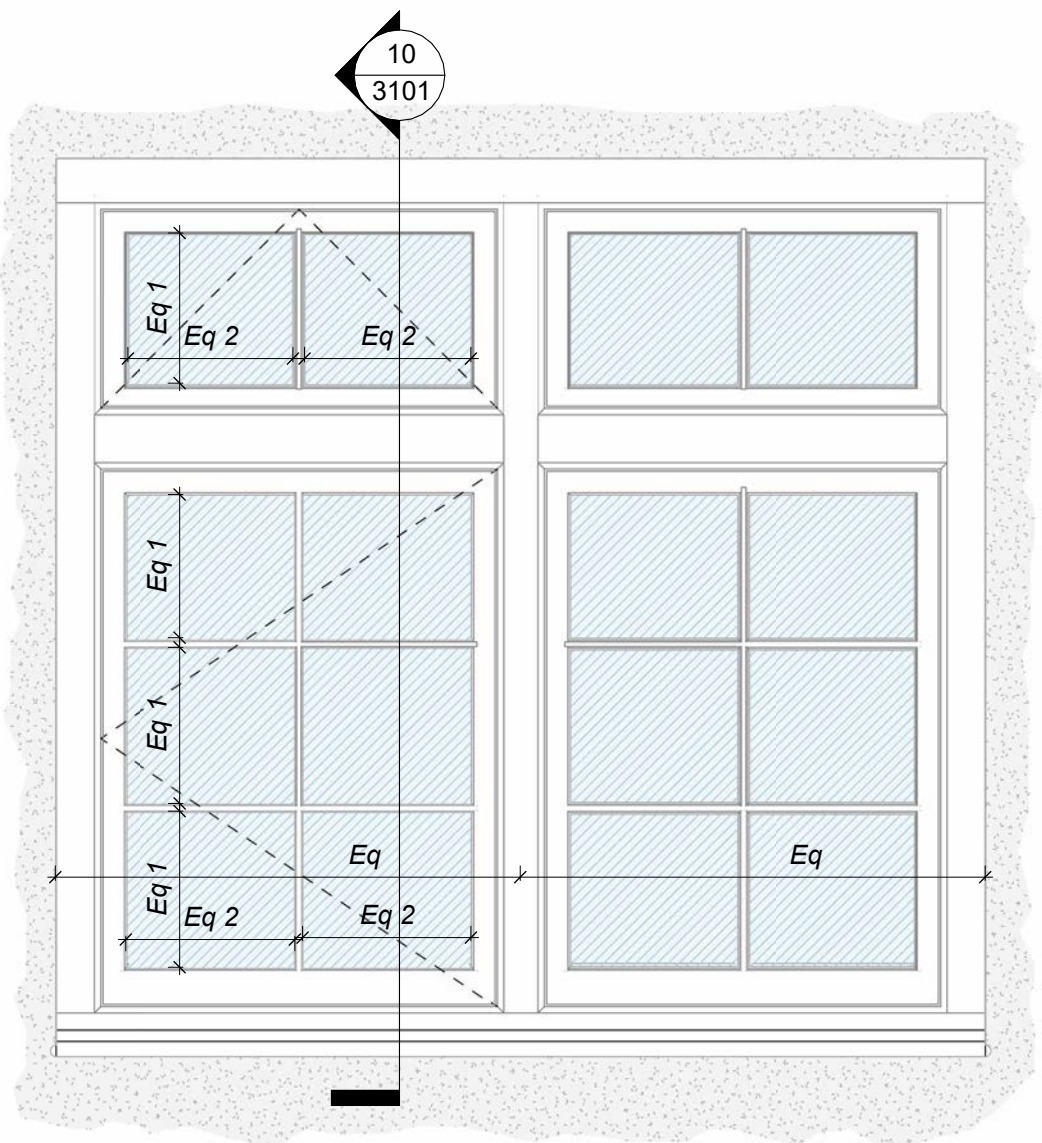
7 Window Type B1 - External Elevation  
1 : 10



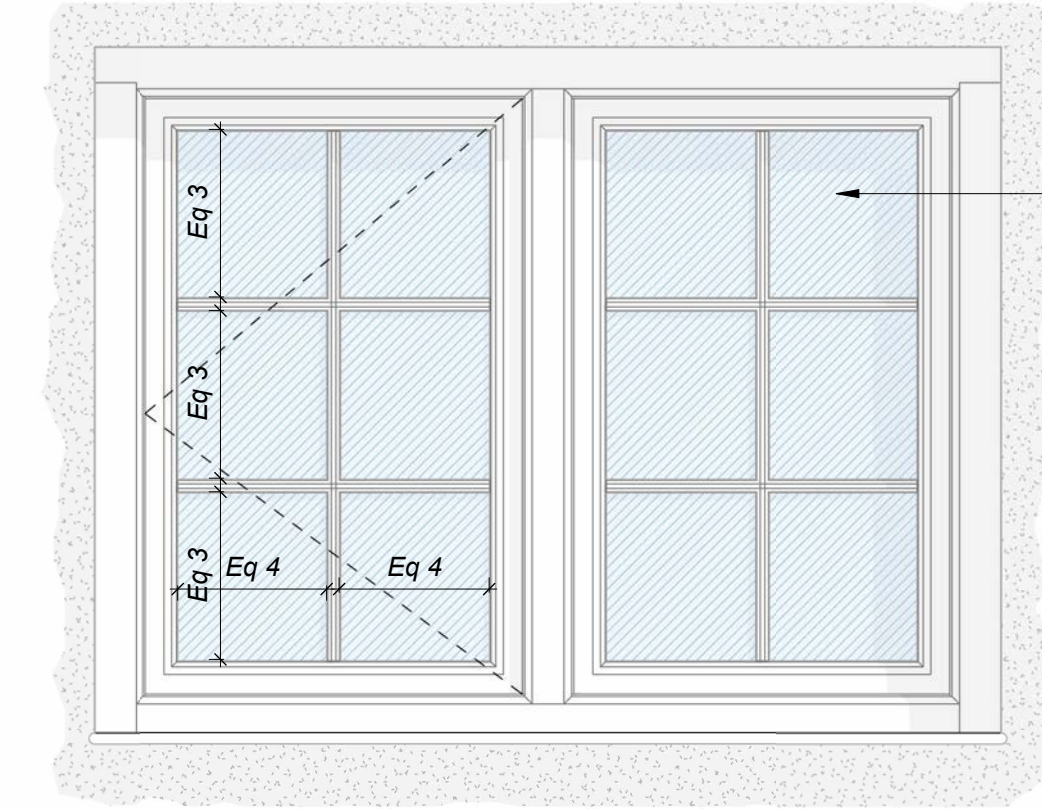
4 Window Type B2 - External Elevation  
1 : 10



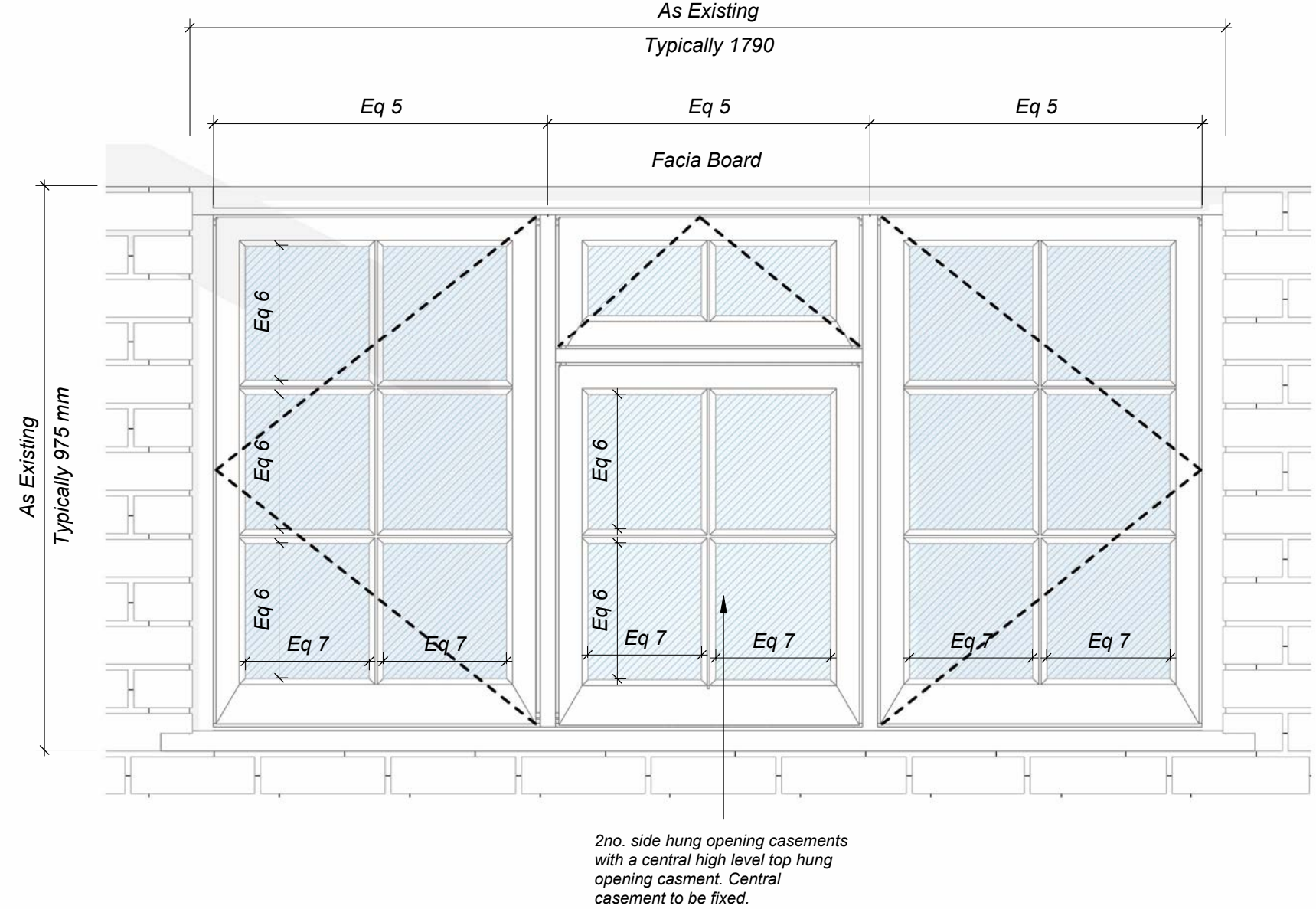
9 Window Type B1 / B2 Plan Detail  
1 : 2



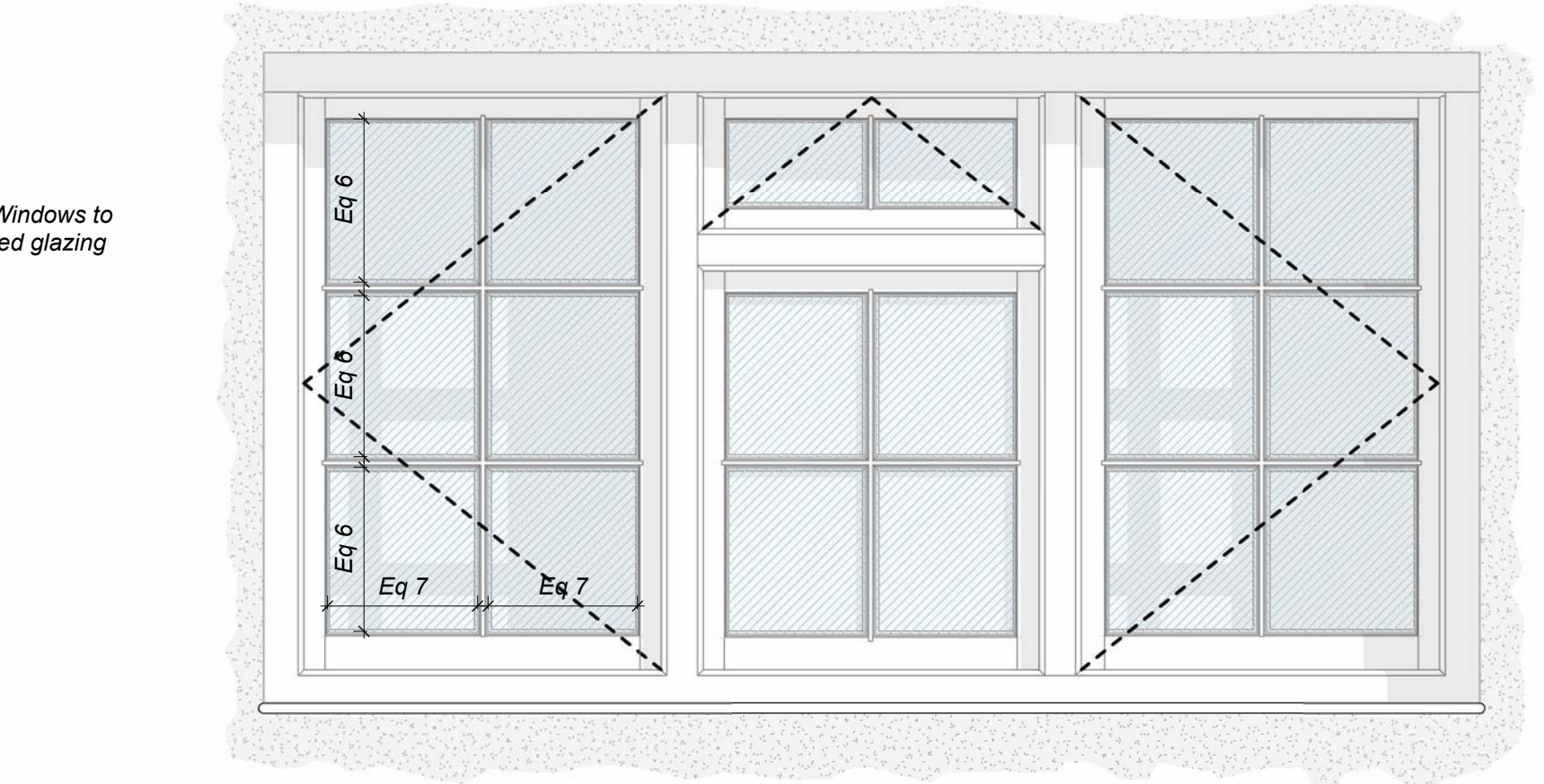
8 Window Type B1 - Internal Elevation  
1 : 10



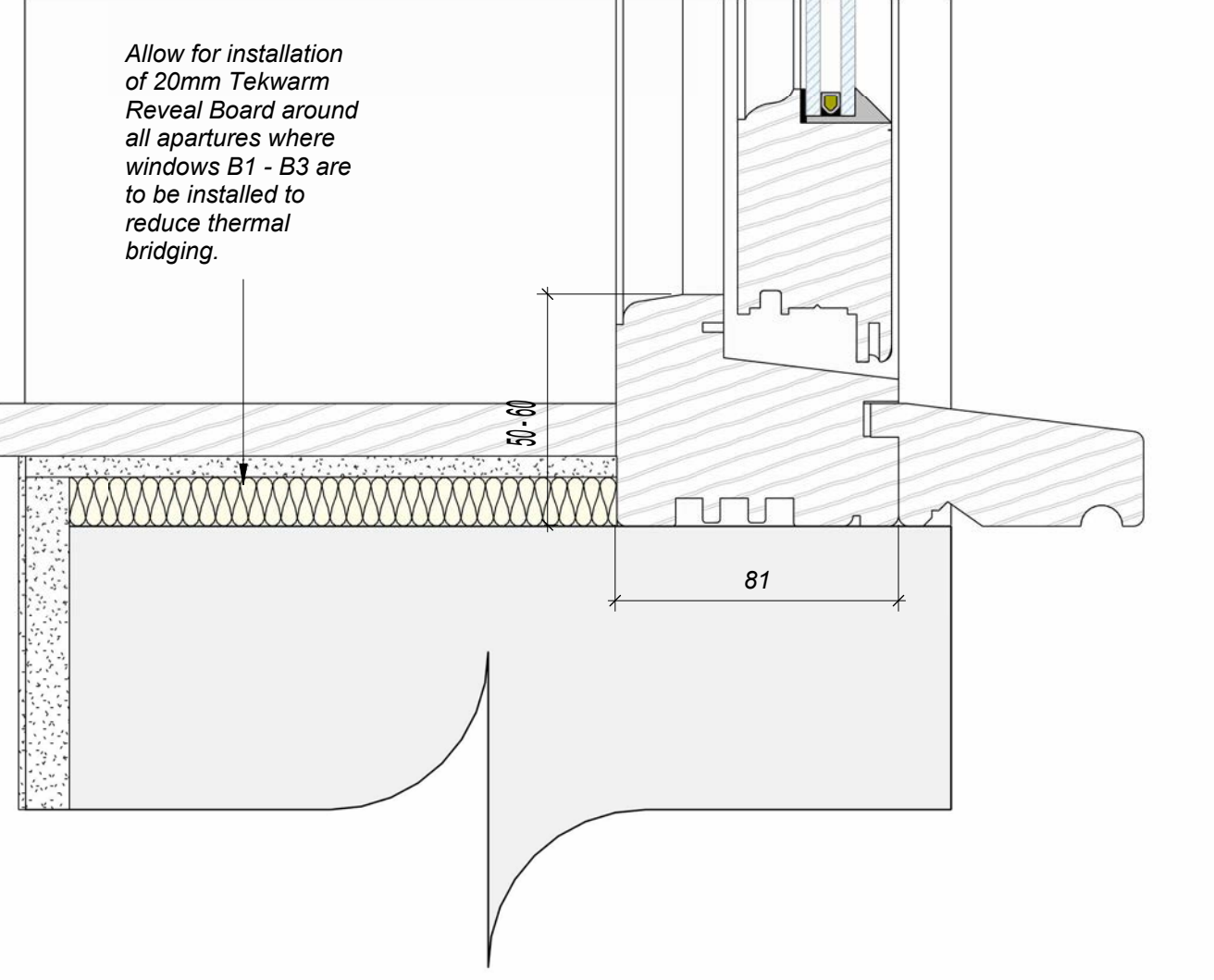
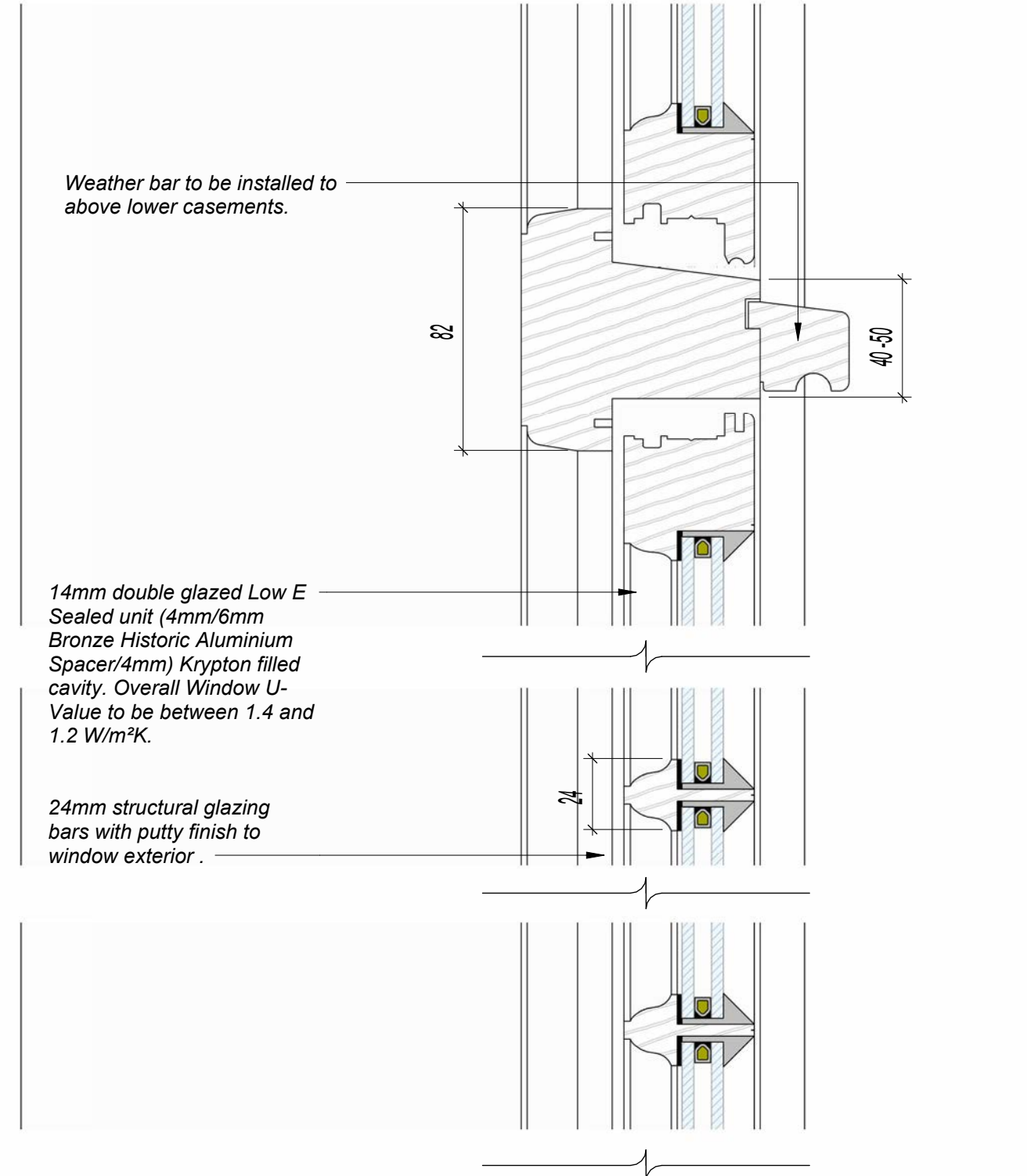
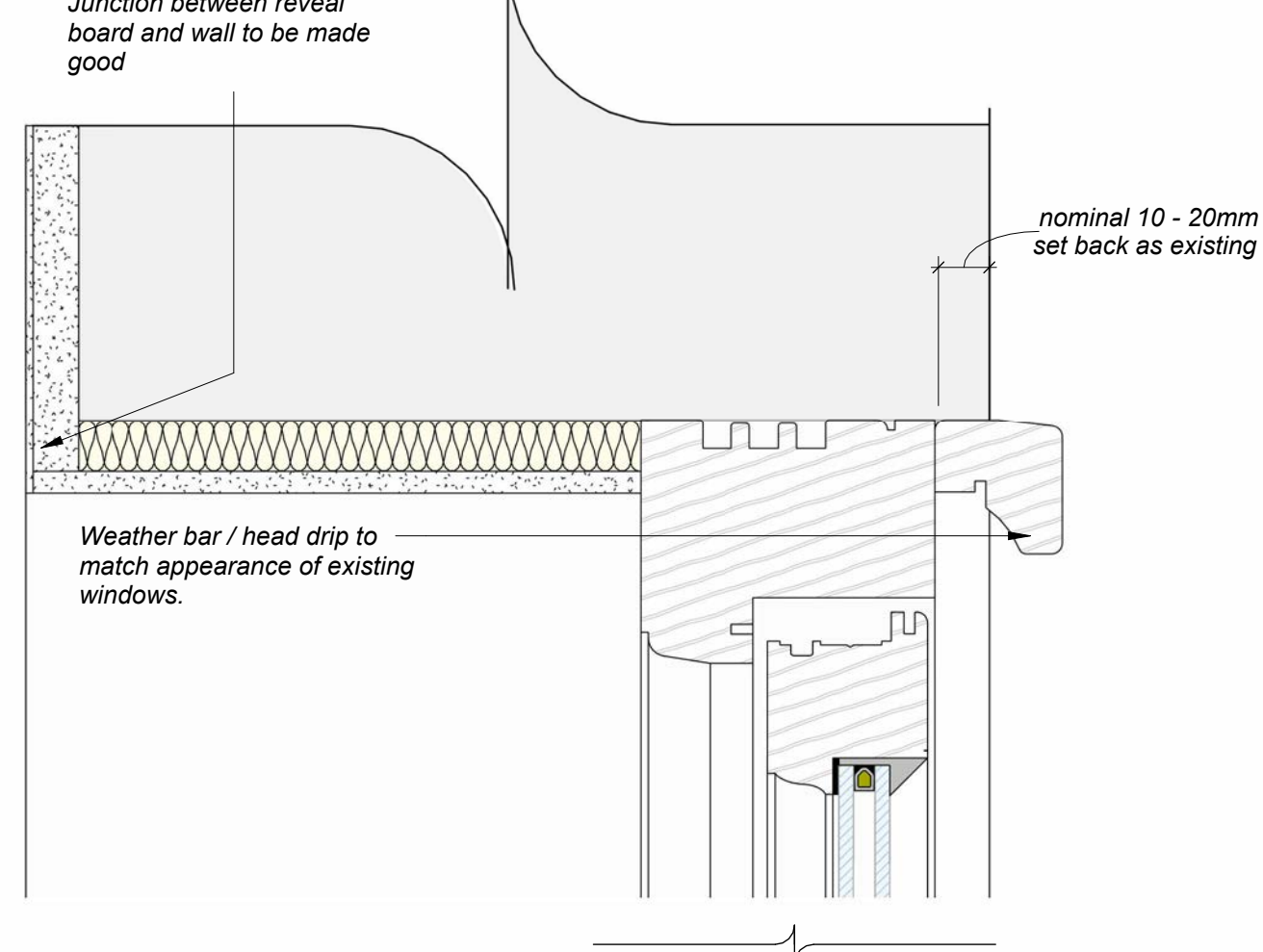
2 Window Type B - Internal Elevation  
1 : 10



1 Window Type B3 - External Elevation  
1 : 10



3 Window Type B3 - Internal Elevation  
1 : 10



10 Window Type B1 - Detail Section  
1 : 2

**L10 - Historic Casement Window Specification**

- Standard: To BS 644: 2012
- Exposure Rating to BS 6375-1: 2015 - 2000
  - Air Permeability: Class 4 (600Pa)
  - Weather Tightness: Class 9A (600Pa)
  - Resistance to Wind Load: Class C5 (2000Pa)
- Operation & strength characteristics: To BS6375-2: 2009
- Timber: Generally, to BS EN 942: 2007
  - Species: Engineered Redwood / Engineered Grandis / Engineered Oak / Accoya
  - Moisture content on delivery: 10-16%
  - Certification: FSC chain of custody
- Thermal performance (Uwindowmaximum): 1.4 W/m²K
- Acoustic performance: 38 dB
- Glazing System: Traditionally drained and vented frames with 14mm double glazed Low E Sealed unit (4mm/6mm Bronze Historic Aluminium Spacer/4mm) Krypton filled cavity. Historic External Putty to be used.
- Glazing details: Factory glazed to meet performance specification Glazing unit:
  - g value: <= 0.6
  - Light transmittance: >70%
- Ironmongery/Accessories: Opening windows fitted with security espagnolette locking, night vent position and locking handle
- Ventilation: None
- Installation: In accordance with manufacturers installation manual.
- Colour: Windows to be finished externally to BS 4800 00 E 55 'White'.

**Ironmongery Design Intent:**



**Notes:**  
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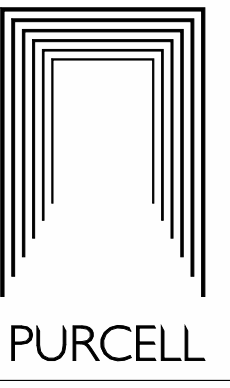
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P05	01/05/2025	MP	JPH	Issued for Stage 4 Costing
P04	02/04/2025	MP	JPH	Notes Amended - Issued for LBC
P03	24/03/2025	MP	JPH	Issued For LBC
P02	04/03/2025	MP	JPH	Issued for Review
P01	06/12/2024	MP	JPH	Issued for Costing
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**  
PROJECT  
**CEF Crewe, Warm and Healthy Homes**

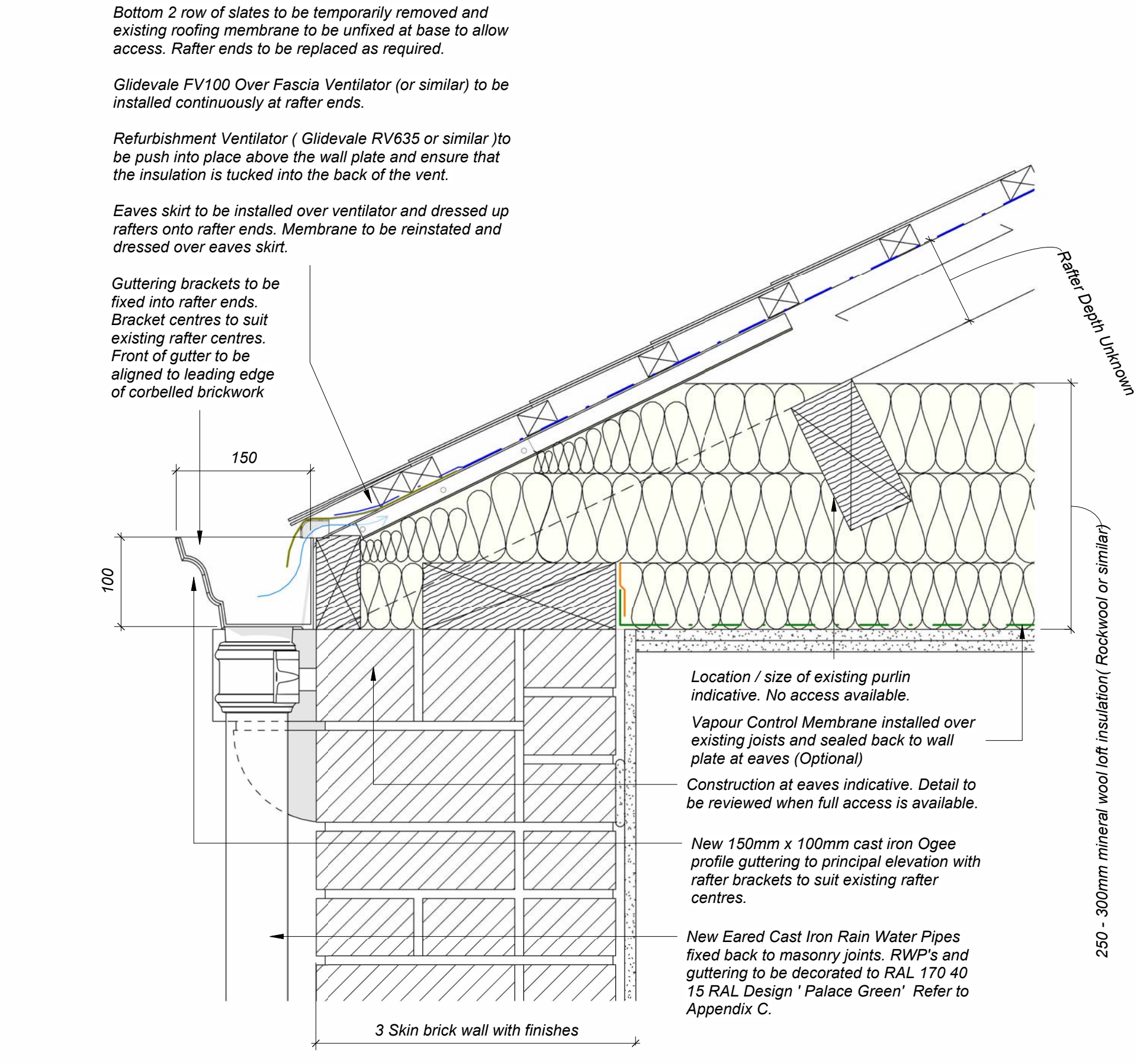
JOB NUMBER  
**243231**  
TITLE  
**Typical Victoria Street Dwelling - Window Type B as Proposed - DESIGN INTENT**

SIZE SCALE  
A1L As  
REV Indication REASON FOR ISSUE  
**P06 S3 - For Review & Comment/**  
DRAWING NUMBER  
**243231-PUR-01-ZZ-DR-A-3101**

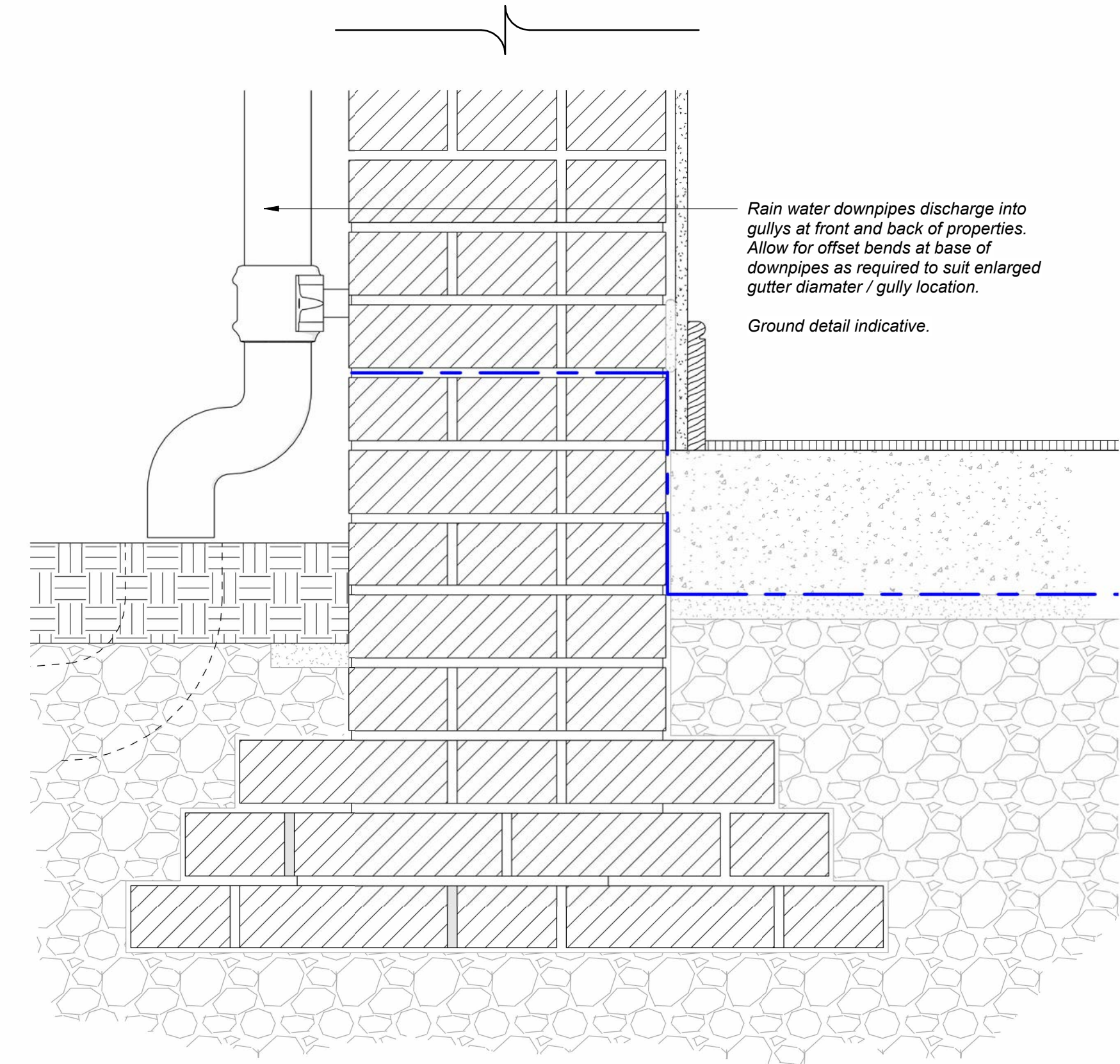
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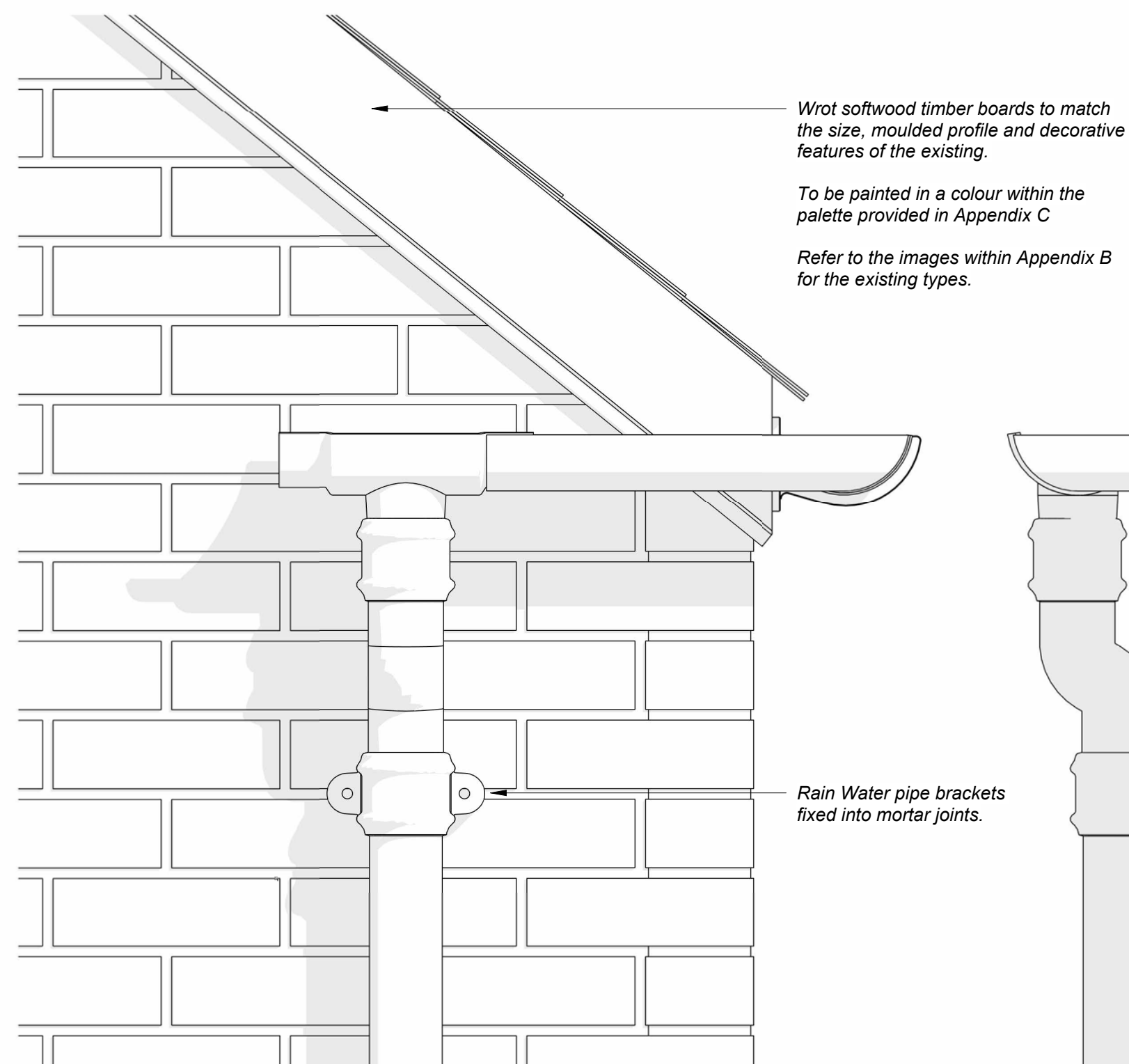




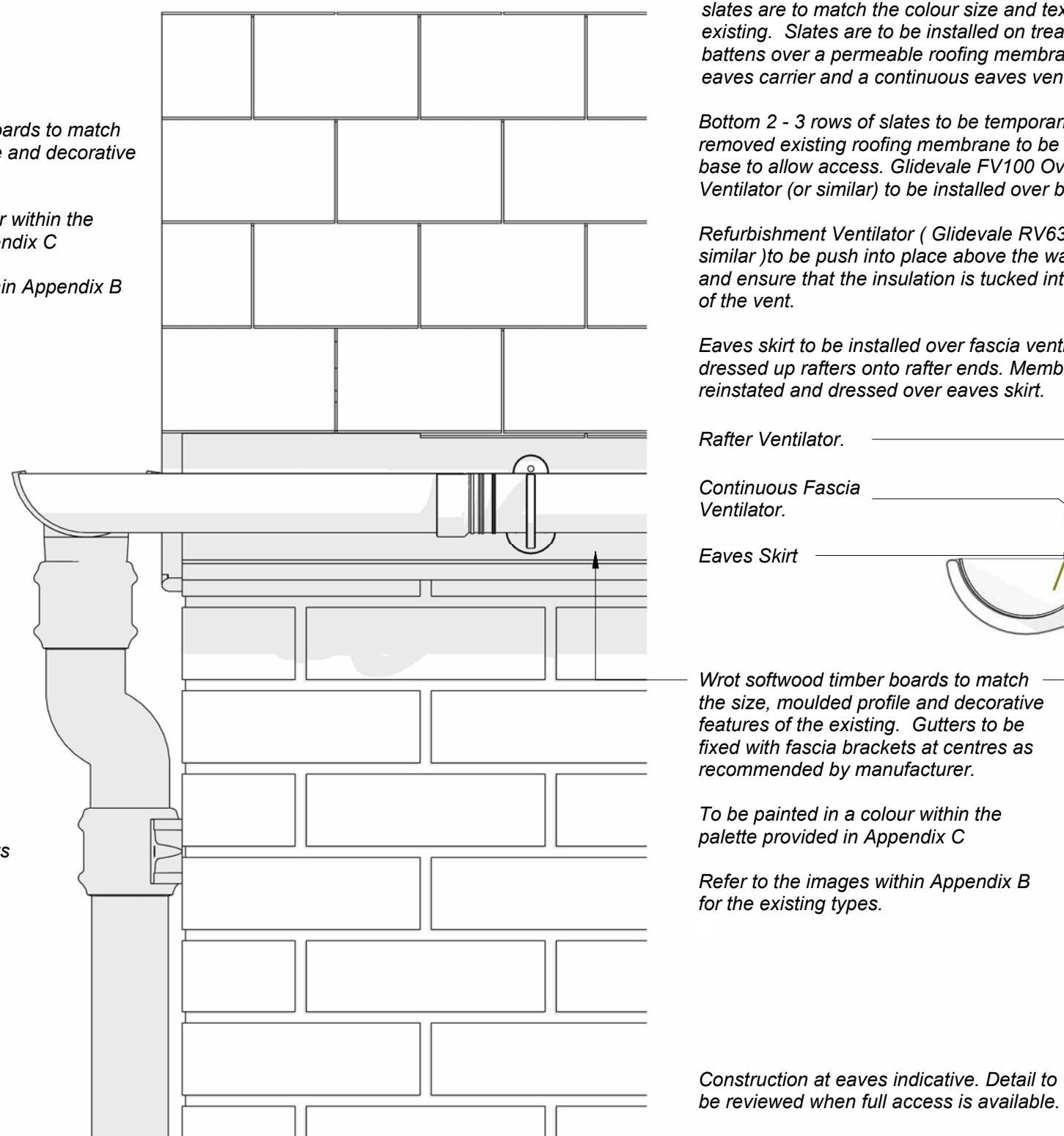
Victoria Street - Gutter to Downpipe Connection Detail Elevation as Proposed  
1:5



Victoria Street - Section Through Wall to Principal Elevation as Proposed  
1:5



Typical Gutter to Downpipe Connection Detail - Rear Gable Elevation as Proposed  
1:5

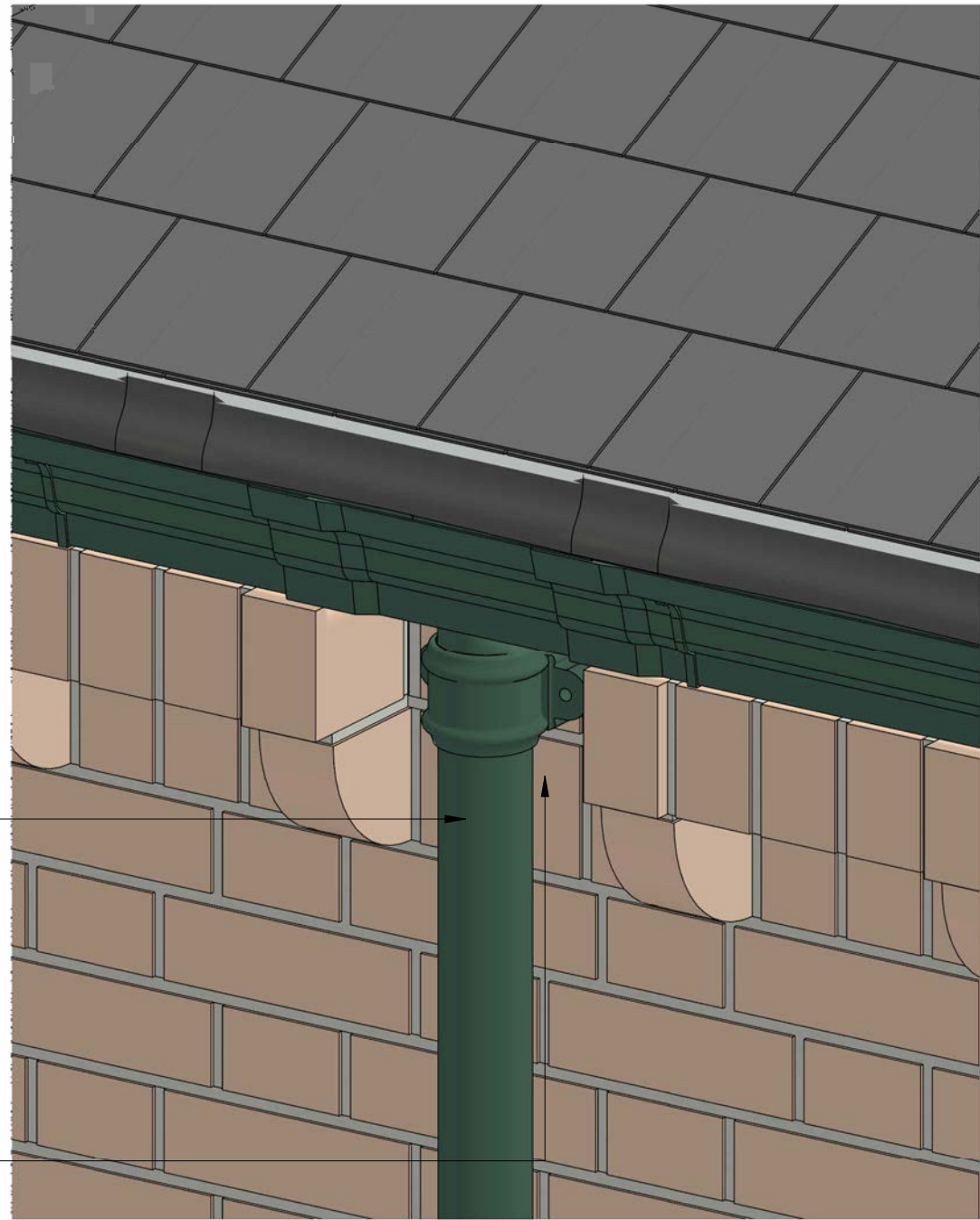


Typical Gutter to Downpipe Connection Detail - Side Elevation as Proposed  
1:5

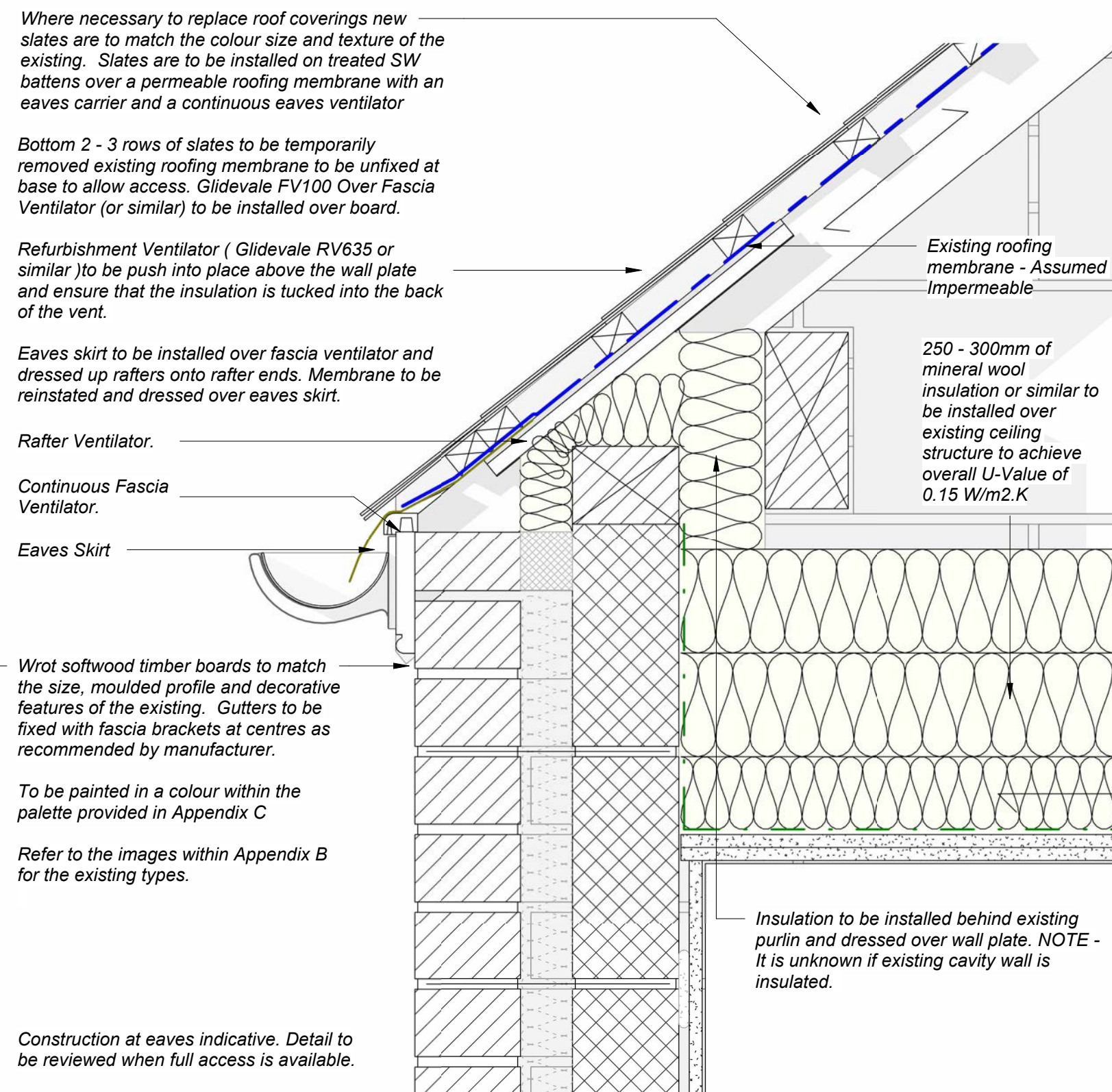
Guttering brackets to be fixed into rafter ends. Bracket centres to suit existing rafter centres.

New Eared Cast Iron Rain Water Pipes fixed back to masonry joints. All RWP's and guttering to be decorated to RAL 170 40 15 RAL Design ' Palace Green ' Refer to Appendix C.

Location of RWP's to principal elevation to remain as existing. Localised breaks in corbel detail as existing to allow connection into gutter.



Victoria Street Brick Corbel / Guttering Detail 3D as Proposed



Victoria Street - Typical Section Through Eaves to Cottage Extension as Proposed  
1:5

**Notes:**

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P01	24/03/2025	MP	JPH	Issued for LBC
REV	DATE	BY	CHK	DESCRIPTION

CLIENT  
**Cheshire East Council**

PROJECT  
**CEF Crewe, Warm and Healthy Homes**

JOB NUMBER  
**243231**

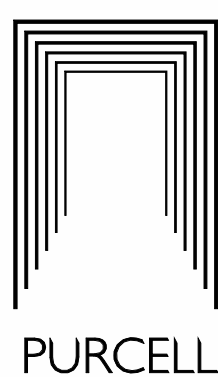
TITLE  
**Victoria Street - Typical Guttering Details**

SIZE SCALE  
A1L 1:5

REV SUITABILITY/REASON FOR ISSUE  
**P01 S4 - For Approval/**

DRAWING NUMBER  
**243231-PUR-01-ZZ-DR-A-3210**

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APPENDIX B – 01 VICTORIA STREET

Victoria Street – Photo Reference

04/04/2025

PURCELL 

## Mark Popely

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Manchester

M1 6FQ

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[www.purcelluk.com](http://www.purcelluk.com)

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## APPENDIX B - 01 VICTORIA STREET



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## EXISTING PHOTO REFERENCE SCHEDULE

Photographs in the schedule below act as a reference for 'like for like' replacements, where the proposal is required to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.




Items	Description	Photo Reference
Chimney Pots	<p>Replacement chimney pots are to be cream clay and match the existing in size.</p> <p>Cream clay pepper pot ventilators are advisable where appropriate to keep the weather out of redundant flues.</p>	
Coping to Chimney Stacks	<p>Replacement buff stone copings are to match existing in size, profile and geology.</p> <p>Where original stone coping has been previously replaced with brick. Renewal of is to be on a like for like basis as the existing.</p>	



## APPENDIX B - 01 VICTORIA STREET

<p>Blue Clay Ridge Tiles</p>	<p>These may be new or salvaged, plain or flaunched but must match the existing in colour, size/profile and finish of the existing.</p>	
<p>Replacement Joinery for barge boards to rear projecting gables and lower single storey extensions.</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	
<p>Replacement Joinery for Fascia boards (Image shown to is side elevation of property)</p>	<p>Wrot softwood timber boards to match the size, moulded profile and decorative features of the existing.</p>	

## APPENDIX B - 01 VICTORIA STREET

<p>Replacement blue clay pitched wall coping on rear / side boundary walls.</p>	<p>New / reclaimed triangular Staffordshire blue clay coping engineering brick to form copings on side and rear boundary walls. Detail to match existing in terms of colour, size and texture.</p>	
<p>Replacement copings to front walls</p>	<p>New buff stone copings with drip detail. Profile to match that of the existing.</p>	
<p>Replacement yard gates</p>	<p>Treated softwood vertical boarded gate with half-open upper panel, styled to match existing.</p>	



## APPENDIX C – COLOUR SWATCHES

Victoria Street

16/05/2025

PURCELL 

## Revisions

P01 – 04/04/2025

P02 – 16/05/2025

## Mark Popely

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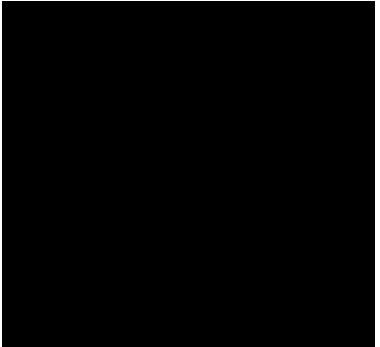
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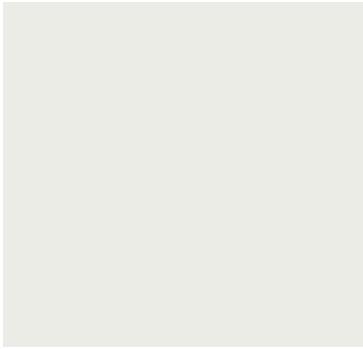

## COLOUR SWATCHES FOR DECORATION SCHEME

Colour references in the schedule below act as a reference where the proposal is required to redecorate to match the existing fabric. Proposals should be submitted to the Local Planning Authority for approval prior to the ordering of any materials and commencement of works.


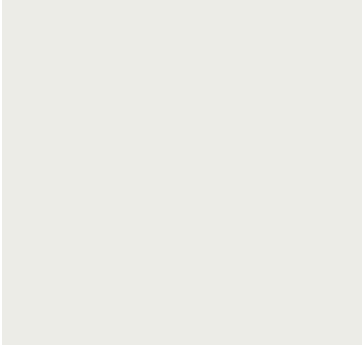

Items	Photo Reference	Description	Colour Reference
External Front Door		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rear Gate		<b>BS 4800 14 C 39</b> 'Hollybush'	
Rainwater Goods		<b>BS 4800 00 E 53</b> 'Black'	



APPENDIX C - COLOUR SWATCHES

Window frames		<b>BS 4800 00 E 55</b> 'White'	
Window Stone Sills		<b>BS 4800 00 E 55</b> 'White'	
Barge and Fascia Boards		<b>BS 4800 00 E 55</b> 'White'	

APPENDIX C - COLOUR SWATCHES

<p>External Rear Door</p>		<p><b>Allow for either</b></p> <p><b>BS 4800 00 E 55</b> 'White'</p> <p><b>OR</b></p> <p><b>BS 4800 14 C 39</b> 'Hollybush'</p>	 
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Good Afternoon Katherine,

Further to our conversation just now, I will amend the colours so they remain to the BS4800 standard as per the previous guidance except for the Dulux 'county cream' which will be converted to the nearest BS 4800 equivalent. The colours referenced in the documents will be as follows:

#### DORFOLD / BETLEY / TOLLIT COLOURS:

- External front doors & external rear timber gates: BS 4800 14 C 39 – 'Hollybush' ( Unchanged from previous guidance )
- Stone Cills: BS 4800 14 C 39 'Van Dyke' ( Unchanged from previous guidance )
- Rainwater goods and metal gates to porches: BS 4800 00 E 53 ' Black' (Previous guidance stated rainwater goods to be 'black' )
- All Window frames / Rear external doors /eaves & bargeboards etc...: BS 4800 10 C 31 'Ivory / Champagne / Buttermilk' ( Previous guidance stated Dulux ' County Cream' – Note, there is no direct BS 4800 match for this and therefore the proposed colours will be '*slightly different*'. Please see below )
- ~~Internal Porches: tbc, please advise~~

#### Nearest Standard Colours

Filter by colour range/specification:

— = Noticeably different  
 - = Different  
 ★ = Slightly Different  
 ★★ = Close but distinguishable  
 ★★★ = Distinguishable to the practiced eye  
 ★★★+ = Virtually indistinguishable



Reference	Range	Description	Rating	Charts	Click for L*a*b values	RGB 236, 218, 186
10 C 31	BS 4800/5252	Ivory / Champagne / Buttermilk	★			
08 C 31	BS 4800/5252	Honeysuckle cream / Blush stone	—			

#### VICTORIA STREET COLOURS:

- Rainwater goods: BS 4800 00 E 53 ' Black'





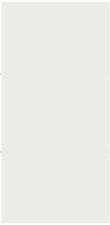




- External front entrance doors & front timber gates to be: BS 4800 14 C 39 – ‘Hollybush’
- All Windows/ Stone cills / Stone lintels / Eaves & bargeboards / Rear entrance doors to be: BS 4800 00 E 55 ‘ White’ ( nearest BS4800 equivalent to RAL 9003 ‘Signal White’ currently referenced to within the draft order’ - Note, there is no direct BS 4800 match for this and therefore the proposed colours will be ‘*slightly different*’. Please see below)

Reference	Range	Description	Charts
RAL 9003	RAL Classic	Signal white	  <a href="#">Click for L*a*b values</a>

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**Near Alternative(s)**

Filter by colour range/specification:

Reference	Range	Description	Rating	Charts	Click for L*a*b values	Reference RAL 9003
00 E 55	BS 4800/5252	White	★			
18 C 31	BS 4800/5252	Ice blue / Spindrift	★			
22 B 15	BS 4800/5252	Pearl grey / Swansdown	★			

As discussed, as I am onsite tomorrow, therefore I will be able to update our documents on Friday and issue you these prior to your 4pm deadline.

If you have any final comments on these, please let me know by the end of tomorrow.

Many Thanks

**MARK POPELY**

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Certified Passive House Designer

Architect

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*Please note, I now work flexible hours and my core hours are between 10am and 4pm. I may not reply outside these times but will respond as soon as I am available.*





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